

APPENDIX E
APPLICATION FOR SITE PLAN REVIEW
MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES

PLANNING BOARD
NEW LONDON, NH

DATE APPLICATION FILED: _____

APPLICATION FOR:

- Phase I: Concept Site Plan Review
 Phase II: Preliminary Site Plan Review
 Phase III: Final Site Plan Review

NAME OF APPLICANT: New London Hospital Association

ADDRESS: 273 County Road, New London, NH 03257

DAYTIME PHONE NUMBER: 603-526-5171 FAX: _____

NAME OF PROPERTY OWNER: New London Hospital Association
(If other than applicant)

ADDRESS: 273 County Road, New London, NH 03257

DAYTIME PHONE NUMBER: _____ FAX: _____

LOCATION OF PROPERTY: 273 County Road

TAX MAP/Lot: 72 - 16 - ZONE DISTRICT: Hospital Institutional

DESCRIPTION OF USE(S) OF BUILDINGS & LAND: To show proposed parking areas on Tax Map 72, Lot 16. Existing lot "G" to be redesigned, parking lot "H" to be constructed with paved walkway to the adjacent New London Place, and additional parking spaces to be constructed near road entrance from County Road.

WATER SERVICE: New London/Springfield Water Precinct On-site Water Well

Other: _____

SEWER SERVICE: New London Wastewater On-site Septic System

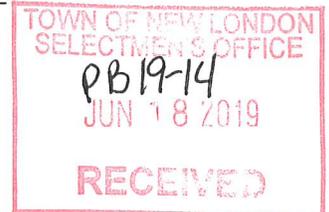
ROAD(S) PROVIDING ACCESS: Town Road County Road

State Highway _____

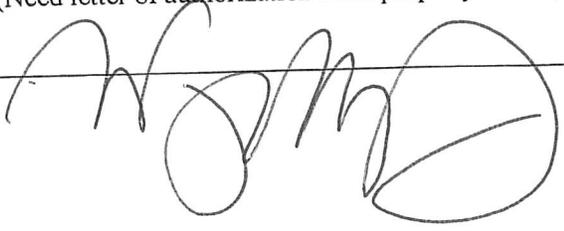
The Zoning Administrator or Land Use Coordinator can assist applicants to identify whether the following natural resource areas will be affected and in which sub-watershed the property is located.

SHORELAND OR SHORELAND BUFFER IMPACTED? Yes No

WETLAND OR WETLAND BUFFER IMPACTED? Yes No



(Need letter of authorization from property owner)

_____ 

TOWN OF NEW LONDON
SELECTMEN'S OFFICE
JUN 18 2019
RECEIVED

APPENDIX F: MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES PRELIMINARY
 SITE PLAN REVIEW CHECKLIST of APPLICATION REQUIREMENTS

#	Application Requirement	Submitted	Not Applicable	Waived by PB
2.a	Application Form	X		
2.b	Letter of Authorization	X		
2.c	Abutters List	X		
2.d	Application Fee	X		
2.e	Waiver Requests in Writing	X		
2.f	Site Plan Maps - # as directed by Town Planner	X		
1	Estimated area & distances & directions of boundaries	X		
2	Name(s) of owner(s) of record	X		
3	Abutters list	X		
4	Site location map	X		
5	North point, graphic scale, date of preparation & revisions	X		
6	Zone District(s) lines of demarcation	X		
7	Name, address & seal of person or firm preparing plans	X		
8	Preliminary plan of existing & proposed structures	X		
9	Existing structures - photos from all sides	X		
10	Proposed structures - architectural style concept & exterior for all proposed buildings & additions building materials	X		
11	General topography & steep slope areas	X		
12	Direction of flow of surface water	X		
13	Groundwater & surface water resources	X		
14	Rock outcroppings & depth to ledge		X	
15	Preliminary plan for streets, driveways, parking & sidewalks	X		
16	Preliminary wastewater treatment plans		X	
17	Preliminary landscaping plan			Request
18	Preliminary plans for domestic water supply		X	
19	Preliminary fire protection plan		X	
20	Existing & preliminary proposed utility plan	X		
21	Preliminary outdoor lighting plan	X		
22	Preliminary sign plan		X	
23	Preliminary plan for managing surface water drainage	X		
24	Prelim. erosion & sediment control plan during & after construction	X		
25	Prelim. plan of the ROW & traveled surface of fronting streets		X	
26	Preliminary snow storage plan	X		
27	Preliminary plan for solid waste disposal facility		X	
28	Prelim. plan for outdoor storage/display of materials/merchandise		X	
29	Executive Summary to include:			
a	Hours & days of operation	X		
b	Estimate of normal business traffic		X	
c	Description of proposed use(s)	X		
d	Number of employees		X	
e	Any unusual demand for utility service			

TOWN OF NEW LONDON
 SELECTMEN'S OFFICE
 JUN 18 2019
 RECEIVED

Town of New London
Site Plan Review Regulations
As Amended December 1, 2015

	f	Additional information to clarify proposal		X	
30		Special impact studies required by PB		X	

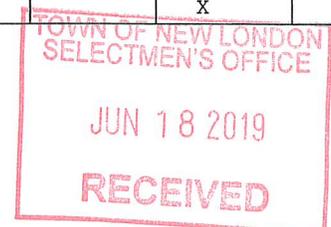
NOTE #1: The numbering of this checklist corresponds with the numbering in the Site Plan Review Regulations for a Preliminary Site Plan Review Application.

NOTE #2: The SPR Regulations must be consulted for the details of the items contained in this checklist.



APPENDIX G - MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES
 FINAL SITE PLAN REVIEW CHECKLIST of APPLICATION REQUIREMENTS

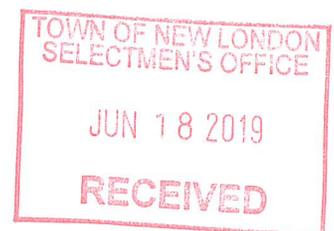
#	Application Requirement	Submitted	Not Applicable	Waived by PB
2.a	Application Form	X		
2.b	Letter of Authorization	X		
2.c	Abutters List	X		
2.d	Application Fee	X		
2.e	Waiver Requests in Writing	X		
2.f	Site Plan Maps - # as directed by Town Planner	X		
1	Boundary survey & lot area	X		
2	Site location map	X		
3	Name(s) of owner(s) of record	X		
4	Abutting landowners within 200 feet of the property line	X		
5	North point, graphic scale, date of preparation & revisions	X		
6	Zone District(s) lines of demarcation	X		
7	Name, address & seal of person or firm preparing plans	X		
8	Shape, size & location of existing & proposed structures	X		
9	Existing structures – photos from all sides	X		
10	Proposed structures - conceptual floor plans & elevations	X		
11	Topography at 2' intervals & steep slope areas existing & proposed grades & drainage systems	X		
12	Groundwater & surface water resources	X		
13	Rock outcroppings & depth to ledge		X	
14	Final plan for streets, driveways, parking spaces, & sidewalks	X		
15	Final wastewater treatment plans		X	
16	Final landscaping plan			Request
17	Final plans for domestic water supply		X	
18	Final fire protection plan		X	
19	Existing & final proposed utility plan	X		
20	Final outdoor lighting plan	X		
21	Final sign plan		X	
22	Final plan for managing surface water drainage	X		
23	Final erosion & sediment control plan during & after construction	X		
24	Final plan of the ROW & traveled surface of all fronting streets		X	
25	Final snow storage plan	X		
26	Final plan for solid waste disposal facility		X	
27	Final plan for outdoor storage/display of materials/merchandise		X	
28	Executive summary			
a	Hours & days of operation	X		
b	Estimate of normal business traffic		X	
c	Description of proposed use(s)	X		
d	Number of employees		X	
e	Any unusual demand for utility service		X	
f	Additional information to clarify proposal		X	
30	Special impact studies required by PB		X	



Town of New London
Site Plan Review Regulations
As Amended December 1, 2015

NOTE #1: The numbering of this checklist corresponds with the numbering in the Site Plan Review Regulations for a Final Site Plan Review Application.

NOTE #2: The Site Plan Review Regulations need to be consulted for the details of the items contained in this checklist.



APPENDIX H
SUGGESTED FORM OF ACCEPTABLE IRREVOCABLE LETTER OF CREDIT

Board of Selectmen
Town of New London
New London Town Offices
375 Main Street
New London, N.H. 03257

Dear Town Officials:

RE: _____ Site Plan

By this document, the _____ Bank (hereinafter "issuer") hereby issues an irrevocable letter of credit in the amount of \$ _____ to the Town of New London on behalf of _____ (hereinafter "developer"). This irrevocable letter of credit is issued to guaranty completion of all improvements required by the New London Planning Board and the Town of New London Site Plan Review Regulations in conjunction with a site plan entitled " _____ ", dated _____, prepared by _____, and approved by the New London Planning Board on _____.

It is understood that the improvements guaranteed by this irrevocable letter of credit include but are not limited to the following:

- 1.
- 2.
- 3.

It is agreed and understood by the issuer of this letter of credit that it shall be issued for a period of _____ months. If all improvements guaranteed by this letter of credit are not completed by _____ (date) and if an Certificate of Occupancy Permit indicating completion of all improvements has not been issued by the Town of New London Board of Selectmen, then this letter of credit shall be automatically considered to have been called and without further action by the Town of New London or its Board of Selectmen, the _____ Bank shall forward a check in the amount of \$ _____ to the Treasurer of the Town of New London. The funds so forwarded to the Town Treasurer shall be used exclusively for the purpose of completing the improvements which are guaranteed by this letter of credit. Any funds not needed by the Town to complete improvements required by the site plan referred to above shall be returned to the _____ Bank.

(Signature of Bank Official)

Date: _____

I have read this letter of credit and agree to its terms.

(Signature of Developer)



JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

June 17, 2019

New London Planning Board
Attn: Paul Gorman, Chair
375 Main Street
New London, NH 03257

**RE: Waiver Request
273 County Road, New London, NH
Tax Map 72, Lot 16
JBE Project No. 18006**

Dear Board Members:

Jones & Beach Engineers, Inc. respectfully submits a Waiver Request for the above-referenced parcel on behalf of applicant, New London Hospital Association.

- **Waiver Request from the Town of New London Site Plan Regulations, Article V.C.2.16 – Landscape Plan**

Jones & Beach Engineers is requesting the Board to waive the requirement for a landscape plan because the proposed improvements are at the rear of the hospital & at the approved south access (which is the County Road access for New London Place which has an extensive landscape design).

- **Waiver Request from the Town of New London Site Plan Regulations, Appendix A-Setbacks**

Jones & Beach Engineers is requesting the Board to waive the requirement for the setback requirement as this is a Hospital Institution and we are unable to adjust the setbacks.

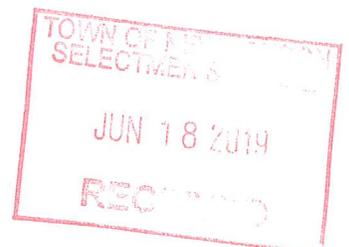
If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Wayne Morrill
Vice President

cc: Continuum Health Services, Inc. (application and plans via email)



Letter of Authorization

New London Hospital Association, 273 County Road, New London, NH 03257, owner of property located in New London, NH, known as Tax Map 72, Lot 16, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on 273 County Road in New London, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Witness

Douglas W. Lynn
New London Hospital
Association

6/17/2019
Date

*Chairman, Board
of Trustees*



JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

June 17, 2019

New London Planning Board
Attn: Paul Gorman, Chair
375 Main Street
New London, NH 03257

**RE: Final Site Plan Review Application
273 County Road, New London, NH
Tax Map 72, Lot 16
JBE Project No. 18006**

Dear Board Members:

Jones & Beach Engineers, Inc., respectfully submits an Application for Final Site Plan Review on behalf of applicant, New London Hospital Association. The intent of this application is to show the proposed parking areas for Tax Map 72, Lot 16 in the Town of New London. Existing Lot "G" to be redesigned, parking lot "H" to be constructed with paved walkway to the adjacent New London Place, and additional spaces to be constructed near road entrance from County Road.

The following items are provided in support of this Application:

1. Completed Planning Board Application for Final Site Plan Review with checklist.
2. Waiver Request.
3. Letter of Authorization.
4. Check in the amount of \$292.00 for review fees.
5. Abutters List & Mailing Labels (3 sets).
6. Tax Map.
7. Two (2) Drainage Analysis.
8. Six (6) Full-Size Plan Sets.
9. Four (4) Reduced-Size Plan Sets.
10. One (1) PDF of plans.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Wayne G. Morrill
Vice President

cc: Continuum Health Services, Inc. (application and plans via email)



SITE PLAN

NEW LONDON HOSPITAL PARKING LOT

TAX MAP 72, LOT 16

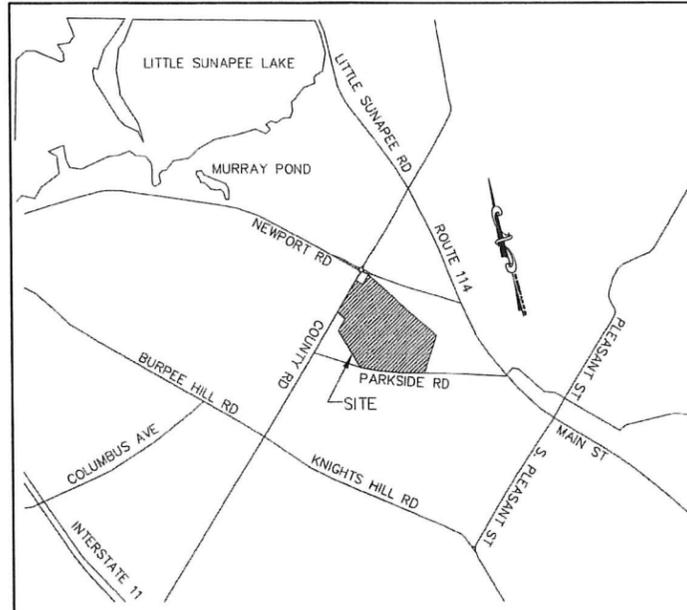
COUNTY ROAD, NEW LONDON, NH



Know what's below
811 before you dig

SHEET INDEX

CS	COVER SHEET
SU1	EXISTING CONDITIONS PLAN
C1	EXISTING CONDITIONS EXHIBIT PLAN
DM1	DEMOLITION PLAN
C2-0	OVERALL SITE PLAN
C2-1	SITE & UTILITY PLAN
C3	GRADING AND DRAINAGE PLAN
P1	WATER LINE PLAN & PROFILE
L1	LANDSCAPE AND LIGHTING PLAN
D1 - D3	DETAIL SHEETS
E1 - E2	EROSION AND SEDIMENT CONTROL DETAILS



LOCUS MAP
SCALE 1" = 2000'

PERMITS

TYPE OF PERMIT	STATUS	TYPE OF PERMIT	STATUS
NHDES ALTERATION OF TERRAIN PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - WATER DIVISION 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:	NEW LONDON SITE PLAN APPROVAL: TOWN OF NEW LONDON PLANNING BOARD 375 MAIN STREET NEW LONDON, NEW HAMPSHIRE 03257 (603) 526-1247 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION: EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.			

APPLICANT / DEVELOPER
CONTINUUM HEALTH SERVICES INC.
250 GODDARD RD
LEWISTON, ME 04240
(207) 782-4797
CONTACT: MIKE BLACK
EMAIL: MKB1205@GMAIL.COM

FORESTER
GARLAND LUMBER CO. INC
636 E. CONWAY ROAD
CENTER CONWAY, NH 03813
(603) 356-5636
CONTACT: KARLA GARLAND
EMAIL: KARLA@GARLANDLUMBER.NET

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: WAYNE MORRILL
EMAIL: WMORRILL@JONESANDBEACH.COM

WETLAND CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE
EXETER, NH 03833
(603) 778-0644
CONTACT: JIM GOVE
EMAIL: JGOVE@GESINC.BIZ

OWNER OF RECORD
NEW LONDON HOSPITAL ASSOCIATION
273 COUNTRY RD
NEW LONDON, NH 03257
CONTACT: BRUCE KING

GEOTECHNICAL ENGINEER
S.W. COLE ENGINEERING, INC.
13 DELTA DRIVE, UNIT 8
LONDONDERRY, NH 03053
(603) 692-0088
CONTACT: CHAD MICHAUD, P.E.
EMAIL: CMICHAUD@SWCOLE.COM

PROJECT PARCEL TOWN OF NEW LONDON TAX MAP 72, LOT 16
APPLICANT/OWNER NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD NEW LONDON, NH 03257
TOTAL LOT AREA 435,191 SQ. FT. 9.99 ACRES

APPROVED - NEW LONDON, NH
PLANNING BOARD

TOWN OF NEW LONDON
SELECTMEN'S OFFICE

JUN 18 2019

DATE: _____

F:\CADDMASTER\STANDARD\JUB-LAYOUTS.dwg 2/16/2017 12:25:50 PM EST

Design: EMP	Draft: GDR	Date: 8/31/18
Checked: BWG	Scale: AS NOTED	Project No.: 18006
Drawing Name: 18006-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
0	6/18/19	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	CS
SHEET 1 OF 14	JBE PROJECT NO. 18006

NEW LONDON PARKING LOT, NEW LONDON, NH
JBE # 18006

Doc#: 20284
 Book: Pages: 0080
 18/23/2013 1:04PM
**C/H
 L-CHIP**
 MERRIMACK COUNTY RECORDS
Kate L. Gray CPO, Register

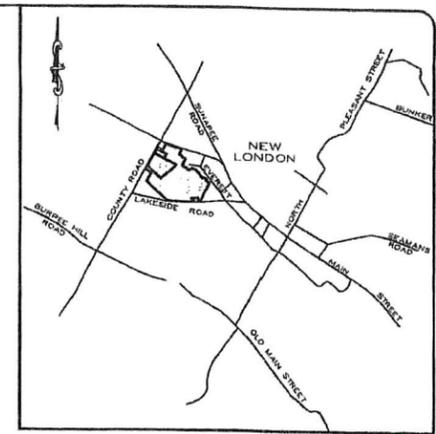
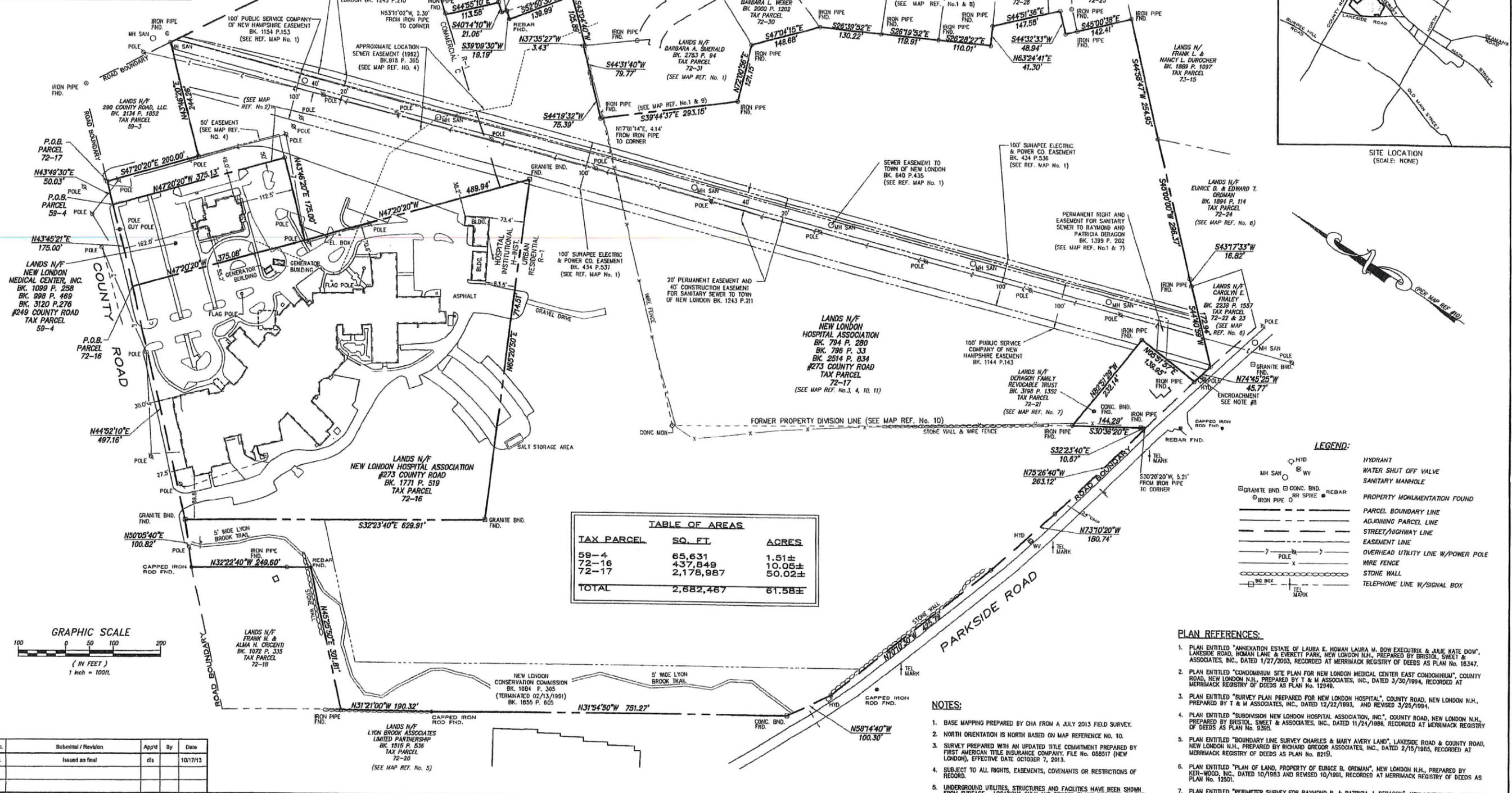
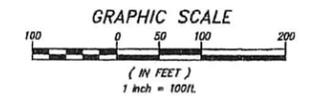


TABLE OF AREAS

TAX PARCEL	SQ. FT.	ACRES
59-4	65,631	1.51±
72-16	437,849	10.05±
72-17	2,178,987	50.02±
TOTAL	2,682,467	61.58±



- LEGEND:**
- HYDRANT
 - WATER SHUT OFF VALVE
 - SANITARY MANHOLE
 - PROPERTY MONUMENTATION FOUND
 - PARCEL BOUNDARY LINE
 - ADJOINING PARCEL LINE
 - STREET/HIGHWAY LINE
 - EASEMENT LINE
 - OVERHEAD UTILITY LINE W/POWER POLE
 - WIRE FENCE
 - STONE WALL
 - TELEPHONE LINE W/SIGNAL BOX

- PLAN REFERENCES:**
- PLAN ENTITLED "AMHEATION ESTATE OF LAURA E. HUMAN LAURA M. DOW EXECUTRIX & JULIE KATE DOW", LAKESIDE ROAD, HUMAN LANE & EVERETT PARK, NEW LONDON N.H., PREPARED BY BRISTOL, SWEET & ASSOCIATES, INC., DATED 1/27/2003, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 16347.
 - PLAN ENTITLED "CONDOMINIUM SITE PLAN FOR NEW LONDON MEDICAL CENTER EAST CONDOMINIUM", COUNTY ROAD, NEW LONDON N.H., PREPARED BY T & M ASSOCIATES, INC., DATED 3/30/1994, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 12946.
 - PLAN ENTITLED "SURVEY PLAN PREPARED FOR NEW LONDON HOSPITAL", COUNTY ROAD, NEW LONDON N.H., PREPARED BY T & M ASSOCIATES, INC., DATED 12/22/1993, AND REVISED 3/25/1994.
 - PLAN ENTITLED "SUBDIVISION NEW LONDON HOSPITAL ASSOCIATION, INC.", COUNTY ROAD, NEW LONDON N.H., PREPARED BY BRISTOL, SWEET & ASSOCIATES, INC., DATED 11/24/1988, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 9385.
 - PLAN ENTITLED "BOUNDARY LINE SURVEY CHARLES & MARY AVERY LAND", LAKESIDE ROAD & COUNTY ROAD, NEW LONDON N.H., PREPARED BY RICHARD GREGOR ASSOCIATES, INC., DATED 2/15/1985, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 8215.
 - PLAN ENTITLED "PLAN OF LAND, PROPERTY OF EUNICE B. ORDMAN", NEW LONDON N.H., PREPARED BY KER-WOOD, INC., DATED 10/1983 AND REVISED 10/1991, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 12501.
 - PLAN ENTITLED "PERIMETER SURVEY FOR RAYMOND R. & PATRICIA J. DERAGON", NEW LONDON N.H., PREPARED BY WALTER H. MORSE, DATED 8/1981, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 6796.
 - PLAN ENTITLED "SUB-DIVISION, HENRY HOMAN", NEW LONDON N.H., PREPARED BY KENNETH A. LECLAIR ASSOCIATES, INC., DATED 7/6/1986, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 2267.
 - PLAN ENTITLED "SUB-DIVISION, HENRY HOMAN", ROUTE 11, NEW LONDON N.H., PREPARED BY KENNETH A. LECLAIR, DATED 5/29/1984, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 2176.
 - PLAN ENTITLED "SURVEY PLAN FOR THE NEW LONDON HOSPITAL ASSOCIATION, INC., COUNTY ROAD - NEW LONDON - MERRIMACK COUNTY, N.H.", PREPARED BY T&M ASSOCIATES, INC., DATED JANUARY 31, 1995, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 13205.
 - PLAN ENTITLED "NEW LONDON HOSPITAL PROPERTY LAYOUT", PREPARED BY IRA LITTLEFIELD, DATED 1956, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 1458.
 - PLAN ENTITLED "LANDS OWNED BY NEW LONDON HOSPITAL ASSOCIATION & NEW LONDON MEDICAL CENTER, INC.", PREPARED BY CHA, DATED AUGUST 2007, CHA PROJECT #1517-1011.

- NOTES:**
- BASE MAPPING PREPARED BY CHA FROM A JULY 2013 FIELD SURVEY.
 - NORTH ORIENTATION IS NORTH BASED ON MAP REFERENCE NO. 10.
 - SURVEY PREPARED WITH AN UPDATED TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 088517 (NEW LONDON), EFFECTIVE DATE OCTOBER 7, 2013.
 - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
 - UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN SHOWN FROM SURFACE LOCATIONS ONLY AND RECORD PLANS PROVIDED BY THE CLIENT.
 - LOTS 59-4, 72-16 AND 72-17 FALL WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEW LONDON, MERRIMACK COUNTY, NEW HAMPSHIRE COMMUNITY PANEL NUMBER 330130005E, EFFECTIVE DATE APRIL 19, 2010 AND PANEL NUMBER 330130011E, EFFECTIVE DATE APRIL 19, 2010.
 - ZONING INFORMATION:
 URBAN RESIDENTIAL (R-1): FRONT 25', SIDE 20'+30'±=50' TOTAL, BACK 15' COMMERCIAL (C): FRONT 30', SIDE 10', BACK 10'
 HOSPITAL INSTITUTIONAL (H INST): FRONT 25', SIDE & BACK.
 - OCCUPANTS OF TAX PARCEL 72-21 ("DERAGON") CURRENTLY MAINTAIN PROPERTY BETWEEN DWELLING AND STREAM. A.K.A. "CURTLAGE" ENCROACHMENT.

No.	Submittal / Revision	Apprd	By	Date
0.	Issued as final	dls		10/17/13

SU-1
 Sheet 1 of 1

Boundary Survey Plan
 prepared for
The New London Hospital Association, Inc.

Town of New London County of Merrimack
 State of New Hampshire

Date: October 2013 Project No.: 28992 Scale: 1" = 100'

Drawing Copyright © 2013

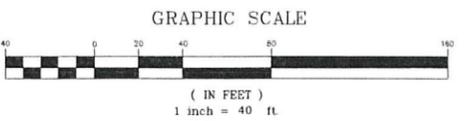
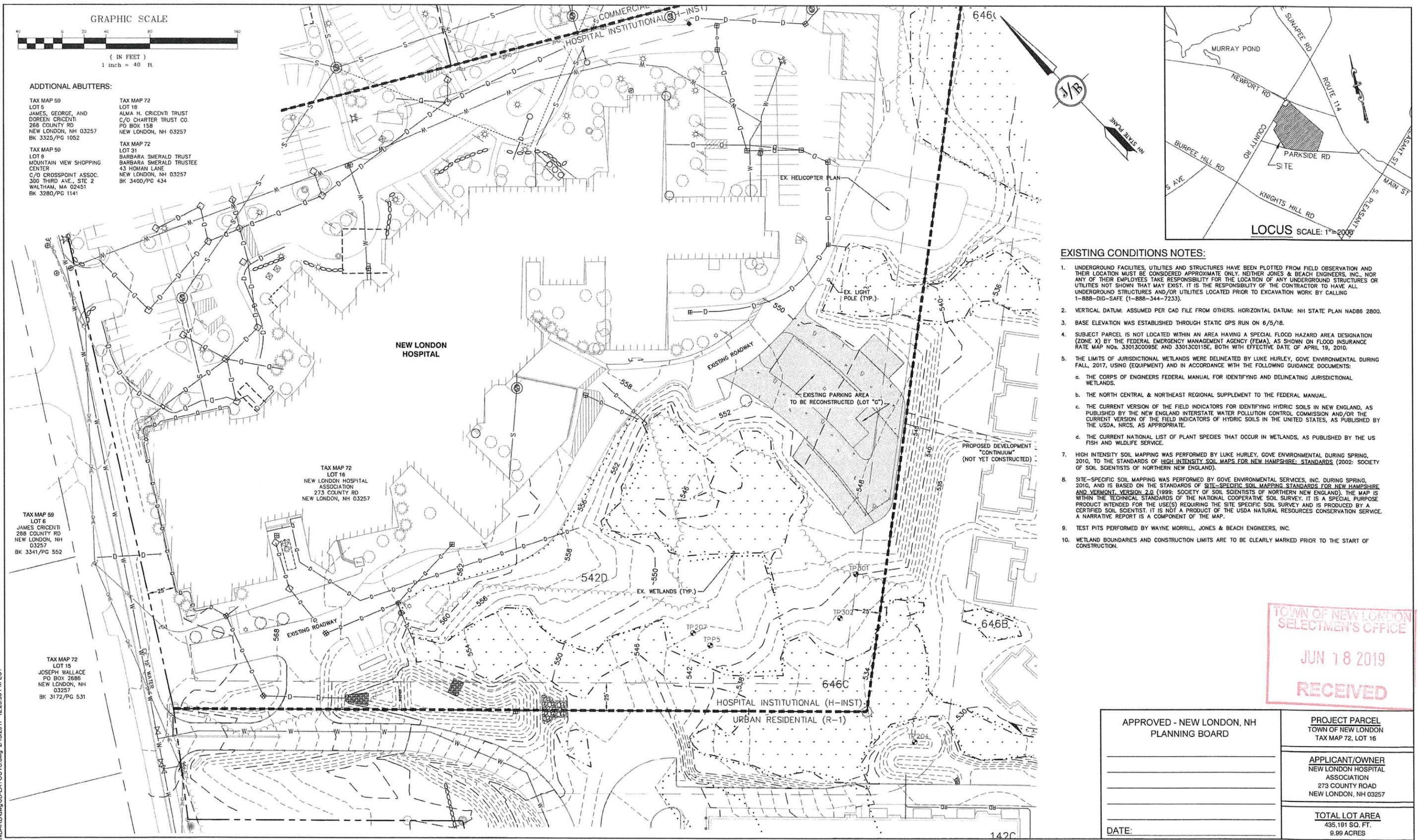
CHA
 11 King Court - Keene, NH 03431-6648
 Main: (603) 357-2445 • www.chacompanies.com

DESIGNED: N/A DRAWN: DJH CHECKED: DLS

I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF BETTER THAN ONE PART IN TEN THOUSAND (1:10,000). I HEREBY CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

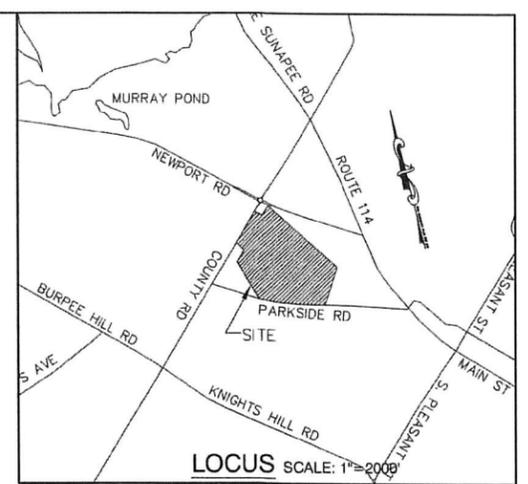
David L. Standinger
 DAVID L. STANDINGER, NH ULS NO. 958 17 OCT. 2013 DATE

NEW LONDON
 SELECTIONS OFFICE
 JUN 18 2019
 RECEIVED



ADDITIONAL ABUTTERS:

TAX MAP 59 LOT 5 JAMES, GEORGE, AND DOREEN CRICENTI 288 COUNTY RD NEW LONDON, NH 03257 BK 3325/PG 1052	TAX MAP 72 LOT 18 ALMA H. CRICENTI TRUST C/O CHARTER TRUST CO. PO BOX 158 NEW LONDON, NH 03257
TAX MAP 59 LOT 6 MOUNTAIN VIEW SHOPPING CENTER C/O CROSSPOINT ASSOC. 300 THIRD AVE., STE 2 WALTHAM, MA 02451 BK 3280/PG 1141	TAX MAP 72 LOT 31 BARBARA SMERALD TRUST BARBARA SMERALD TRUSTEE 43 HOWAN LANE NEW LONDON, NH 03257 BK 3400/PG 434



- EXISTING CONDITIONS NOTES:**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
 - VERTICAL DATUM: ASSUMED PER CAD FILE FROM OTHERS. HORIZONTAL DATUM: NH STATE PLAN NAD83 2800.
 - BASE ELEVATION WAS ESTABLISHED THROUGH STATIC GPS RUN ON 6/5/18.
 - SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
 - THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY LUKE HURLEY, GOVE ENVIRONMENTAL DURING FALL, 2017, USING (EQUIPMENT) AND IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
 - HIGH INTENSITY SOIL MAPPING WAS PERFORMED BY LUKE HURLEY, GOVE ENVIRONMENTAL DURING SPRING, 2010, TO THE STANDARDS OF HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, STANDARDS (2002) SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND.
 - SITE-SPECIFIC SOIL MAPPING WAS PERFORMED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING SPRING, 2010, AND IS BASED ON THE STANDARDS OF SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, VERSION 2.0 (1999) SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND. THE MAP IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT INTENDED FOR THE USE(S) REQUIRING THE SITE SPECIFIC SOIL SURVEY AND IS PRODUCED BY A CERTIFIED SOIL SCIENTIST. IT IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. A NARRATIVE REPORT IS A COMPONENT OF THE MAP.
 - TEST PITS PERFORMED BY WAYNE MORRILL, JONES & BEACH ENGINEERS, INC.
 - WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.

TOWN OF NEW LONDON
SELECTMEN'S OFFICE
JUN 18 2019
RECEIVED

APPROVED - NEW LONDON, NH PLANNING BOARD	PROJECT PARCEL TOWN OF NEW LONDON TAX MAP 72, LOT 16
APPLICANT/OWNER NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD NEW LONDON, NH 03257	TOTAL LOT AREA 435,191 SQ. FT. 9.99 ACRES
DATE:	

Design: EMP Draft: GDR Date: 8/31/18
 Checked: BWG Scale: AS NOTED Project No.: 18006
 Drawing Name: 18006-PLAN.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

REV.	DATE	ISSUED FOR REVIEW	REVISION	BY
0	6/18/19	ISSUED FOR REVIEW		EMP
				BY

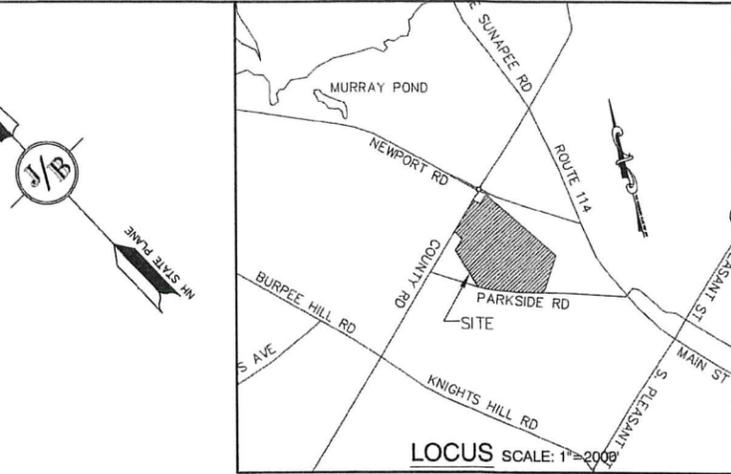
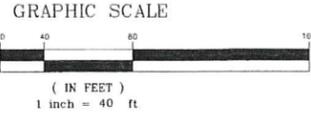
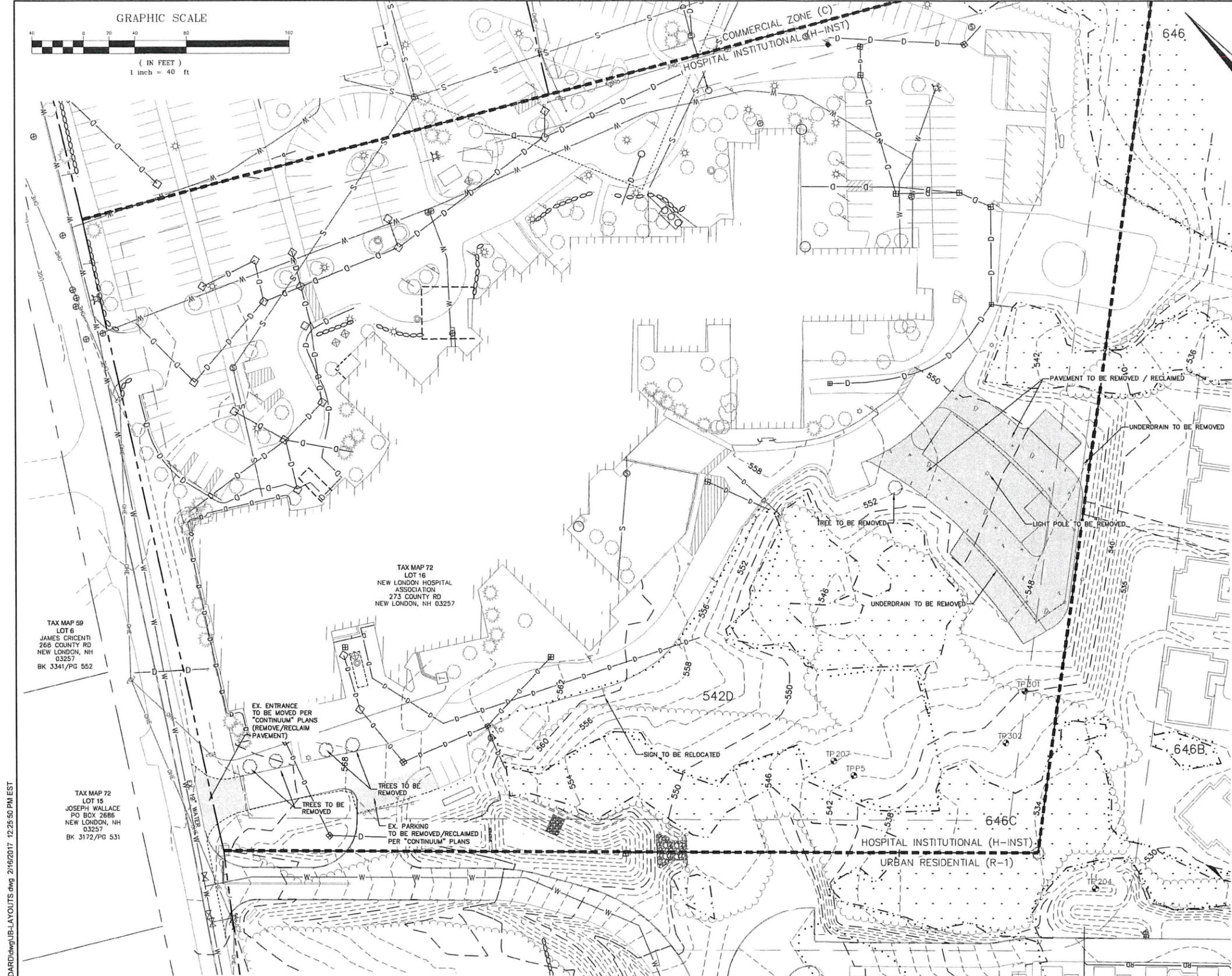
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS EXHIBIT PLAN MAP 72, LOT 16
Project:	NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.
C1
SHEET 3 OF 14
JBE PROJECT NO. 18006

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- DEMOLITION NOTES:**
1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 2. A TEMPORARY CULVERT AND ROADBED SHALL BE IN PLACE PRIOR TO ANY USE OF A WETLAND CROSSING.
 3. WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
 4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
 5. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
 6. ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
 7. ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
 8. EXISTING WATERLINES TO BE REMOVED SHALL BE CAPPED AT EXISTING WATERMAIN.
 9. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONTAMINATED MATERIAL LOCATED IN THE AREA OF EXISTING LEACHFIELDS IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
 10. ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS.
 11. THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
 12. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
 13. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
 14. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

TAX MAP 59
LOT 6
JAMES CRICENTI
268 COUNTY RD
NEW LONDON, NH
03257
BK 3341/PG 552

TAX MAP 72
LOT 16
NEW LONDON HOSPITAL
ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257

TAX MAP 72
LOT 15
JOSEPH WALLACE
PO BOX 2886
NEW LONDON, NH
03257
BK 3172/PG 531

TOWN OF NEW LONDON
SELECTMEN'S OFFICE
JUN 18 2019
RECEIVED

APPROVED - NEW LONDON, NH PLANNING BOARD	PROJECT PARCEL TOWN OF NEW LONDON TAX MAP 72, LOT 16
APPLICANT/OWNER NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD NEW LONDON, NH 03257	TOTAL LOT AREA 435,191 SQ. FT. 9.99 ACRES
DATE:	

Design: EMP Draft: GDR Date: 8/31/18
Checked: BWG Scale: AS NOTED Project No.: 18006
Drawing Name: 18006-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
0	6/18/19	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

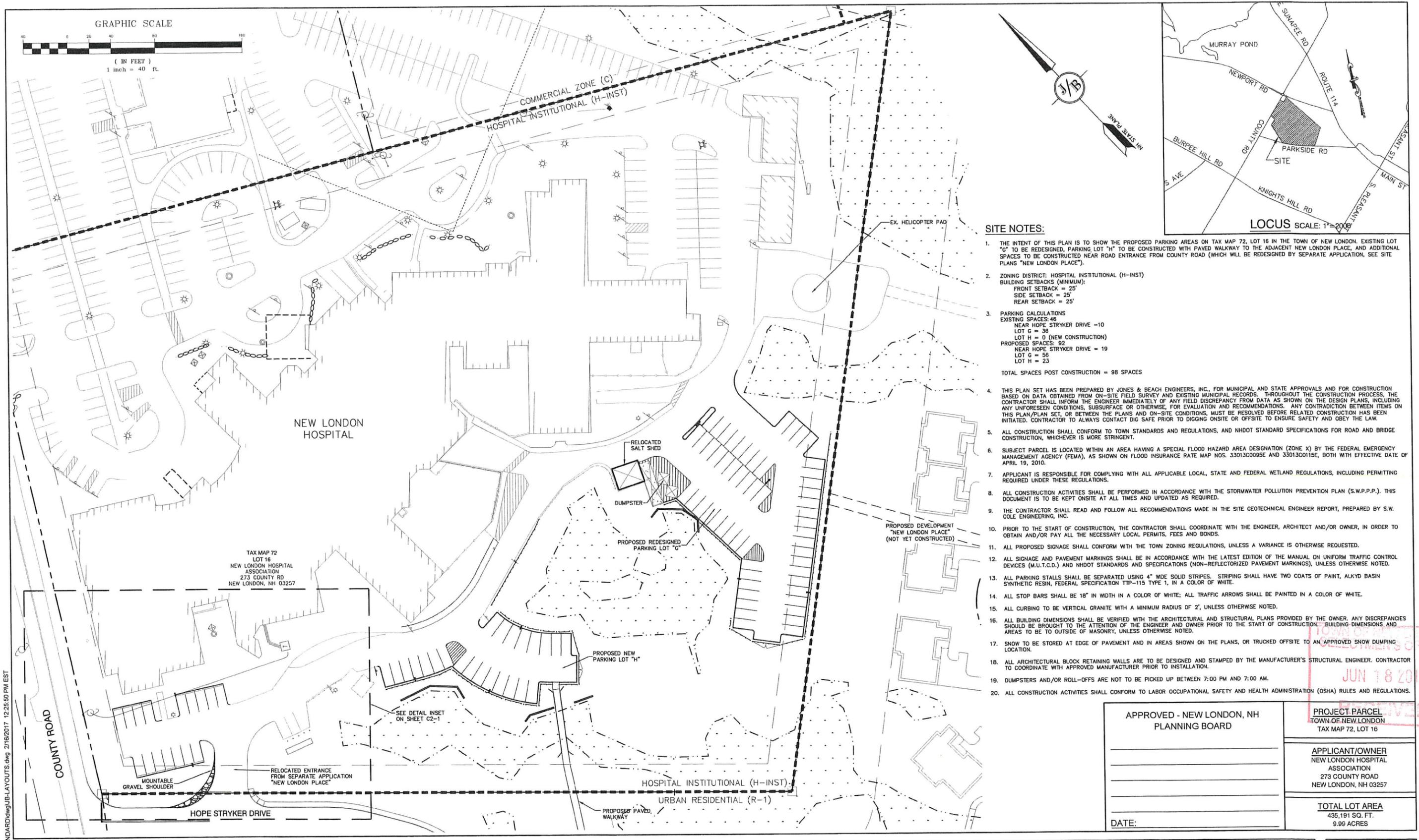
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DEMOLITION PLAN MAP 72, LOT 16
Project:	NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.
DM1
SHEET 4 OF 14
JBE PROJECT NO. 18006

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SITE NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED PARKING AREAS ON TAX MAP 72, LOT 16 IN THE TOWN OF NEW LONDON. EXISTING LOT "G" TO BE REDESIGNED, PARKING LOT "H" TO BE CONSTRUCTED WITH PAVED WALKWAY TO THE ADJACENT NEW LONDON PLACE, AND ADDITIONAL SPACES TO BE CONSTRUCTED NEAR ROAD ENTRANCE FROM COUNTY ROAD (WHICH WILL BE REDESIGNED BY SEPARATE APPLICATION, SEE SITE PLANS "NEW LONDON PLACE").
2. ZONING DISTRICT: HOSPITAL INSTITUTIONAL (H-INST)
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 25'
REAR SETBACK = 25'
3. PARKING CALCULATIONS
EXISTING SPACES: 46
NEAR HOPE STRYKER DRIVE = 10
LOT G = 36
LOT H = 0 (NEW CONSTRUCTION)
PROPOSED SPACES: 92
NEAR HOPE STRYKER DRIVE = 19
LOT G = 56
LOT H = 23

TOTAL SPACES POST CONSTRUCTION = 98 SPACES
4. THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
5. ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
6. SUBJECT PARCEL IS LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NOS. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
7. APPLICANT IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
8. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
9. THE CONTRACTOR SHALL READ AND FOLLOW ALL RECOMMENDATIONS MADE IN THE SITE GEOTECHNICAL ENGINEER REPORT, PREPARED BY S.W. COLE ENGINEERING, INC.
10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
11. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
12. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
13. ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
14. ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
15. ALL CURBING TO BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
16. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
17. SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
18. ALL ARCHITECTURAL BLOCK RETAINING WALLS ARE TO BE DESIGNED AND STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER. CONTRACTOR TO COORDINATE WITH APPROVED MANUFACTURER PRIOR TO INSTALLATION.
19. DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
20. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.

APPROVED - NEW LONDON, NH PLANNING BOARD	PROJECT PARCEL TOWN OF NEW LONDON TAX MAP 72, LOT 16
APPLICANT/OWNER NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD NEW LONDON, NH 03257	TOTAL LOT AREA 435,191 SQ. FT. 9.99 ACRES
DATE:	

Design: EMP Draft: GDR Date: 8/31/18
 Checked: BWG Scale: AS NOTED Project No.: 18006
 Drawing Name: 18006-PLAN.dwg
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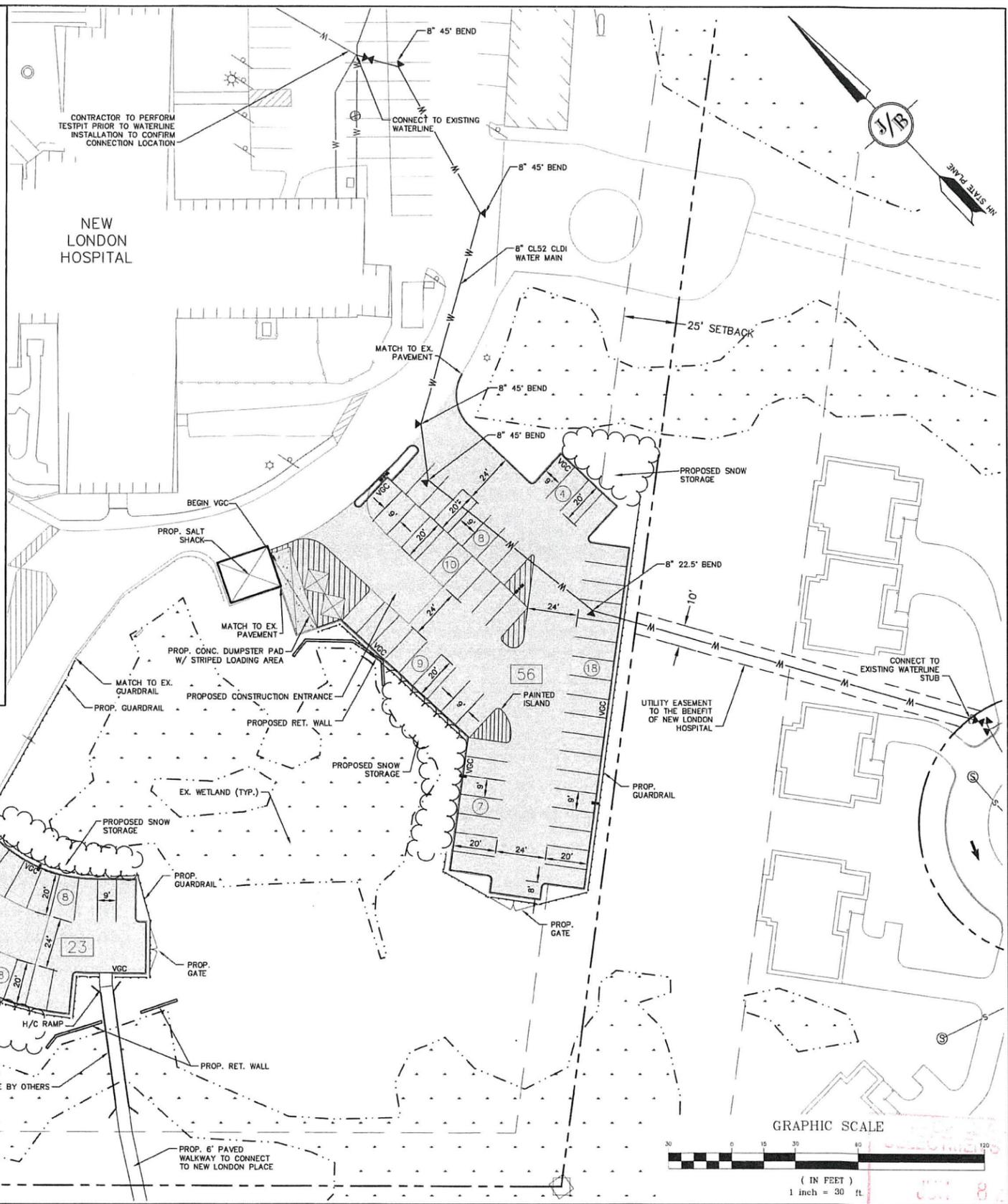
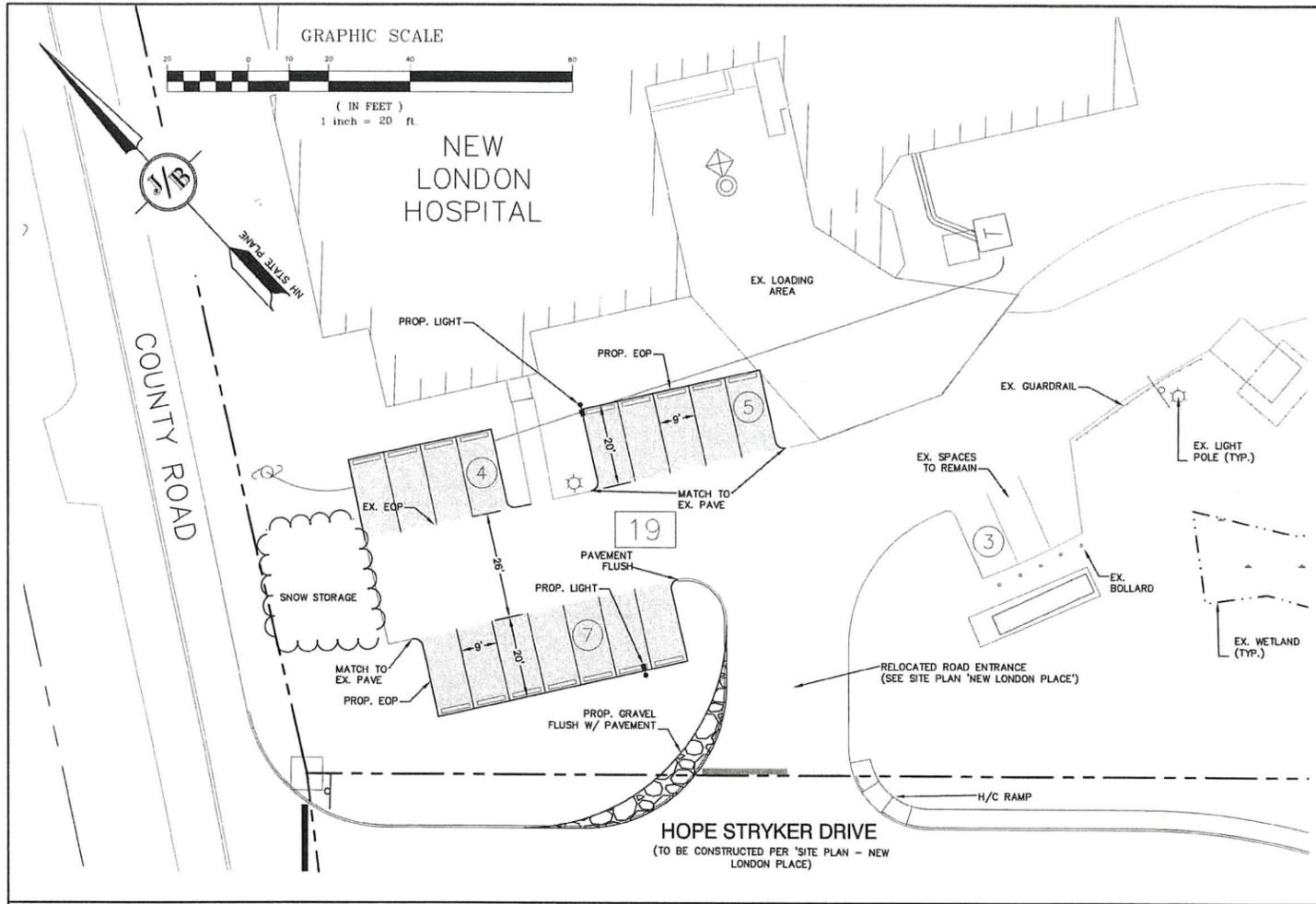
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
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 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

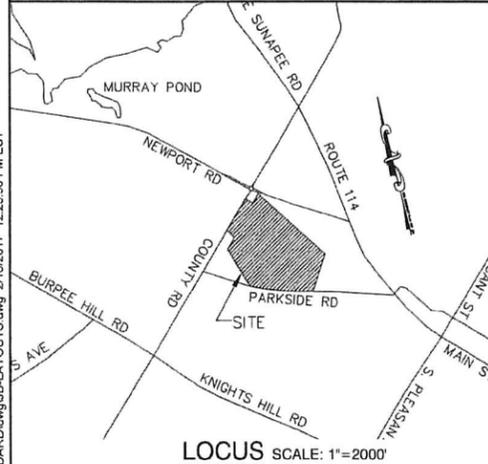
Plan Name:	OVERALL SITE PLAN MAP 72, LOT 16
Project:	NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.
C2-0
 SHEET 5 OF 14
 JBE PROJECT NO. 18006

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ROAD ENTRANCE DETAIL
SCALE 1"=20'



PROJECT PARCEL
TOWN OF NEW LONDON
TAX MAP 72, LOT 16

APPLICANT/OWNER
NEW LONDON HOSPITAL
ASSOCIATION
273 COUNTY ROAD
NEW LONDON, NH 03257

TOTAL LOT AREA
435,191 SQ. FT.
9.99 ACRES

APPROVED - NEW LONDON, NH
PLANNING BOARD

DATE: _____

Design: EMP Draft: GDR Date: 8/31/18
Checked: BWG Scale: AS NOTED Project No.: 18006
Drawing Name: 18006-PLAN.dwg

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Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE & UTILITY PLAN**
MAP 72, LOT 16

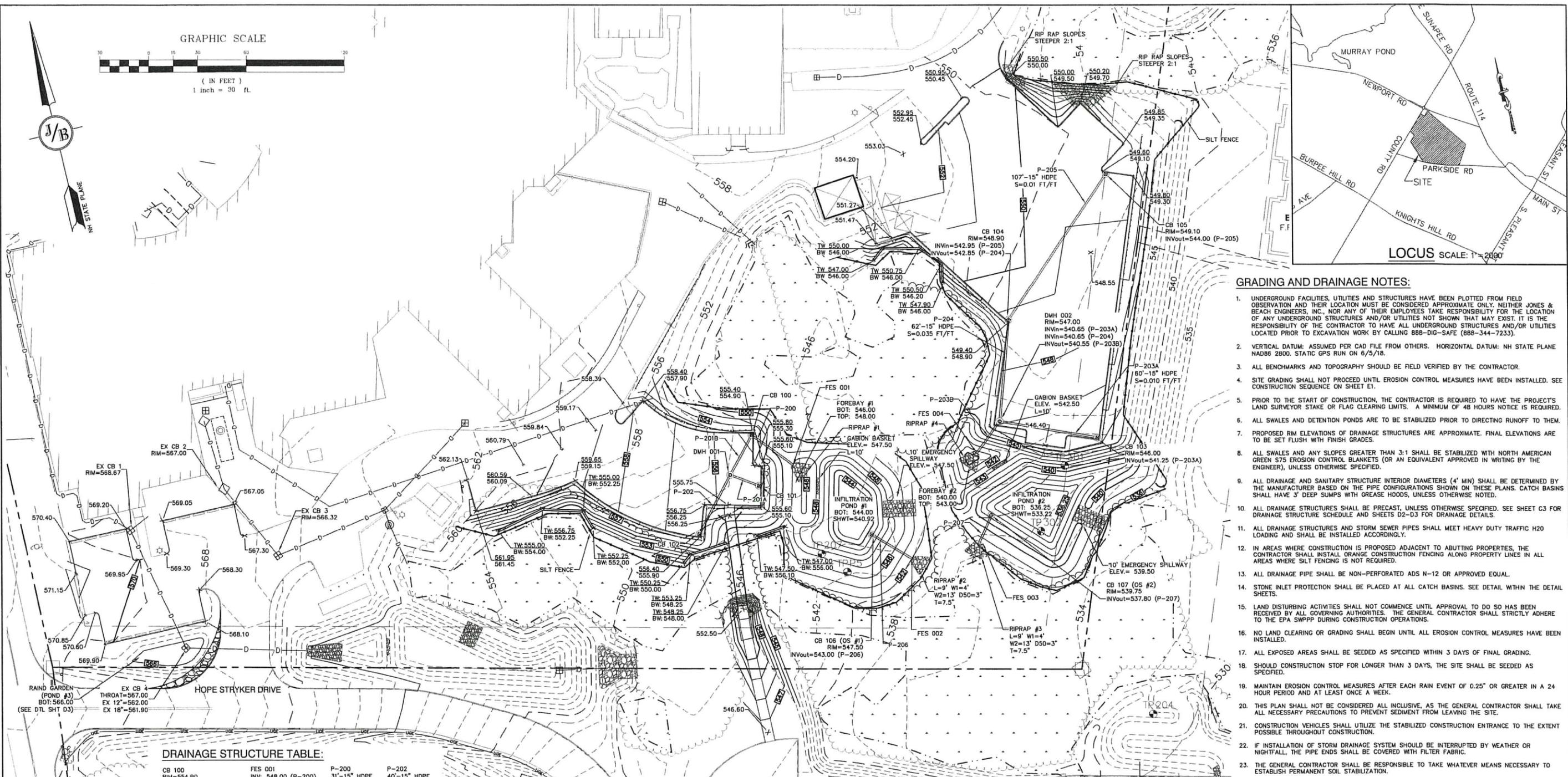
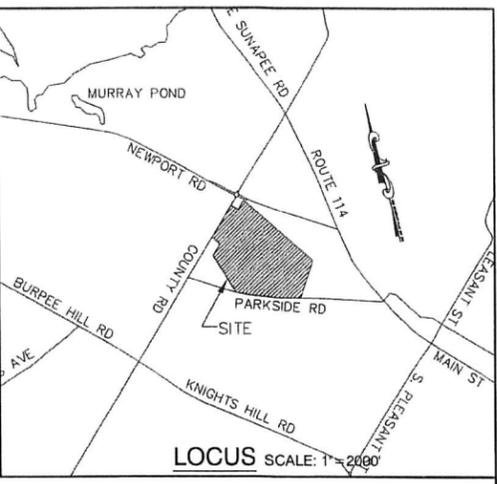
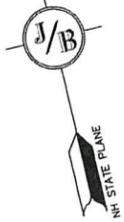
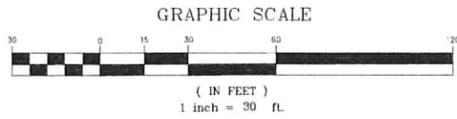
Project: **NEW LONDON PARKING LOT**
COUNTY ROAD, NEW LONDON, NH

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION**
273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No. **C2-1**

SHEET 6 OF 14
JBE PROJECT NO. 18006

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- GRADING AND DRAINAGE NOTES:**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
 - VERTICAL DATUM: ASSUMED PER CAD FILE FROM OTHERS. HORIZONTAL DATUM: NH STATE PLANE NAD86 2800. STATIC GPS RUN ON 6/5/18.
 - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
 - SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
 - ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 - PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
 - ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
 - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
 - ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEET C3 FOR DRAINAGE STRUCTURE SCHEDULE AND SHEETS D2-D3 FOR DRAINAGE DETAILS.
 - ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
 - IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
 - ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
 - STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
 - LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
 - NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
 - SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
 - MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
 - THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
 - IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
 - SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
 - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
 - SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1 & E2.

DRAINAGE STRUCTURE TABLE:

CB 100 RIM=554.90 INVIn=549.80 (P-201B) INVout=549.70 (P-200)	FES 001 INV: 548.00 (P-200)	P-200 31'-15" HDPE S=0.055 FT/FT	P-202 40'-15" HDPE S=0.011 FT/FT
CB 101 RIM=554.90 INVout=550.40 (P-201A)	FES 002 INV: 542.00 (P-206)	P-201A 18'-15" HDPE S=0.011 FT/FT	P-203B 24'-15" HDPE S=0.010 FT/FT
CB 102 RIM=555.90 INVout=550.65 (P-202)	FES 003 INV: 547.80 (P-207)	P-201B 27'-15" HDPE S=0.011 FT/FT	P-206 29'-15" HDPE S=0.035 FT/FT
DMH 001 RIM=555.80 INVIn=550.20 (P-201A) INVout=550.20 (P-202) INVout=550.10 (P-201B)	FES 004 INV: 540.30 (P-203B)	RIPRAP #1 L=10' W1=4' W2=14' D50=3" T=7.5'	P-207 17'-15" HDPE S=0.012 FT/FT
	RIPRAP #4 L=12' W1=4' W2=16' D50=3" T=7.5'		

PROJECT PARCEL
TOWN OF NEW LONDON
TAX MAP 72, LOT 16

APPLICANT/OWNER
NEW LONDON HOSPITAL
ASSOCIATION
273 COUNTY ROAD
NEW LONDON, NH 03257

TOTAL LOT AREA
435,191 SQ. FT.
9.99 ACRES

Design: EMP Draft: GDR Date: 8/31/18
Checked: BWG Scale: AS NOTED Project No.: 18006
Drawing Name: 18006-PLAN.dwg

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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

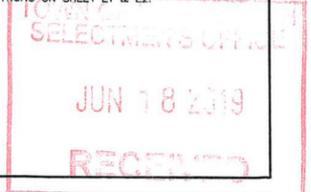
Plan Name: **GRADING AND DRAINAGE PLAN**

Project: **NEW LONDON PARKING LOT
COUNTY ROAD, NEW LONDON, NH**

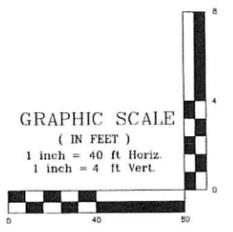
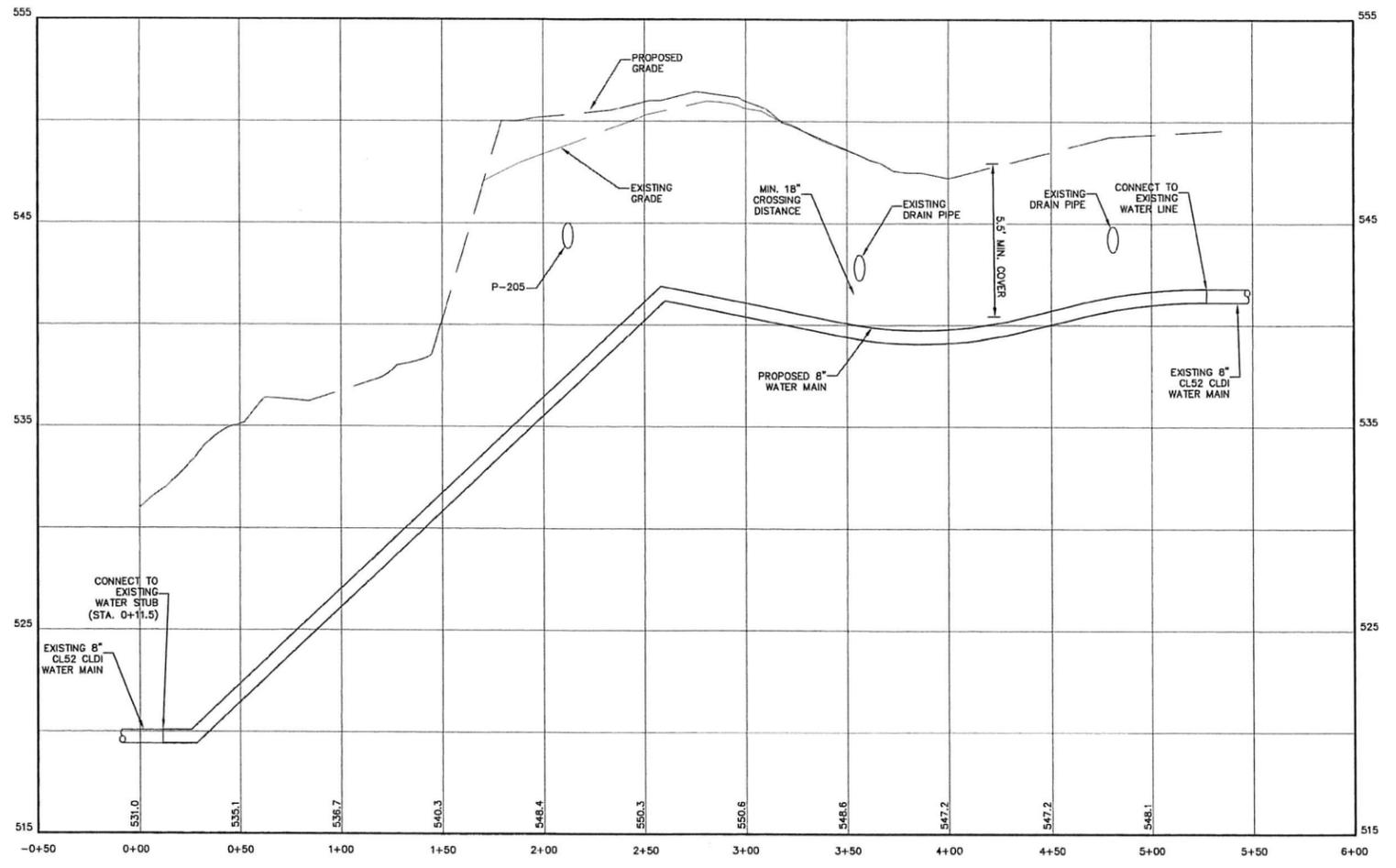
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION
273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **C3**

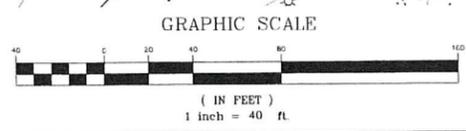
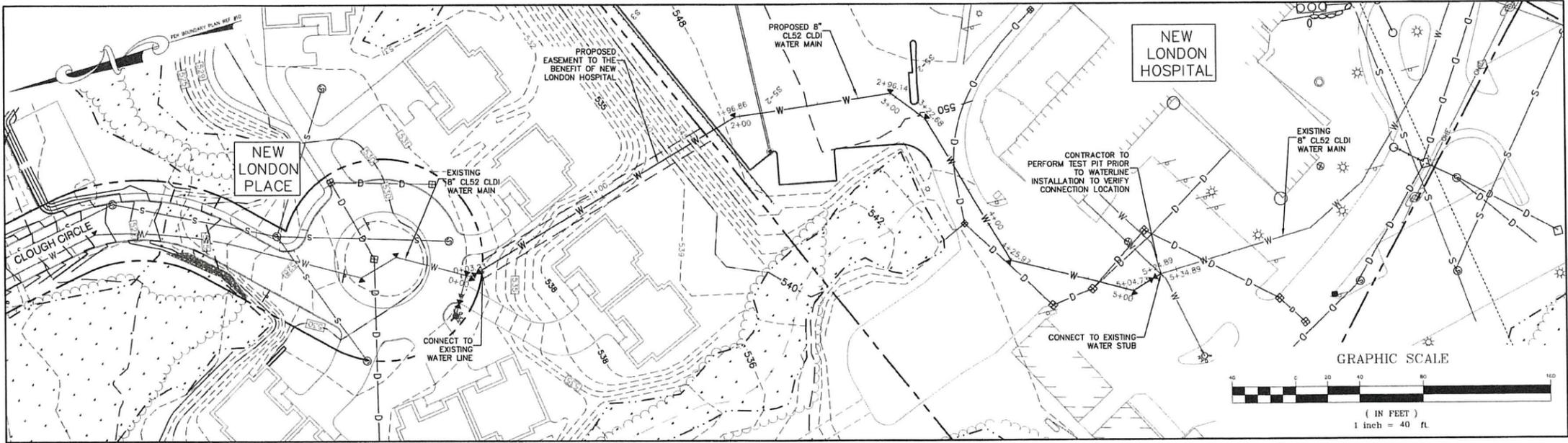
SHEET 7 OF 14
JBE PROJECT NO. 18006



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WATER LINE PROFILE



WATER LINE PLAN VIEW

TOWN OF NEW LONDON
SELECTMEN'S OFFICE
JUN 18 2019
RECEIVED

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Design: EMP Draft: GDR Date: 8/31/18
Checked: BWG Scale: AS NOTED Project No.: 18006
Drawing Name: 18006-PLAN.dwg
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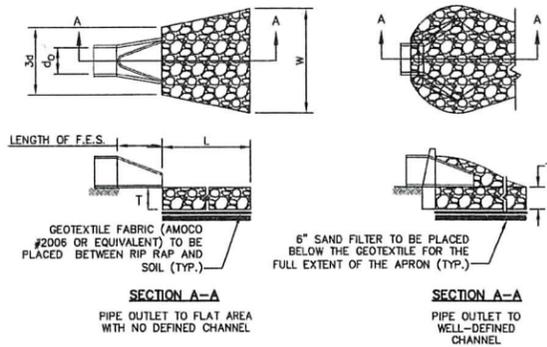


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Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **WATER LINE PLAN AND PROFILE**
Project: **NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH**
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No.
P1
SHEET 6 OF 14
JBE PROJECT NO. 18006

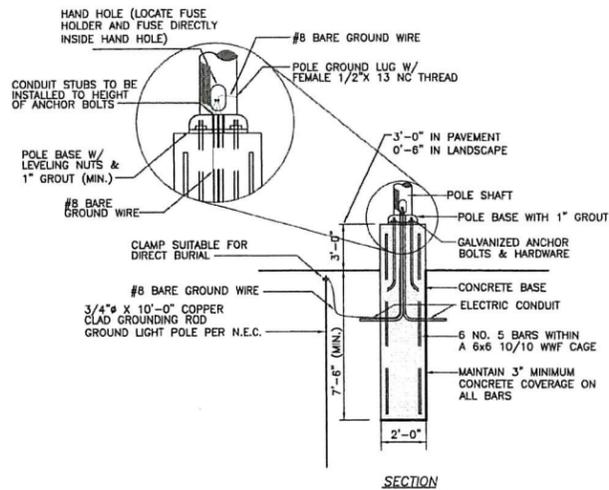


NOTES:

1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
6. MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.
7. SPECIFIC RIP RAP APRON SIZING FOR EACH INDIVIDUAL LOCATION ARE SHOWN ON THE GRADING AND DRAINAGE PLANS.

RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE

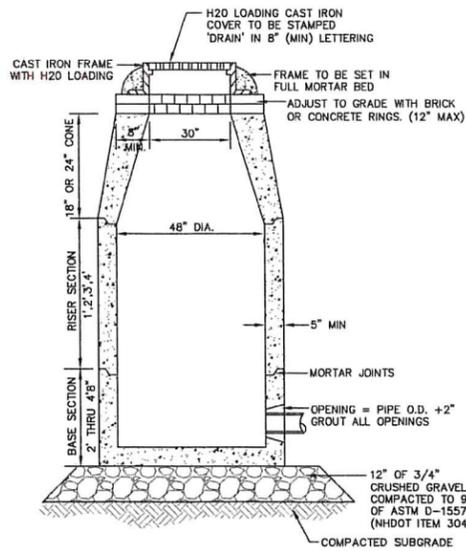


NOTES:

1. SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES & DRAINAGE BEFORE DRILLING POLE BASES (TYP).
2. CONTRACTOR TO TAKE SPECIAL CARE TO ENSURE CONCRETE POLE BASES ARE SET ABSOLUTELY VERTICAL AND LEVEL.
3. SHAFT CAP, ARMS, BASE, FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION, HARDWARE, BOLT COVERS, HAND- HOLD COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.

LIGHT POLE BASE DETAIL

NOT TO SCALE

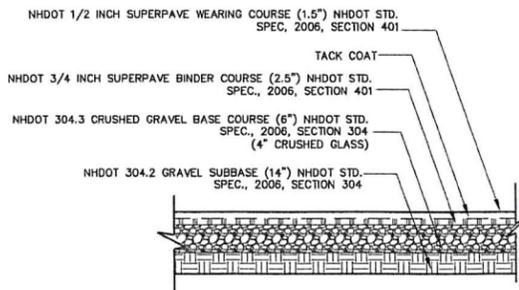


NOTES:

1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
5. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

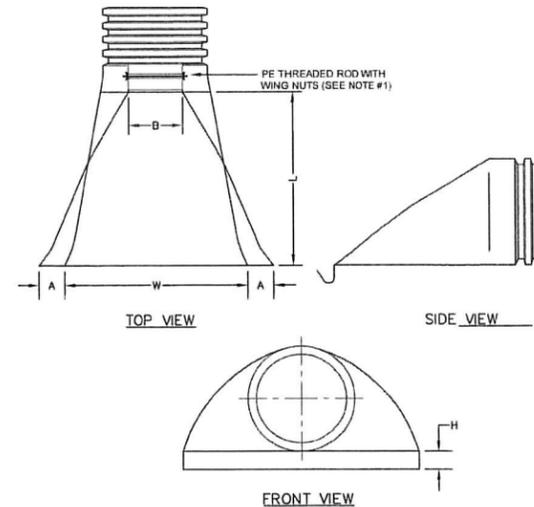
STANDARD DUTY ASPHALT PAVEMENT SECTION

NOT TO SCALE



NOTES:

1. PAVEMENT SUBGRADES SHOULD BE PROOF ROLLED IN ORDER TO DENSIFY THE SUBGRADES USING A MINIMUM OF 4 PASSES WITH A 10-TON VIBRATORY DRUM COMPACTOR. THE GRAVEL BORROW SUBGRADE COURSE AND CRUSHED GRAVEL BASE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM-D698).
2. PAVEMENT SECTION SUBJECT TO CHANGE BASED ON GEOTECHNICAL INVESTIGATION.



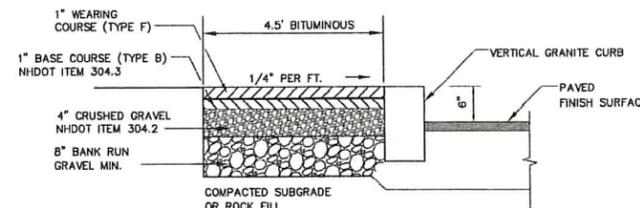
PART NO.	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

NOTES:

1. PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" AND 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.
2. ALL DIMENSIONS ARE NOMINAL.

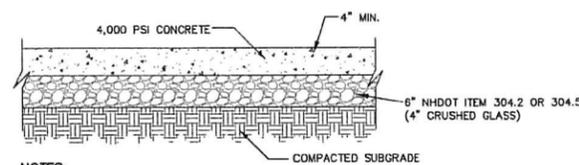
BIT. SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE



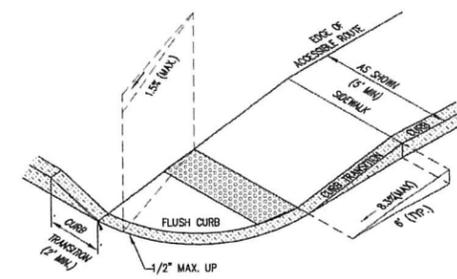
CONCRETE SIDEWALK DETAIL

NOT TO SCALE



NOTES:

1. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH
2. EXPANSION JOINTS 24' O/C
3. ALL JOINTS SEALED PER SPEC

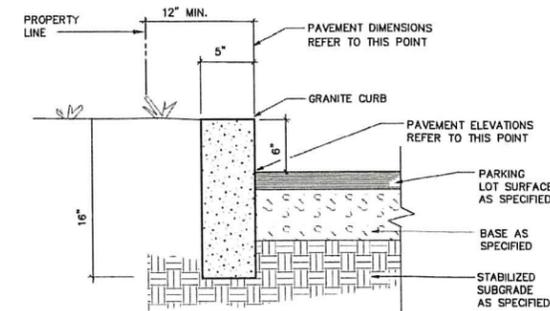


NOTES:

1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

ACCESSIBLE CURB RAMP (TYPE 'B')

NOT TO SCALE



NOTES:

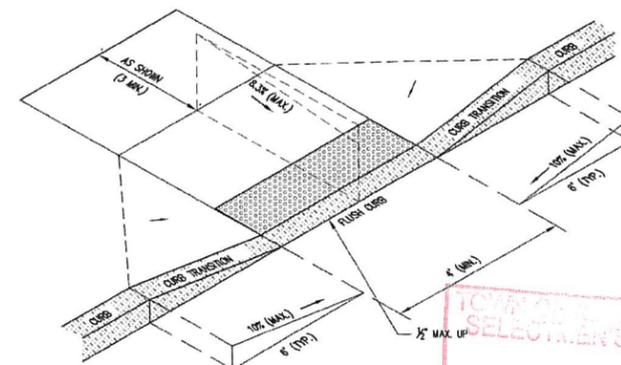
1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.

VERTICAL GRANITE CURB

NOT TO SCALE

NOTES:

1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.



ACCESSIBLE CURB RAMP

NOT TO SCALE

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Design: EMP	Draft: GDR	Date: 6/31/18
Checked: BWG	Scale: AS NOTED	Project No.: 18006
Drawing Name: 18006-PLAN.dwg		
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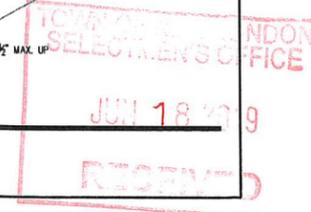
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

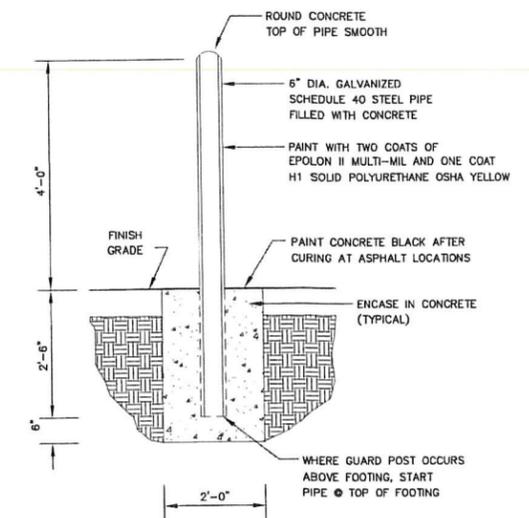
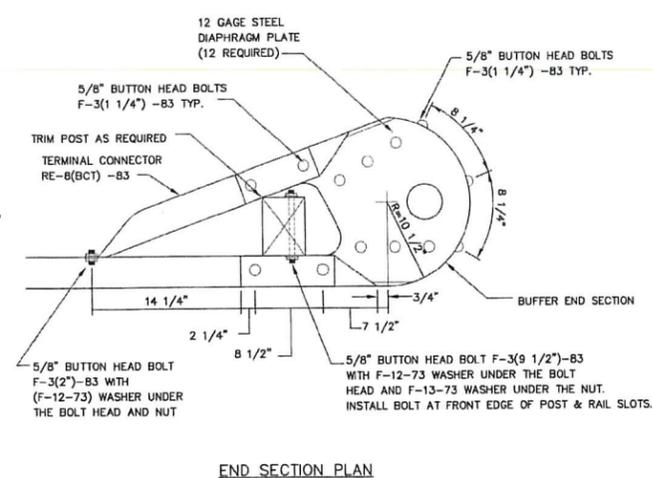
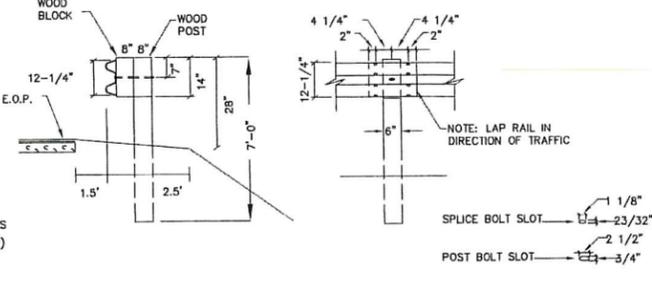
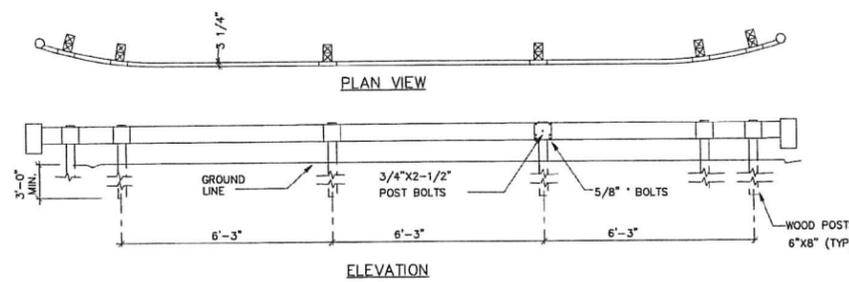
Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	D1
SHEET 10 OF 14	JBE PROJECT NO. 18006



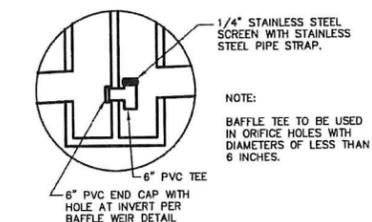


BEAM GUARD RAIL STANDARD SECTION - WOOD POST

NOT TO SCALE

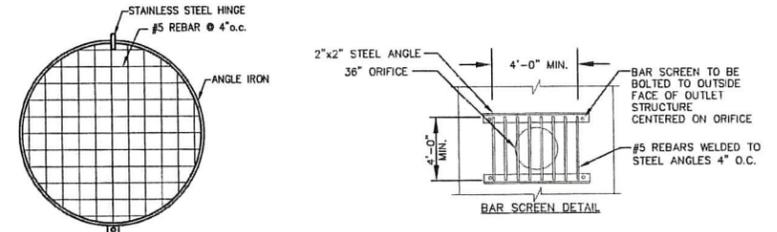
BOLLARD

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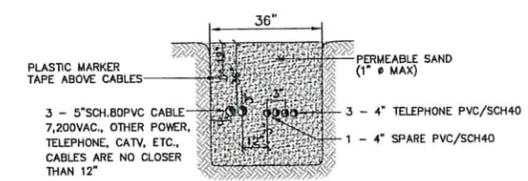


BAFFLE TEE DETAIL

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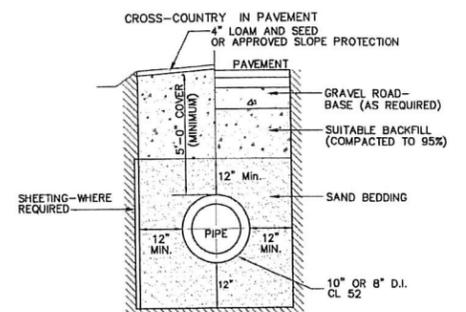


POND STRUCTURE COVER



UTILITY TRENCH

NOT TO SCALE

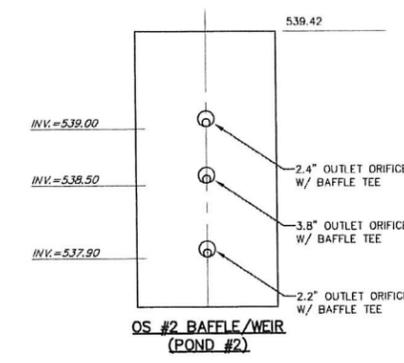
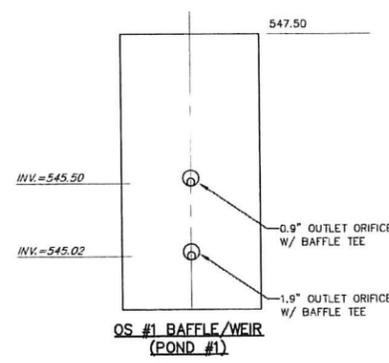


WATER SYSTEM TRENCH

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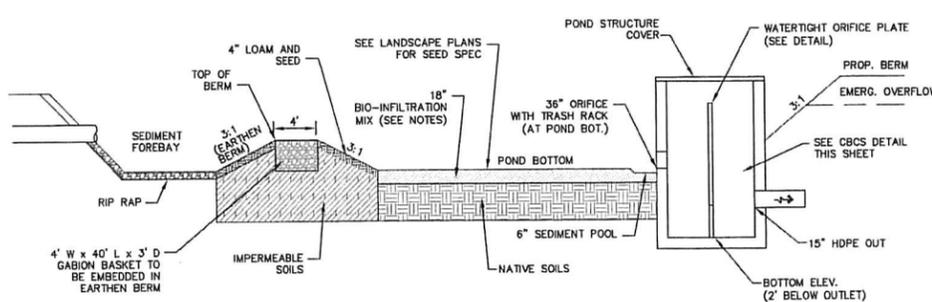
INFILTRATION GENERAL NOTES

- DO NOT TRAFFIC DIRECTLY ON EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT DIRECTLY ON INFILTRATION BASIN FLOOR AREA. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



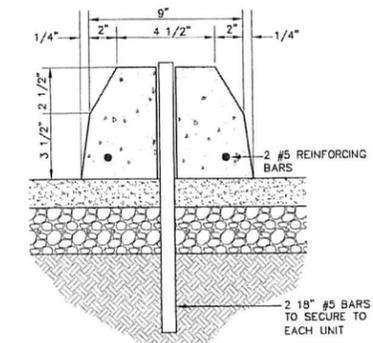
BIO-INFILTRATION MIX AND PROCEDURE:

- REMOVE EXISTING FOREST LITTER FROM INFILTRATION BASIN SITE.
- REMOVE SANDY LOAM AND STOCKPILE (SCREEN LARGE ROOTS).
- REMOVE SANDY LAYERS TO 18" BELOW BASIN FLOOR ELEVATION.
- BIO-INFILTRATION MIX: (BY VOLUME)
 - 50%-55% ASTM C-33 CONCRETE SAND.
 - 20%-30% LOAMY SAND TOPSOIL WITH 15X-25X FINES PASSING A #200 SIEVE.
 - 20%-30% MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE #200 SIEVE.
- INSTALL TO BIO-INFILTRATION MIX TO BASIN BOTTOM ELEVATION.
- SEED WITH "NEW ENGLAND WARM SEASON GRASS MIX" AS SOLD BY NEW ENGLAND WETLAND PLANTS, INC. OR EQUAL AS APPROVED BY ENGINEER. APPLICATION RATE = 1900 SQ.FT. / LB.
- LIGHTLY MULCH WITH WEED FREE STRAW.



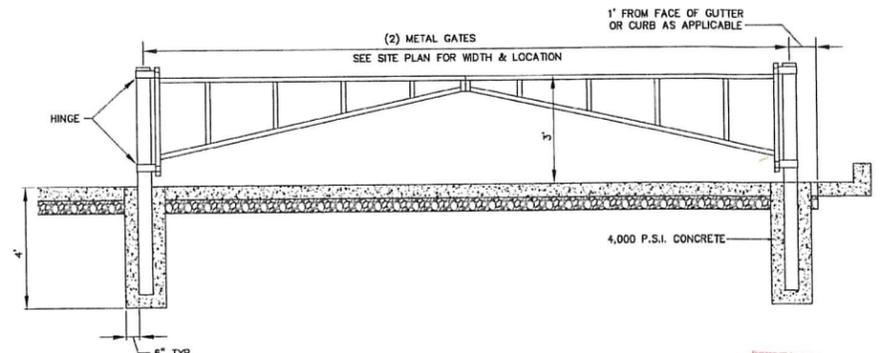
INFILTRATION BASIN DETAIL

NOT TO SCALE



PRECAST CONCRETE WHEEL STOP

NOT TO SCALE



TRAFFIC CONTROL GATE

NOT TO SCALE

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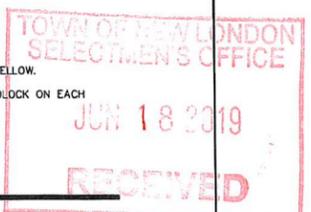
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

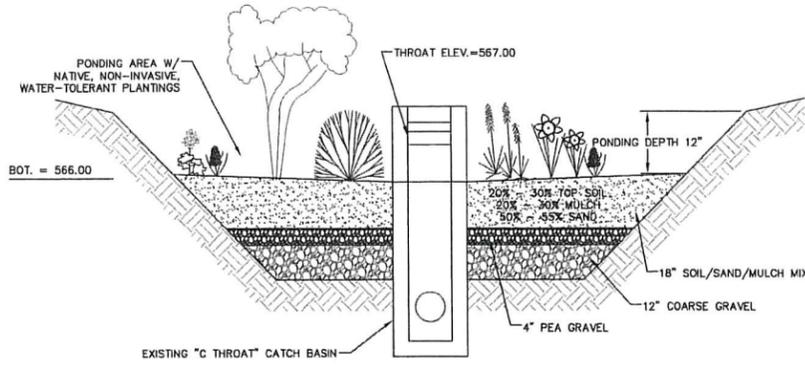
Plan Name:	DETAIL SHEET
Project:	NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.

D2

SHEET 11 OF 14
JBE PROJECT NO. 18006





PLANTING SPECIFICATION

- A. ONLY NATIVE, NON-INVASIVE SPECIES SHALL BE USED.
- B. PLANTING LAYOUT SHALL BE RANDOM & NATURAL.
- C. WOODY VEGETATION SHALL NOT BE USED NEAR INFLOW LOCATIONS.
- D. VEGETATION DIRECTLY OVER THE FILTER MEDIA SHALL BE LIMITED TO FACULTATIVE WETLAND SPECIES AS SPECIFIED IN NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1), MAY 1988, PUBLISHED BY U.S. FISH AND WILDLIFE SERVICES.
- E. TREES OR LARGE SHRUBS SHALL BE PLANTED ALONG THE PERIMETER.
- F. THE PLAN SHALL ESTABLISH A PERIMETER TREE CANOPY WITH AN UNDERSTORY OF SHRUBS AND HERBACEOUS PLANTS.

RAIN GARDEN MAINTENANCE

RAIN GARDEN MAINTENANCE SHALL FOLLOW THE REQUIREMENTS SET FORTH IN THE "DECLARATION OF RAIN GARDEN MAINTENANCE AGREEMENT AND EASEMENT" TO BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

RAIN GARDEN: POND #3

NOT TO SCALE

TOPSOIL SPECIFICATION

LOAMY SAND TOPSOIL WITH MINIMAL CLAY CONTENT AND BETWEEN 15 TO 25% FINES PASSING THE #200 SIEVE.

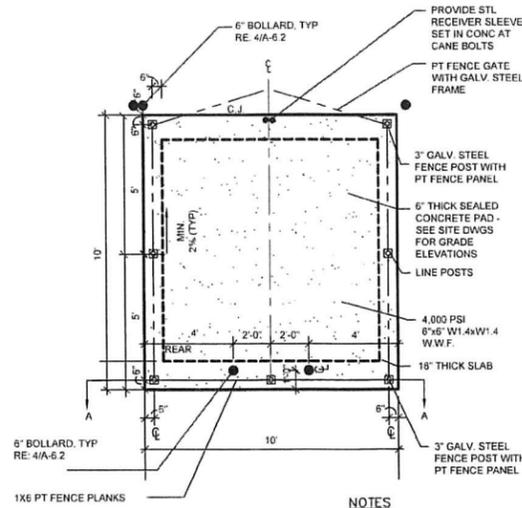
MULCH SPECIFICATION

MODERATELY FINE, SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% COARSE THE #200 SIEVE.

SAND SPECIFICATION

SAND SHALL MEET ASTM C-33 (CONCRETE AGGREGATE) SEVE SIZE % BY WEIGHT

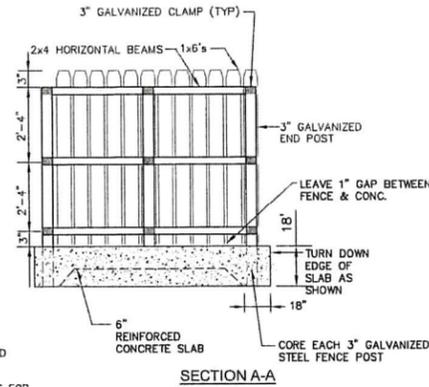
SEVE SIZE	% BY WEIGHT
#100	100
#4	95-100
#8	80-100
#16	50-85
#30	25-60
#60	10-30
#100	2-10
#200	0-5



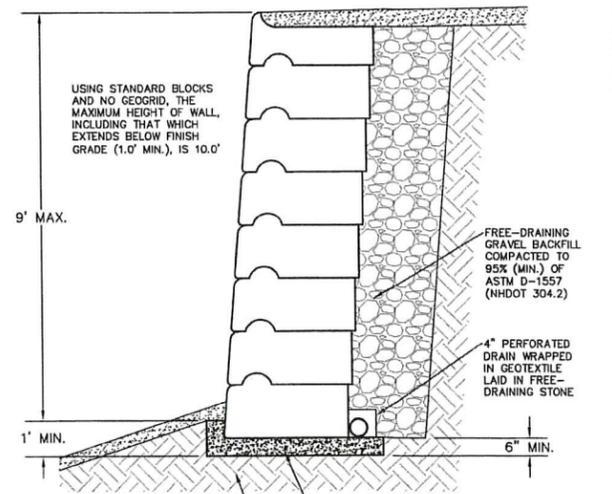
DUMPSTER ENCLOSURE PLAN

NOT TO SCALE

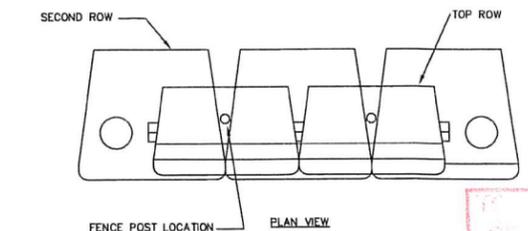
- NOTES**
1. ALL LUMBER TO BE PRESSURE TREATED.
 2. WOOD FENCE TO BE PAINTED OR STAINED TO MATCH BUILDING FOUNDATION.
 3. DUMPSTER SIZE VARIES, SEE SITE PLANS FOR SCREENING SIZE.



SECTION A-A

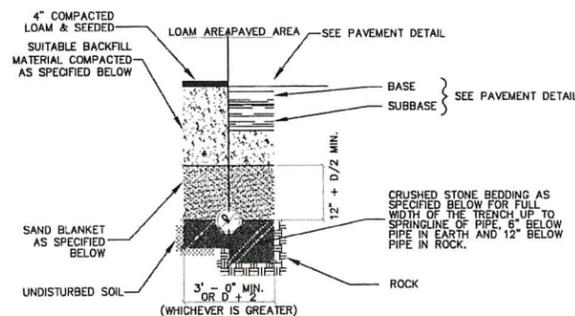


1. PRE-FABRICATED WALL UNITS SHALL BE REDI-ROCK INTERNATIONAL AS PRODUCED BY A LICENSED MANUFACTURER, OR AN EQUIVALENT APPROVED IN WRITING BY THE CIVIL ENGINEER OF RECORD (JONES & BEACH ENGINEERS, INC.).
2. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A LICENSED STRUCTURAL ENGINEER TO DESIGN ANY WALL THAT HAS A HEIGHT OVER 4.0'. JONES & BEACH ENGINEERS, INC. DOES NOT ACCEPT ANY LIABILITY FOR THE STRUCTURAL DESIGN AND/OR INSTALLATION OF ANY RETAINING WALL OF ANY TYPE ABOVE THIS HEIGHT. THIS DETAIL IS INTENDED TO PROVIDE AN EXAMPLE OF THE RETAINING WALL FOR PLANNING PURPOSES ONLY AND IS SPECIFICALLY NOT INTENDED FOR USE BY THE CONTRACTOR IN ANY CONSTRUCTION-RELATED ACTIVITY.
3. CONSTRUCTION OF THE RETAINING WALL(S) SHOULD FOLLOW THE SPECIFICATIONS OF REDI-ROCK INTERNATIONAL AND THE STRUCTURAL ENGINEER OF RECORD.
4. RETAINING WALL-RELATED CORRESPONDENCE SHOULD BE DIRECTED TO:
REDI-ROCK INTERNATIONAL
05481 SOUTH U.S. 31
CHARLEVOIX, MICHIGAN 49720
TF: (231) 237-9500
FF: (231) 237-9521
www.redi-rock.com



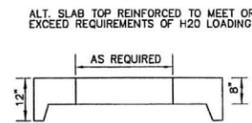
REDI-ROCK INTERNATIONAL RETAINING WALL DETAIL (STANDARD BLOCKS W/ NO GEOGRID)

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DRAINAGE TRENCH

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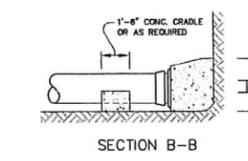
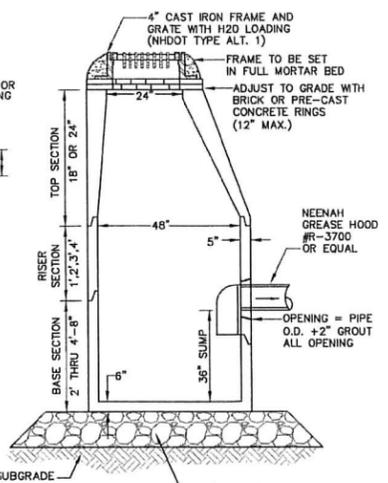


ALT. SLAB TOP REINFORCED TO MEET OR EXCEED REQUIREMENTS OF H2O LOADING

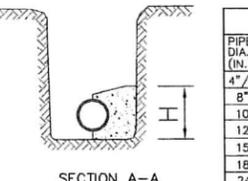
- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATER TIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
 9. ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

CATCH BASIN WITH GREASE HOOD

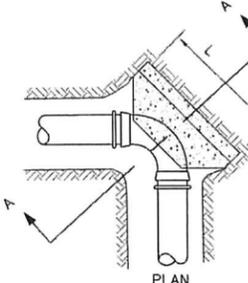
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SECTION B-B



SECTION A-A



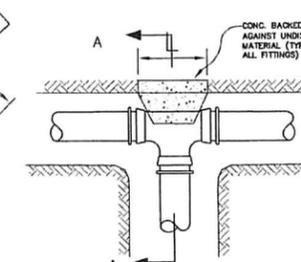
THRUST BLOCK DETAILS

NOT TO SCALE

CONCRETE THRUST BLOCK DIMENSIONS

PIPE DIA. (IN.)	TEE		90° BEND OR STUB		45° BEND		22.5° BEND	
	H	L	H	L	H	L	H	L
4"/6"	1'-6"	1'-6"	1'-6"	2'-0"	1'-6"	1'-6"	1'-6"	1'-6"
8"	2'-0"	2'-0"	2'-0"	3'-0"	1'-6"	2'-0"	1'-6"	1'-6"
10"	2'-0"	3'-0"	2'-6"	3'-6"	2'-0"	2'-6"	1'-6"	2'-0"
12"	2'-6"	3'-6"	3'-0"	4'-6"	2'-0"	3'-6"	1'-6"	2'-6"
15"	3'-0"	4'-6"	3'-6"	5'-6"	3'-0"	3'-6"	2'-0"	2'-6"
18"	4'-0"	5'-0"	4'-6"	6'-0"	3'-6"	4'-0"	2'-6"	3'-0"
24"	5'-0"	7'-0"	6'-0"	8'-0"	4'-0"	6'-0"	3'-0"	4'-6"

PIPING W/ MECHANICAL JOINT FITTINGS SHALL HAVE RETAINING GLANDS



THRUST BLOCK DETAILS

NOT TO SCALE

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Design: EMP | Draft: GDR | Date: 8/31/18
 Checked: BWG | Scale: AS NOTED | Project No.: 18006
 Drawing Name: 18006-PLAN.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

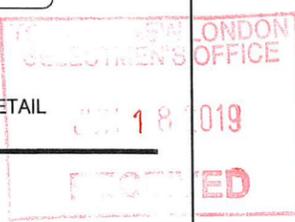


REV.	DATE	REVISION	BY
0	6/18/19	ISSUED FOR REVIEW	EMP

Designed and Produced in NH
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Plan Name: **DETAIL SHEET**
 Project: **NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH**
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **D3**
 SHEET 12 OF 14
 JBE PROJECT NO. 18006



TEMPORARY EROSION CONTROL NOTES

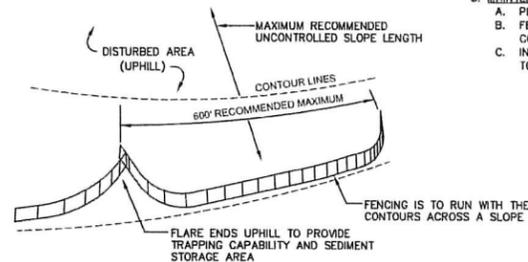
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.25" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN 575 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF EARTH MOVING ACTIVITIES UNTIL THE SITE IS STABLE.
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 0.25 INCH OR GREATER RAIN EVENT (I.E. 0.25 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD), IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 465 A:17.
- DEWATERING OF PROPOSED SITE FEATURES SHALL BE ACCOMPLISHED THROUGH THE USE OF GRAVITY FLOW OR VIA MECHANICAL PUMPS.
 - SEDIMENT LADEN WATERS FROM DEWATERING PROCEDURES SHALL BE DIRECTED TO A SEDIMENT TRAP OR A SEDIMENT BAG TO REMOVE SEDIMENT PRIOR TO DISCHARGE TO SURFACE WATERS.
 - SEE SEDIMENT TRAP DETAIL DEPICTED ON SHEET E2 FOR FURTHER GUIDANCE ON SEDIMENT TRAP CONSTRUCTION AND OPERATION.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFLOL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/2	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/2 FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

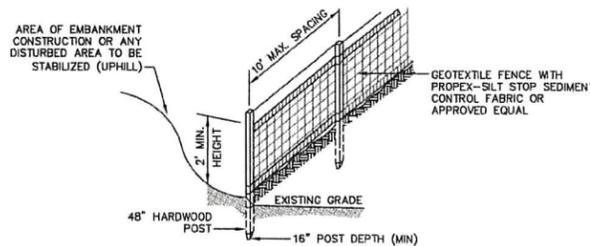
SEEDING RATES



- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE

SEEDING SPECIFICATIONS

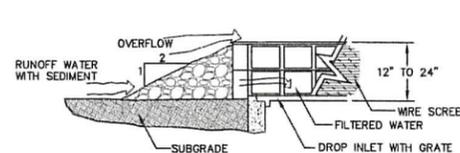
- GRADING AND SHAPING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT, TREFLOL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - SALT MARSH HAY, STRAW, OR OTHER APPROVED MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. SALT MARSH HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

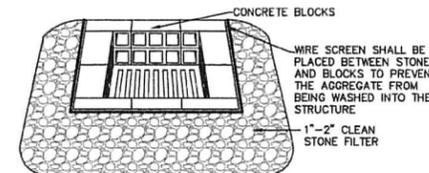


MAINTENANCE NOTE:

- ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION (Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE



CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, SALT MARSH HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM. DEWATERING AND WETLAND FILL TO FOLLOW DEWATERING PHASE PLANS EA1-EA3.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF 'SELECT' SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL 'BASE COURSE'.
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH 'FINISH' COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED* WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

*=STABILIZED: IN A CONDITION IN WHICH THE SOILS ON THE SITE WILL NOT ERODE UNDER THE CONDITIONS OF A 10-YEAR STORM. (NHAOT ENV-EQ 1502.54)

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	FAIR	EXCELLENT	EXCELLENT	POOR
	D	GOOD	GOOD	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	POOR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.

2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

TOWN OF NEW LONDON
SELECTMEN'S OFFICE
JUN 18 2019
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Design: EMP	Draft: GDR	Date: 8/31/18
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Designed and Produced in NH

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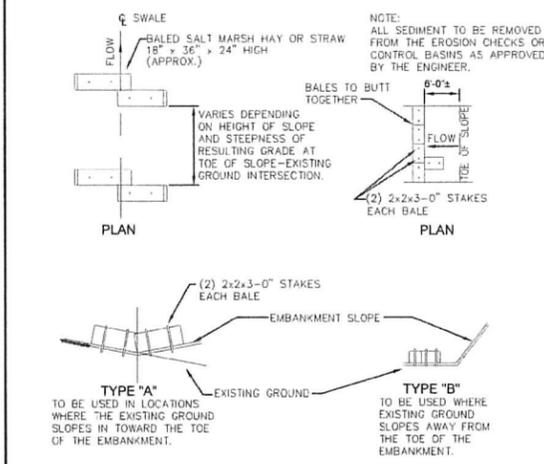
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

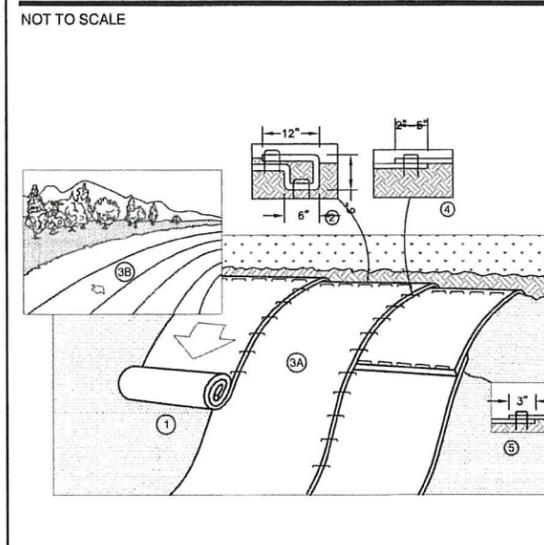
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

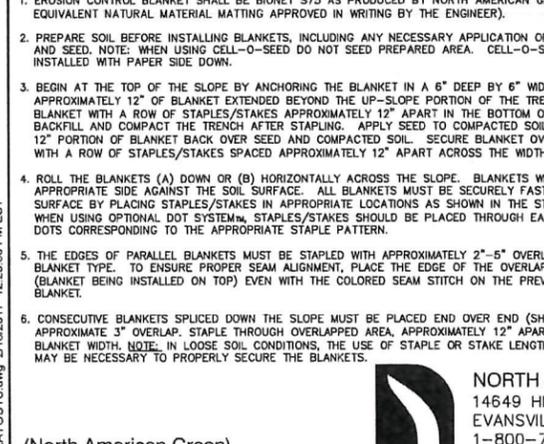
DRAWING No.	E1
SHEET 13 OF 14	JBE PROJECT NO. 18006



BALED HAY OR STRAW EROSION CHECK DETAIL
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STONE CHECK DAM
NOT TO SCALE



FILTREXX SEDIMENT TRAP DETAIL
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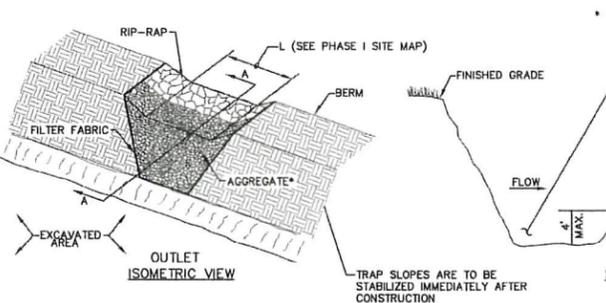
BEST MANAGEMENT PRACTICES FOR BLASTING.

- ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING: PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.
 - LOADING PRACTICES. THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
 - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
 - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
 - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
 - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
 - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
 - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
 - EXPLOSIVE SELECTION. THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
 - PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
 - MUCK PILE MANAGEMENT. MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
 - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
 - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
 - SPILL PREVENTION MEASURES AND SPILL MITIGATION. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
 - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
 - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
 - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
 - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
 - INSPECT STORAGE AREAS WEEKLY.
 - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
 - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
 - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
 - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
 - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
 - PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS.
 - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
 - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
 - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
 - THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
 - FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES [NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD.DWGB:22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT OR ITS SUCCESSOR DOCUMENT.

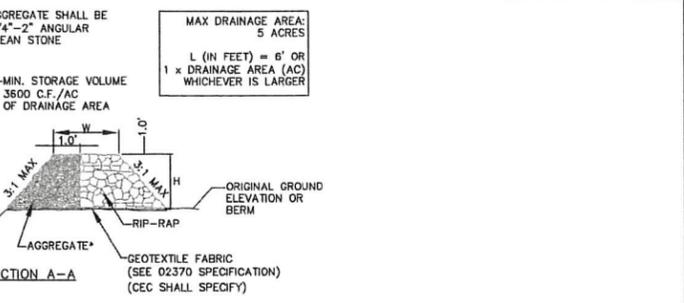
TEMPORARY SEDIMENT TRAP

- MAINTENANCE NOTES:
- SEDIMENT TRAPS MUST BE INSPECTED AND MUST BE CLEANED WHEN THE ORIGINAL CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR LESS, AS REQUIRED BY THE GOVERNING AGENCY.
 - ALL MATERIAL EXCAVATED FROM BEHIND SEDIMENT BARRIERS OR FROM TRAPS SHALL BE INCORPORATED INTO ON-SITE SOILS OR SPREAD OUT ON AN UPLAND PORTION OF THE SITE AND STABILIZED.
 - VERIFY THAT NO EROSION IS OCCURRING AT DISCHARGE POINTS TO AND FROM IMPOUNDMENTS AND VERIFY THAT TRAP SIDE SLOPES ARE STABILIZED AND SHOW NO SIGNS OF EROSION.
 - THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
 - TRAP TO BE CLEANED WHEN 50% OF ORIGINAL VOLUME IS FILLED.
 - THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

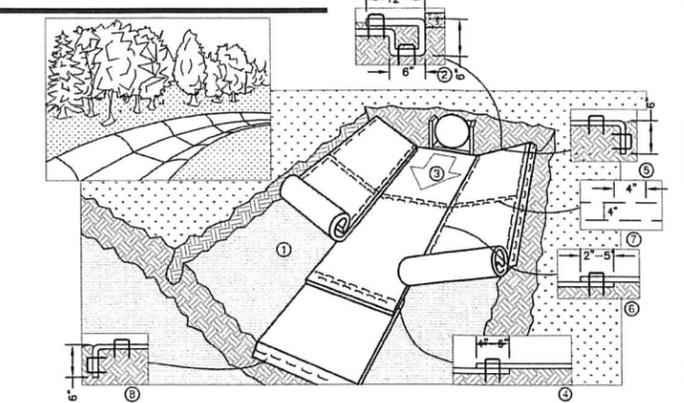
TEMPORARY SEDIMENT TRAP
NOT TO SCALE



TEMPORARY SEDIMENT TRAP
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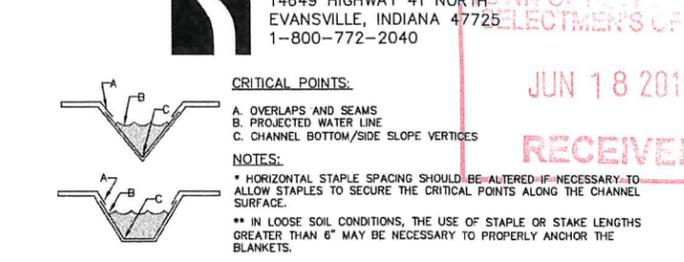
EROSION CONTROL BLANKET SLOPE INSTALLATION
(North American Green)
NOT TO SCALE



FILTREXX SEDIMENT TRAP
NOT TO SCALE

- GENERAL NOTES:
- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
 - THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
 - THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
 - THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
 - THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
 - THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OFF AND STABILIZED.
- NOTES:
- FILTREXX SEDIMENT TRAP MUST BE INSTALLED BY FILTREXX CERTIFIED INSTALLER.
 - FILTREXX SEDIMENT TRAP MUST BE COMPLY WITH ALL FILTREXX STANDARD SPECIFICATIONS.
 - FILTREXX SEDIMENT TRAP MUST USE FILTREXX FILTERMEDIA.
 - FILTREXX SEDIMENT TRAP BARRIER FACE SIZING SHALL USE $Q/0.98CFM(PSF\ OF\ AREA\ FACE) = A\ (Q=5L/SEC/50.M)$
 - FILTREXX SEDIMENT TRAP BARRIER FACE SHALL BE MEASURED AS A=L*D.
 - FILTREXX SEDIMENT TRAP SHALL BE CONSTRUCTED SO THAT THE MINIMUM BASE WIDTH IS EQUIVALENT TO THE HEIGHT (H:1V).
 - SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/2 THE HEIGHT OF THE BARRIER.
 - FILTREXX SEDIMENT TRAP SHALL BE INSPECTED AND MAINTAINED AFTER STORM EVENTS.
 - SOXX SHALL BE OF LARGER DIAMETER AT THE BASE OF THE SEDIMENT TRAP AND DECREASE IN DIAMETER FOR SUCCESSIVE LAYERS.
 - ENDS OF THE SEDIMENT TRAP SHALL BE A MINIMUM 1 FT (30 CM) HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE AT THE LOWEST ELEVATION.
 - BOTTOM LAYER OF SOXX SHALL BE STAKED WITH 2X2X36" WOODEN STAKES. SUCCESSIVE LAYERS SHALL BE STAKED WITH 1/2" REBAR AT A 45 DEGREE ANGLE.

EROSION CONTROL BLANKET SWALE INSTALLATION
(North American Green)



EROSION CONTROL BLANKET SWALE INSTALLATION
(North American Green)
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Design: EMP Draft: GDR Date: 8/31/18
Checked: BWG Scale: AS NOTED Project No.: 18006
Drawing Name: 18006-PLAN.dwg

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MAINTENANCE NOTE:

- STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

DESIGNED AND PRODUCED IN NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
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Plan Name: EROSION AND SEDIMENT CONTROL DETAILS
Project: NEW LONDON PARKING LOT COUNTY ROAD, NEW LONDON, NH
Owner of Record: NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No. E2
SHEET 14 OF 14
JBE PROJECT NO. 18006

NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

CRITICAL POINTS:

- OVERLAPS AND SEAMS
- PROJECTED WATER LINE
- CHANNEL BOTTOM/SIDE SLOPE VERTICES

NOTES:

- HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

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