

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

July 2, 2018

New London Planning Board
Attn: Paul Gorman, Chair
375 Main Street
New London, NH 03257

**RE: Final Subdivision Plan Review Application
County & Parkside Road, NH
Tax Map 72, Lot 17
JBE Project No. 17190**

Dear Board Members:

Jones & Beach Engineers, Inc., respectfully submits an Application for Final Minor Subdivision Plan Review on behalf of applicant, New London Hospital Association. The intent of this application is to subdivide Tax Map 72, Lot 17 into two parcels utilizing the Commercial/Residential zone line as the division line.

The following items are provided in support of this Application:

1. Completed Planning Board Application for Final Subdivision Plan Review with checklist.
2. Letter of Authorizations.
3. Abutters List & Mailing Labels (3 sets).
4. Zoning Administrator Note on Steep Slopes.
5. Check in the amount of \$1,028.48 for review fees.
6. Tax Map.
7. Six (6) Full-Size Plan Sets (24" x 36").
8. Four (4) Reduced-Size Plan Sets.
9. One (1) PDF of plans.
10. Waiver Request Letter.
11. NHB Data Checklist Results.
12. Soils Report from Gove Environmental Services.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Wayne G. Morrill
Vice President

cc: Continuum Health Services, Inc. (application and plans via email)

**Planning Board
Fee Schedule as of 10/27/09**

Type of Application	Fee	
All Applications - Abutter Notification and/or Public Notice, as required	Current postage rates for certified mail to each abutter & applicant, plus cost of published public notice, as required (Contact Town Offices)	44 Abutters x \$3.92 = \$172.48 +
All Applications - Recording Fees, as required	Current recording fees, costs and surcharges, as required, at the Merrimack County Registry of Deeds (Contact Town Offices)	\$56 Public Notice = Total for Section= \$228.48
Minor Subdivision	\$100 Concept Filing Fee (Credit to Final Application Fee, if Final is filed) \$100 Final Filing Fee, Plus; \$150 Per Lot/Site/Unit, Plus; Abutter Notification, Plus; Recording Fees	
Major Subdivision	\$200 Concept Filing Fee (Credit to Final Application Fee, if Final is Filed) \$200 Preliminary Filing Fee, Plus; Abutter Notification \$200 Final Filing Fee, Plus; \$300 Per Lot/Site/Unit, Plus; Abutter Notification, Plus; Recording Fees	\$200.00 Filing Fee \$300.00 x 2 Lots = \$600.00 Total for Section = \$800.00
Site Plan Review (SPR)	\$200 Concept SPR Filing Fee (Credit to Final Application Fee, if filed) \$200 Preliminary SPR Fee, Plus; Abutter Notification \$200 Final SPR Fee, Plus; \$75 per 1000 SF BLDG, Plus; Abutter Notification	
Site Plan Review – Filling and Excavating	\$200 for a 1 acre site, Plus; \$100 for each additional acre (or fraction thereof) in size of the overall site, Plus; Abutter Notification	
Sub-Committee Meeting, as required	\$50 per meeting	
Site Plan Review - Home Business	\$50 SPR Filing Fee, Plus; Abutter Notification	
Annexation/Lot Line Adjustment	\$75 Filing Fee, Plus; Abutter Notification, Plus; Recording Fees	
Merger	\$50/two lots, Plus; \$25 each additional lot, Plus; Recording Fees	
Change of Occupancy/Tenant	No Charge	
Certificate of Occupancy (per Site Plan Review regulations)	\$50	
		TOTAL = \$1,028.48

**EXHIBIT A1
APPLICATION FOR SUBDIVISION REVIEW**

APPLICATION FOR: _____ **DATE APPLICATION SUBMITTED:** July 3, 2018

- Phase I Conceptual Review Phase
- Phase II Preliminary Plan or Design Review Phase
- Phase III: Final Subdivision Plat Phase

NAME OF APPLICANT: New London Hospital Association
ADDRESS: 273 County Road, New London, NH 03257
DAYTIME PHONE NUMBER: _____

NAME OF PROPERTY OWNER: New London Hospital Association
 (If other than applicant)
ADDRESS: 273 County Road, New London, NH 03257
DAYTIME PHONE NUMBER: _____

LOCATION OF PROPERTY: County & Parkside Road

TAX MAP(S): 72 **LOT(S):** 17 **ZONE DISTRICT(S):** R-1 Residential / Commercial

NUMBER OF LOTS PROPOSED: _____

WATER SERVICE: New London/Springfield Water System Precinct
 On-site Water Well
 Community Water System
 Other: _____

SEWER SERVICE: New London Sewer
 On-site Septic System
 Community Septic System
 Other: _____

ROAD(S) PROVIDING ACCESS: _____ **Town Road:** County & Parkside Road
 _____ **State Highway:** _____

The Zoning Administrator or Land Use Coordinator can assist applicants identify whether the following natural resources will be impacted and which sub-watershed the property is located in.

WETLAND IMPACTED?	<input checked="" type="checkbox"/>	Yes	<input type="checkbox"/>	No
WETLAND BUFFERS IMPACTED?	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No
STEEP SLOPE AREA IMPACTED?	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No
STREAM(S) IMPACTED?	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No
STREAM BUFFER(S) IMPACTED?	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No
LOCATED OVER AN AQUIFER?	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No
LOCATED WITHIN A 100 YEAR FLOODPLAIN?	<input type="checkbox"/>	Yes	<input checked="" type="checkbox"/>	No

SURFACE WATER – WATERSHED:

- Pleasant Lake, Blackwater River
- Little Lake Sunapee
- Goose Hole Pond
- Otter Pond
- Lake Sunapee
- Lyon Brook, Kezar Lake
- Messer Pond, Clark Pond, Kezar Lake

CURRENT USE:

Does the proposed subdivision affect land held in Current Use? ___ Yes X No

CONSERVATION EASEMENT:

Does the subdivision affect land held in a Conservation Easement? ___ Yes X No

I certify that this Subdivision Application, including the supporting plan and documents, has been completed in accordance with the latest adopted version of the Land Subdivision Control Regulations of the Town of New London.

I certify that this Subdivision Application, including the supporting plan and documents, complies with the standards specified in the New London Land Subdivision Control Regulations, unless a specific waiver has been applied for and granted by the Planning Board, and that I will continue to comply with those standards on an on-going basis.

I understand and agree that if I propose to change the subdivision and related materials from the approved application that I will contact the Planning Board, or their designee, to see if a new application for the amended subdivision application is required and file that amended application if required.

I agree to obtain all the subsequent Town permits needed for this Subdivision Application including all of the applicable Developers Responsibilities specified in SECTION VII of the Land Subdivision Control Regulations.

I agree to comply with all required inspections during construction and to pay for all required inspection services.

In making this application, I agree to permit the members of the Planning Board and their agents to enter upon the subject property for the purpose of inspecting the property for this application.

DATE: 7-3-18

SIGNATURE OF PROPERTY OWNER

SIGNATURE OF AGENT FOR PROPERTY OWNER

(Need letter of authorization from property owner if agent)

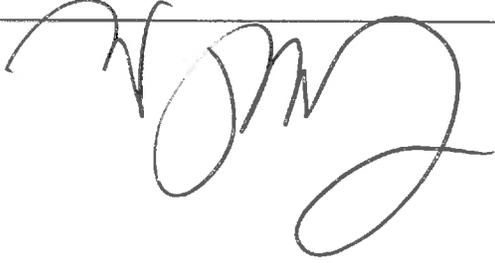


EXHIBIT A3

MINOR SUBDIVISION CHECKLIST of APPLICATION REQUIREMENTS

<u># in Regulations</u>	<u>Application Requirement</u>	<u>Submitted</u>	<u>Not Applicable</u>	<u>Waived by PB</u>
1.	Application Form	X		
2.	Letter of Authorization	X		
3.	Abutters List	X		
4.	Application Fee	X		
5.	Waiver Requests in Writing	X		
6.	Site Survey Map - 3 Copies of Full-Scale & 10 Copies Reduced-Scale	X		
7.	Topographic Map - 3 Copies of Full-Scale & 10 Copies Reduced-Scale	X		
8.	Soils Map - 3 Copies of Full-Scale & 10 Copies Reduced-Scale	X		
9.	Information on Special Flood Hazard Areas		X	
10.	Applicable agency or Permit Approvals	X		
11.	Additional Information Required by he Planning Board	X		

EXHIBIT B1 - FORM FOR INDIVIDUALS

COVENANT RELATING TO RELEASE OF
TOWN OF NEW LONDON,
NEW LONDON-SPRINGFIELD WATER SYSTEM PRECINCT
AND NEW LONDON PUBLIC WORKS DEPARTMENT
FROM FURNISHING CERTAIN FACILITIES IN
PROPOSED SUBDIVISION OF LAND,
NEW LONDON, NEW HAMPSHIRE

The undersigned developer, (1) having proposed to subdivide a certain tract or parcel of land situate in New London in the County of Merrimack and State of New Hampshire, as more particularly described in deed to the undersigned dated _____ and recorded in Merrimack County Registry of Deeds, Book _____, Page _____, to which reference is made, and (2) having requested approval of the proposed subdivision by the Planning Board of the Town of New London, and (3) having represented to said Planning Board that he does not now desire or require public highway, public water or public sewer services and facilities for all or any of the land in said subdivision as described in the foregoing deed, (4) in consideration of the approval of the proposed subdivision by said Planning Board, for himself, his heirs, administrators, successors and assigns, does hereby covenant, grant and agree to and with the Town of New London, the New London-Springfield Water System Precinct and the New London Public Works Department, and their respective successors and assigns, as follows:

- A. On behalf of himself, and his successors in title of all or any part of said tract of land, he and they hereby absolve, release and forever discharge the Town of New London, the New London-Springfield Water System Precinct and New London Public Works Department from all obligation to provide, at public expense, any public highways (including drainage, sidewalks and curbs), public water service and public sewer service for the benefit of all or any portion of said tract of land.
- B. On behalf of himself, and his successors in title of all or any part of said tract of land, he and they jointly and severally undertake that, whenever any of the foregoing public services or facilities are desired or required for the benefit of all or any part of said tract of land, they will cause the same to be constructed at their own expense and without cost to the Town of New London, the New London-Springfield Water System Precinct and the New London Public Works Department, in accordance with the then current subdivision regulations of the Town of New London and the then current specifications and standards of the municipal officers having jurisdiction thereof.
- C. This covenant shall run with and be binding upon the foregoing tract of land and every part thereof and shall be recorded in Merrimack County Registry of Deeds as evidence thereof. In each and every deed of a lot in said subdivision the developer

undertakes to insert a clause referring to this covenant and binding the grantee to it.

Given under the hand seal of the undersigned developer(s) this day of _____ -
_____, 20__.

Witness:

The State of New Hampshire
Merrimack, ss.

Personally appeared the above subscriber(s) and each acknowledged the foregoing instrument
to be his (her) free act and deed. Before me:

Justice of the Peace/Notary Public

EXHIBIT B2 - FORM FOR CORPORATIONS

COVENANT RELATING TO RELEASE OF
TOWN OF NEW LONDON,
NEW LONDON-SPRINGFIELD WATER SYSTEM PRECINCT
AND NEW LONDON PUBLIC WORKS DEPARTMENT
FROM FURNISHING CERTAIN FACILITIES IN
PROPOSED SUBDIVISION OF LAND,
NEW LONDON, NEW HAMPSHIRE

The undersigned developer, (1) having proposed to subdivide a certain tract or parcel of land situate in New London in the County of Merrimack and State of New Hampshire, as more particularly described in deed to the undersigned dated _____ and recorded in Merrimack County Registry of Deeds, Book _____, Page _____, to which reference is made, and (2) having requested approval of the proposed subdivision by the Planning Board of the Town of New London and (3) having represented to said Planning Board that it does not now desire or require public highway, public water or public sewer services and facilities for all or any of the land in said subdivision as described in the foregoing deed, (4) in consideration of the approval of the proposed subdivision by said Planning Board, for itself, its successors and assigns, does hereby covenant, grant and agree to and with the Town of New London, the New London-Springfield Water System Precinct and the New London Public Works Department and their respective successors and assigns, as follows:

- A. On behalf of itself, its successors and assigns in title of all or any part of said tract of land, it and they hereby absolve, release and forever discharge the Town of New London, the New London-Springfield Water System Precinct and the New London Public Works Department from all obligation to provide, at public expense, any public highways (including drainage, sidewalks and curbs), public water service and public sewer service for the benefit of all or any portion of said tract of land.
- B. On behalf of itself, its successors and assigns in title of all or any part of said tract of land, it and they jointly and severally undertake that, whenever any of the foregoing public services or facilities are desired or required for the benefit of all or any part of said tract of land, they will cause the same to be constructed at their own expense and without cost to the Town of New London, the New London-Springfield Water System Precinct and the New London Public Works Department, in accordance with the then current subdivision regulations of the Town of New London and the then current specifications and standards of the municipal officers having jurisdiction thereof.
- C. This covenant shall run with and be binding upon the foregoing tract of land and every part thereof and shall be recorded in Merrimack County Registry of Deeds as evidence thereof. In each and every deed of a lot in said subdivision the developer undertakes to insert a clause referring to this covenant and binding the grantee to it.

Given under the hand and seal of the undersigned developer(s) this day of _____, 20 __.

Witness:

The State of New Hampshire
Merrimack, ss.

Personally appeared the above subscriber(s) and each acknowledged the foregoing instrument to be his (her) free act and deed. Before me:

Justice of the Peace/Notary Public

EXHIBIT B3

COVENANT RELATING TO RELEASE OF
TOWN OF NEW LONDON,
FROM FURNISHING CERTAIN FACILITIES
IN PROPOSED SUBDIVISION OF LAND,
NEW LONDON, NEW HAMPSHIRE

The undersigned developer, (1) having proposed to subdivide a certain tract or parcel of land situate in New London in the County of Merrimack and State of New Hampshire, as more particularly described in deed to the undersigned dated _____ Book _____ Page _____, to which reference is made, and (2) having requested approval of the proposed subdivision by the Planning Board of the Town of New London and (3) having represented to said Planning Board that he does not desire or require fire protection and facilities for all or any of the land in said subdivision as described in the foregoing deed, (4) in consideration of the approval of the proposed subdivision by said Planning Board, for himself, his heirs, administrators, successors and assigns, does hereby covenant, grant, and agree to and with the Town of New London, and their respective successors and assigns, as follows:

- A. On behalf of himself, and his successors in title of all or any part of said tract of land, he and they hereby absolve, release and forever discharge the Town of New London, from all obligation to provide, at public expense, any public cisterns or fire facilities, piping, and maintenance, for the benefit of all or any portion of said tract of land.
- B. On behalf of himself, and his successors in title of all or any part of said tract of land, he and they jointly and severally undertake that, whenever any of the foregoing public services or facilities are desired or required for the benefit of all or any part of said tract of land, they will cause the same to be constructed at their own expense, and without the cost to the Town of New London, in accordance with the then current subdivision regulations of said Town and the then current specifications and standards of the municipal officers having jurisdiction thereof.
- C. On behalf of himself, and his successors in title of all or any part of said tract of land, he and they jointly and severally undertake that they will maintain the same at their sole expense and in accordance with the directions of the Town of New London, and if they shall fail to maintain in accordance with such directions, that the Town will maintain the same in accordance with its requirements and if the Town is required to maintain the same, the Town will file a lien upon the foregoing tract of land and every part thereof and shall record such lien in the Merrimack County Registry of Deeds.

D. This covenant shall run with and be binding upon the foregoing tract of land and every part thereof and shall be recorded in Merrimack County Registry of Deeds as evidence thereof. In each and every deed of a lot in said subdivision the developer undertakes to insert a clause referring to this covenant and binding the grantee to it.

Given under the hand seal of the undersigned developer(s) this day of _____
20__.

WITNESS:

The State of New Hampshire
Merrimack, ss.

Personally appeared the above subscriber(s) and each acknowledged the foregoing instrument to be his (her) free act and deed. Before me:

Justice of the Peace/Notary Public

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

July 2, 2018

New London Planning Board
Attn: Paul Gorman, Chair
375 Main Street
New London, NH 03257

**RE: Waiver Request
County & Parkside Road, NH
Tax Map 72, Lot 17
JBE Project No. 17190**

Dear Board Members:

Jones & Beach Engineers, Inc. respectfully submits a Waiver Request for the above-referenced parcel on behalf of applicant, Continuum Health Services, Inc.

- **Waiver Request from the Town of New London Subdivision Regulations, Section V-C.7-
Topographic Plans**

Jones & Beach Engineers has provided topographic information on the plans in the areas that are proposed to be developed per the Site Plan application being submitted on behalf of Continuum Health Services, Inc. We ask the Board to waive showing topographic information on the remained of the parcel.

- **Waiver Request from the Town of New London Subdivision Regulations, Section V-C.8-
Soil Plans.**

Jones & Beach Engineers has provided soils information on the plans in the areas that are proposed to be developed per the Site Plan application being submitted on behalf of Continuum Health Services, Inc. We ask the Board to waive showing soils information on the remained of the parcel.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Wayne Morrill
Vice President

cc: Continuum Health Services, Inc. (application and plans via email)

Letter of Authorization

I, Joseph F. Hogan, Continuum Health Services, Inc., 250 Goddard Road, Lewiston, ME 04240, developer of property located in New London, NH, known as Tax Map 72, Lot 17, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on County & Parkside Road in New London, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.



W:\11111111



Joseph F. Hogan
Continuum Health Services,
Inc.

5/11/08
Date



Letter of Authorization

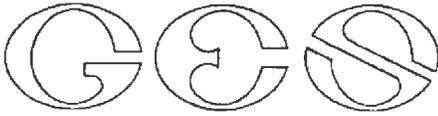
New London Hospital Association, 273 County Road, New London, NH 03257, owner of property located in New London, NH, known as Tax Map 72, Lot 17, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on County & Parkside Road in New London, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Erica M. Belis
Witness

Douglas W. Lynn
New London Hospital
Association
Chairman, Board
of Trustees

7/2/2018
Date



SOIL SURVEY REPORT
Jones and Beach Engineers
Parkside Road, New London, NH

1. MAPPING STANDARDS

Site-Specific Soil Mapping Standards for New Hampshire and Vermont. SSSNNE Special Publication No. 3, Version 4.0, December 2012. This map product is within the technical standards of the National Cooperative Soil Survey. It is a special product, intended for the site specific soil survey. It was produced by a professional soil scientist and is not a product of the USDA Natural Resource Conservation Service.

2. DATE SOIL MAP PRODUCED
October 14, 2017

3. GEOGRAPHIC LOCATION AND SIZE OF SITE
The property consists of approximately 45 acres. The site is covered by mature woodlands, and several wetland areas. The property is bordered by the New London hospital to the north, a condominium complex to the west, power line easement to the east and Parkside Road to the south

4. PURPOSE OF THE SOIL MAP
The preparation of this map was requested by Jones and Beach Engineers. The purpose was to meet the requirements of the NH Alteration of Terrain.

5. SOIL IDENTIFICATION LEGEND

SYMBOL	SOIL TAXONOMIC NAME	Hydrologic Soil Group
142	Monadnock	B
78	Peru	C
99	Tunbridge	C
646/P	Pillsbury Poorly Drained	C

SOIL MAP UNIT DESCRIPTIONS

- 142 The Monadnock series consists of very deep, well drained soils that formed in loamy over sandy melt-out till on hills and mountains in glaciated uplands. Estimated saturated hydraulic conductivity is moderately high or high in the mineral solum and high or very high in the substratum.

- 78 The Peru series consists of moderately well drained soils that formed in loamy lodgment till on hills and mountains in glaciated uplands. They are moderately deep to a dense substratum and very deep to bedrock. Estimated saturated hydraulic conductivity is moderately high or high in the solum, and moderately low or moderately high in the dense substratum.
- 99 The Tunbridge series consists of moderately deep, well drained soils on glaciated uplands. They formed in loamy supraglacial till. Saturated hydraulic conductivity is moderately high or high throughout the mineral soil.
- 646/P The Tunbridge series consists of moderately deep, well drained soils on glaciated uplands. They formed in loamy supraglacial till. Saturated hydraulic conductivity is moderately high or high throughout the mineral soil.

6. RESPONSIBLE SOIL SCIENTIST

Luke D. Hurley, C.S.S.

7. OTHER DISTINGUISHING FEATURES OF SITE

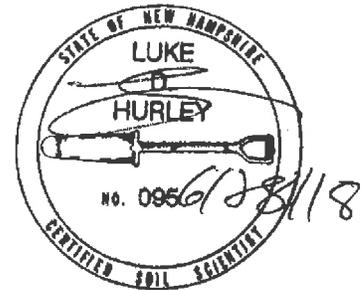
No distinguishing features were noted.

8. MAXIMUM SIZE OF LIMITING INCLUSIONS

No limiting inclusions were mapped

9. SPECIAL FEATURE SYMBOLS

No special feature symbols were used.





TOWN OF
NEW LONDON, NEW HAMPSHIRE

375 MAIN STREET • NEW LONDON, NH 03257 • WWW.NL-NH.COM

May 30, 2018

James. M. Callahan – via email jcallahan@atkinscallahan.com
Atkins Callahan
20 Depot Street, Suite 220
Peterborough, NH 03458

RE: Application #1 – For Special Exception as specified in Article XIV, Sect. C.2
273 County Rd. / Parcel ID 072-017-000

Thank you for appealing to the New London Zoning Board with the above referenced application, received May 29th.

This parcel is located within the Commercial (C) zone, the Urban Residential (R-1) zone, and in the Planned Unit Development Overlay District. Per Art. XIX, Sect. B.2.d., a **Retirement Care Community (RCC) is a permitted use in a Planned Unit Development**. In addition, per Art. XIX, Sect. B.4 & B.5, the Planning Board may permit a Planned Unit Development in the C and R-1 districts within the Planned Unit Overlay District.

In reviewing our Steep Slope Overlay District, Article XIV, where you are requesting a Special Exception from Section C.2, I note that Section C.2 **allows for development associated with a permitted use** for land with slopes in excess of 15% through and including 25%. A Special Exception does not seem necessary.

Should you wish to withdraw your application for a Special Exception to develop in that 15-25% range, please advise me by email at your earliest convenience.

Also, please note that Erosion and Sedimentation Control Plans must be approved by the Selectmen (or their designee) and reviewed by the New London Conservation Commission, and may require bond or security to assure conformance with those plans. See Article XIV, Section C.2 and Section D. The Conservation Commission typically meets the 3rd Wednesday of the month at 8:30 AM. We are currently updating our application for submitting Erosion & Sedimentation Control plans and that will be available soon.

Sincerely,

Nicole Gage
Zoning Administrator
(603) 526-1246 | zoning@nl-nh.com

CC: Kimberly Hallquist, Town Administrator / Adam Ricker, Town Planner



NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Paige Libbey, Jones & Beach Engineers, Inc.
85 Portsmouth Avenue
Stratham, NH 03885

From: NH Natural Heritage Bureau

Date: 10/13/2017 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau of request submitted 10/6/2017

NHB File ID: NHB17-3114

Applicant: Paige Libbey

Location: New London
Tax Maps: Tax Map 72 Lot 17

Project

Description: Retirement care community

The NH Natural Heritage database has been checked by staff of the NH Natural Heritage Bureau and/or the NH Nongame and Endangered Species Program for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government.

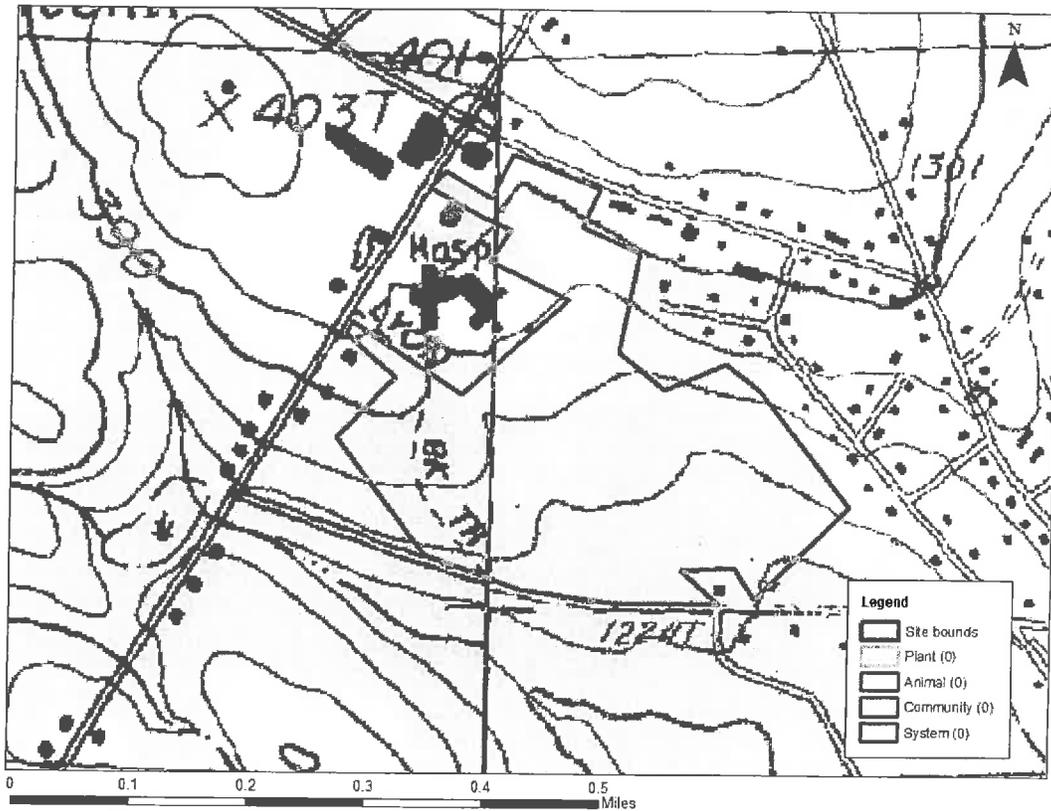
It was determined that, although there was a NHB record (e.g., rare wildlife, plant, and/or natural community) present in the vicinity, we do not expect that it will be impacted by the proposed project. This determination was made based on the project information submitted via the NHB Datacheck Tool on 10/6/2017, and cannot be used for any other project.



NEW HAMPSHIRE NATURAL HERITAGE BUREAU
NHB DATA CHECK RESULTS LETTER

MAP OF PROJECT BOUNDARIES FOR: NHB17-3114

NHB17-3114



**ABUTTERS LIST (200 FT)
COUNTY ROAD, NEW LONDON, NH
JBE PROJECT No. 17190
DECEMBER 22, 2017
REVISED APRIL 26, 2018
REVISED MAY 8, 2018
REVISED JUNE 27, 2018**

OWNER OF RECORD:

TAX MAP 72/ LOT 17 (COUNTY RD)- SUBJECT PROPERTY
TAX MAP 72/ 5 (PARKSIDE RD) – ABUTTING PROPERTY
TAX MAP 72/ 16 (273 COUNTY RD) – ABUTTING PROPERTY
NEW LONDON HOSPITAL ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257

APPLICANT:

CONTINUUM HEALTH SERVICES, INC.
250 GODDARD RD
LEWISTON, ME 04240

ABUTTERS:

59/1 (125 NEWPORT RD)
NEWPORT ROAD DENTAL OFFICES LLC
PO BOX 265
NEW LONDON, NH 03257
3053/167 (03/14/08)

59/2 (133 NEWPORT RD)
WILLIAM & DOROTHY GRIFFITHS
28 EVERETT PARK
NEW LONDON, NH 03257
3548/1590 (03/03/17)

59/3 (219 COUNTY RD)
290 COUNTY RD LLC
KEITH FACCONI MANAGING
PO BOX 2215
NEW LONDON, NH 03257-2215

59/4 (COUNTY RD)
NEW LONDON MED CENTER
249 COUNTY RD
NEW LONDON, NH 03257

59/5 (COUNTY RD)
JAMES, GEORGE & DOREEN CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257
3325/1052 (07/13/12)

59/6
JAMES CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257
3341/552 (10/04/12)

59/8 (277 NEWPORT RD)
MOUNTAIN VIEW SHOPPING CENTER LLC
C/O CROSSPOINT ASSOCIATES
300 THIRD AVE, STE 2
WALTHAM, MA 02451
3280/1141 (11/01/11)

59/26 (220 NEWPORT RD)
TQM REAL ESTATE LLC
227 MECHANIC ST
LEBANON, NH 03766
2407/910 (09/30/02)

59/27 (196 NEWPORT RD)
SUGAR RIVER BANK
10 NORTH MAIN ST
NEWPORT, NH 03773
2407/907 (09/30/02)

59/28
BROOM PROPERTIES LLC
176 NEWPORT RD #4
NEW LONDON, NH 03257
2713/257 (10/20/04)

59/29 (116 NEWPORT RD)
LAKE SUNAPEE BANK
PO BOX 29
NEWPORT, NH 03773

72/2
RODERIC & DIANNE REYELT
159 PARKSIDE RD
NEW LONDON, NH 03257

72/3
ALISON TROW
173 PARKSIDE RD
NEW LONDON, NH 03257
3542/914 (12/27/16)

72/15 (292 COUNTY RD)
JOSEPH WALLACE
PO BOX 2686
NEW LONDON, NH 03257
3172/531 (12/28/09)

72/18 (325 COUNTY RD)
CRICENTI ALMA TRUST
C/O CHARTER TRUST COMPANY
PO BOX 158
NEW LONDON, NH 03257-0158

72/19
ROBERT & SUE ELLEN PARKES
341 COUNTY RD
NEW LONDON, NH 03257
2271/0174 (06/18/01)

72/20 (PARKSIDE RD)
HAROLD WHEELER TRUST
JAMES P WHEELER TRUSTEE
PO BOX 981
NEW LONDON, NH 03257

72/21
DERAGON FAMILY REVOCABLE TRUST
RAYMOND & PATRICIA DERAGON TRUSTEES
184 PARKSIDE RD
NEW LONDON, NH 03257
3198/1352 (06/16/10)

72/22
72/23 (PARKSIDE RD)
CAROLYN FRALEY
172 PARKSIDE RD
NEW LONDON, NH 03257
2239/1557 (01/17/01)

72/24 (PARKSIDE RD)
73/14 (132 EVERETT PARK)
EUNICE & EDWARD ORDMAN
4045 GRAHAM OAKS CIRCLE
MEMPHIS, TN 38122

72/25 (98 EVERETT PARK)
CATHERINE TURCOTTE
PO BOX 511
NEW LONDON, NH 03257
3331/1535 (08/14/12)

72/26 (84 EVERETT PARK)
MARGARET & STEPHEN THEROUX
69 PRESSEY CT
NEW LONDON, NH 03257
3568/267 (08/29/17)

72/27 (72 EVERETT PARK)
COBLEIGH TRUST
JOHN AKIN TRUSTEE
115 LAMP POST LOOP
AIKEN, SC 29803
3113/1722 (03/04/09)

72/28 (62 EVERETT PARK)
PATRICIA ETTENBOROUGH
PO BOX 1095
NEW LONDON, NH 03257
3281/544 (11/07/11)

72/29 (44 EVERETT PARK)
CHARLES & MARION HAFNER TRUST
CHARLES & MARION HAFNER TRUSTEES
PO BOX 144
NEW LONDON, NH 03257
3060/1446 (04/22/08)

72/30
BARBARA WEBER
25 HOMAN LANE
NEW LONDON, NH 03257
2000/1202 (10/03/95)

72/31
BARBARA SMERALD TRUST
BARBARA SMERALD TRUSTEE
43 HOMAN LANE
NEW LONDON, NH 03257
3400/434 (07/24/13)

72/33
FRANCIS & DENISE OLSON
44 HOMAN LANE
NEW LONDON, NH 03257
3216/1369 (09/29/10)

72/35 (32 HOMAN LANE)
VIRGINIA ANTHONY SOULE TRUST
ALAN COOPER TRUSTEE
PO BOX 342
SUNAPEE, NH 03782

72/36
WILLIAM & DOROTHY GRIFFITHS IRREVOCABLE TRUST
WILLIAM GRIFFITHS TRUSTEE
28 EVERETT PARK
NEW LONDON, NH 03257
3575/2869 (11/03/17)

72/38 (93 NEWPORT RD)
JEFFREY & MELISSA OWEN
PO BOX 84
GEORGE MILLS, NH 03751
3354/689 (12/04/12)

72/39 (107 NEWPORT RD)
LAKE SUNAPEE REGION VISITING NURSE ASSOC.
PO BOX 2209
NEW LONDON, NH 03257
2661/1285 (05/28/04)

72/45 (69 EVERETT PARK)
KARL & ELIZABETH PANKOW LIVING TRUST
KARL & ELIZABETH PANKOW TRUSTEES
113 SQUIRES LANE
NEW LONDON, NH 03257
3463/1133 (12/04/14)

73/15
NANCY & FRANK DUROCHER
108 EVERETT PARK
NEW LONDON, NH 03257

73/16 (APPLE TREE LANE)
73/17 (APPLE TREE LANE)
HARRY SNOW III
PO BOX 1372
NEW LONDON, NH 03257

73/18
ELIZABETH PARRISH
7 PRESCOTT LANE
NEW LONDON, NH 03257
3257/624 (06/01/11)

73/23 (6 PRESCOTT LANE)
DAVID & MARION ROMANOFF LIVING TRUST
DAVID & MARION ROMANOFF LIVING TRUSTEES
PO BOX 38
NEW LONDON, NH 03257
2978/455 (04/09/07)

73/24
DONNA SPARKS
CYNTHIA SPARKS
127 EVERETT PARK
NEW LONDON, NH 03257
3582/1490 (01/18/18)

83/8 (463 COUNTY RD)
83/10 (191 PARKSIDE RD)
NEW LONDON OUTING CLUB
PO BOX 1856
NEW LONDON, NH 03257

NEW HAMPSHIRE DEPT. OF TRANSPORTATION
7 HAZEN DR
CONCORD, NH 03301

ENGINEERS/SURVEYORS:

JONES & BEACH ENGINEERS, INC.
ATTN: WAYNE MORRILL
PO BOX 219
STRATHAM, NH 03885

SOIL SCIENTIST:

GOVE ENVIRONMENTAL
ATTN. JAMES GOVE
8 CONTINENTAL DR, UNIT H
EXETER, NH 03833

NEW LONDON HOSPITAL ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257

NEW LONDON HOSPITAL ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257

NEW LONDON HOSPITAL ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257

CONTINUUM HEALTH SERVICES, INC.
250 GODDARD RD
LEWISTON, ME 04240

CONTINUUM HEALTH SERVICES, INC.
250 GODDARD RD
LEWISTON, ME 04240

CONTINUUM HEALTH SERVICES, INC.
250 GODDARD RD
LEWISTON, ME 04240

NEWPORT ROAD DENTAL OFFICES LLC
PO BOX 265
NEW LONDON, NH 03257

NEWPORT ROAD DENTAL OFFICES LLC
PO BOX 265
NEW LONDON, NH 03257

NEWPORT ROAD DENTAL OFFICES LLC
PO BOX 265
NEW LONDON, NH 03257

WILLIAM & DOROTHY GRIFFITHS
28 EVERETT PARK
NEW LONDON, NH 03257

WILLIAM & DOROTHY GRIFFITHS
28 EVERETT PARK
NEW LONDON, NH 03257

WILLIAM & DOROTHY GRIFFITHS
28 EVERETT PARK
NEW LONDON, NH 03257

290 COUNTY RD LLC
KEITH FACCONO MANAGING
PO BOX 2215
NEW LONDON, NH 03257-2215

290 COUNTY RD LLC
KEITH FACCONO MANAGING
PO BOX 2215
NEW LONDON, NH 03257-2215

290 COUNTY RD LLC
KEITH FACCONO MANAGING
PO BOX 2215
NEW LONDON, NH 03257-2215

NEW LONDON MED CENTER
249 COUNTY RD
NEW LONDON, NH 03257

NEW LONDON MED CENTER
249 COUNTY RD
NEW LONDON, NH 03257

NEW LONDON MED CENTER
249 COUNTY RD
NEW LONDON, NH 03257

JAMES, GEORGE & DOREEN CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257

JAMES, GEORGE & DOREEN CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257

JAMES, GEORGE & DOREEN CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257

JAMES CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257

JAMES CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257

JAMES CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257

MOUNTAIN VIEW SHOPPING CENTER LLC
C/O CROSSPOINT ASSOCIATES
300 THIRD AVE, STE 2
WALTHAM, MA 02451

MOUNTAIN VIEW SHOPPING CENTER LLC
C/O CROSSPOINT ASSOCIATES
300 THIRD AVE, STE 2
WALTHAM, MA 02451

MOUNTAIN VIEW SHOPPING CENTER LLC
C/O CROSSPOINT ASSOCIATES
300 THIRD AVE, STE 2
WALTHAM, MA 02451

TQM REAL ESTATE LLC
227 MECHANIC ST
LEBANON, NH 03766

TQM REAL ESTATE LLC
227 MECHANIC ST
LEBANON, NH 03766

TQM REAL ESTATE LLC
227 MECHANIC ST
LEBANON, NH 03766

SUGAR RIVER BANK
10 NORTH MAIN ST
NEWPORT, NH 03773

SUGAR RIVER BANK
10 NORTH MAIN ST
NEWPORT, NH 03773

SUGAR RIVER BANK
10 NORTH MAIN ST
NEWPORT, NH 03773

BROOM PROPERTIES LLC
176 NEWPORT RD #4
NEW LONDON, NH 03257

BROOM PROPERTIES LLC
176 NEWPORT RD #4
NEW LONDON, NH 03257

BROOM PROPERTIES LLC
176 NEWPORT RD #4
NEW LONDON, NH 03257

LAKE SUNAPEE BANK
PO BOX 29
NEWPORT, NH 03773

LAKE SUNAPEE BANK
PO BOX 29
NEWPORT, NH 03773

LAKE SUNAPEE BANK
PO BOX 29
NEWPORT, NH 03773

RODERIC & DIANNE REYELT
159 PARKSIDE RD
NEW LONDON, NH 03257

RODERIC & DIANNE REYELT
159 PARKSIDE RD
NEW LONDON, NH 03257

RODERIC & DIANNE REYELT
159 PARKSIDE RD
NEW LONDON, NH 03257

ALISON TROW
173 PARKSIDE RD
NEW LONDON, NH 03257

ALISON TROW
173 PARKSIDE RD
NEW LONDON, NH 03257

ALISON TROW
173 PARKSIDE RD
NEW LONDON, NH 03257

JOSEPH WALLACE
PO BOX 2686
NEW LONDON, NH 03257

JOSEPH WALLACE
PO BOX 2686
NEW LONDON, NH 03257

JOSEPH WALLACE
PO BOX 2686
NEW LONDON, NH 03257

CRICENTI ALMA TRUST
C/O CHARTER TRUST COMPANY
PO BOX 158
NEW LONDON, NH 03257-0158

CRICENTI ALMA TRUST
C/O CHARTER TRUST COMPANY
PO BOX 158
NEW LONDON, NH 03257-0158

CRICENTI ALMA TRUST
C/O CHARTER TRUST COMPANY
PO BOX 158
NEW LONDON, NH 03257-0158

ROBERT & SUE ELLEN PARKES
341 COUNTY RD
NEW LONDON, NH 03257

ROBERT & SUE ELLEN PARKES
341 COUNTY RD
NEW LONDON, NH 03257

ROBERT & SUE ELLEN PARKES
341 COUNTY RD
NEW LONDON, NH 03257

HAROLD WHEELER TRUST
JAMES P WHEELER TRUSTEE
PO BOX 981
NEW LONDON, NH 03257

HAROLD WHEELER TRUST
JAMES P WHEELER TRUSTEE
PO BOX 981
NEW LONDON, NH 03257

HAROLD WHEELER TRUST
JAMES P WHEELER TRUSTEE
PO BOX 981
NEW LONDON, NH 03257

DERAGON FAMILY REVOCABLE TRUST
RAYMOND & PATRICIA DERAGON
TRUSTEES
184 PARKSIDE RD
NEW LONDON, NH 03257

DERAGON FAMILY REVOCABLE TRUST
RAYMOND & PATRICIA DERAGON
TRUSTEES
184 PARKSIDE RD
NEW LONDON, NH 03257

DERAGON FAMILY REVOCABLE TRUST
RAYMOND & PATRICIA DERAGON
TRUSTEES
184 PARKSIDE RD
NEW LONDON, NH 03257

CAROLYN FRALEY
172 PARKSIDE RD
NEW LONDON, NH 03257

CAROLYN FRALEY
172 PARKSIDE RD
NEW LONDON, NH 03257

CAROLYN FRALEY
172 PARKSIDE RD
NEW LONDON, NH 03257

EUNICE & EDWARD ORDMAN
4045 GRAHAM OAKS CIRCLE
MEMPHIS, TN 38122

EUNICE & EDWARD ORDMAN
4045 GRAHAM OAKS CIRCLE
MEMPHIS, TN 38122

EUNICE & EDWARD ORDMAN
4045 GRAHAM OAKS CIRCLE
MEMPHIS, TN 38122

CATHERINE TURCOTTE
PO BOX 511
NEW LONDON, NH 03257

CATHERINE TURCOTTE
PO BOX 511
NEW LONDON, NH 03257

CATHERINE TURCOTTE
PO BOX 511
NEW LONDON, NH 03257

MARGARET & STEPHEN THEROUX
69 PRESSEY CT
NEW LONDON, NH 03257

MARGARET & STEPHEN THEROUX
69 PRESSEY CT
NEW LONDON, NH 03257

MARGARET & STEPHEN THEROUX
69 PRESSEY CT
NEW LONDON, NH 03257

COBLEIGH TRUST
JOHN AKIN TRUSTEE
3261 TRADITION CIRCLE
MT. PLEASANT, SC 29466

COBLEIGH TRUST
JOHN AKIN TRUSTEE
3261 TRADITION CIRCLE
MT. PLEASANT, SC 29466

COBLEIGH TRUST
JOHN AKIN TRUSTEE
3261 TRADITION CIRCLE
MT. PLEASANT, SC 29466

PATRICIA ETTENBOROUGH
PO BOX 1095
NEW LONDON, NH 03257

PATRICIA ETTENBOROUGH
PO BOX 1095
NEW LONDON, NH 03257

PATRICIA ETTENBOROUGH
PO BOX 1095
NEW LONDON, NH 03257

CHARLES & MARION HAFNER TRUST
CHARLES & MARION HAFNER
TRUSTEES
PO BOX 144
NEW LONDON, NH 03257

CHARLES & MARION HAFNER TRUST
CHARLES & MARION HAFNER
TRUSTEES
PO BOX 144
NEW LONDON, NH 03257

CHARLES & MARION HAFNER TRUST
CHARLES & MARION HAFNER
TRUSTEES
PO BOX 144
NEW LONDON, NH 03257

BARBARA WEBER
25 HOMAN LANE
NEW LONDON, NH 03257

BARBARA WEBER
25 HOMAN LANE
NEW LONDON, NH 03257

BARBARA WEBER
25 HOMAN LANE
NEW LONDON, NH 03257

BARBARA SMERALD TRUST
BARBARA SMERALD TRUSTEE
43 HOMAN LANE
NEW LONDON, NH 03257

BARBARA SMERALD TRUST
BARBARA SMERALD TRUSTEE
43 HOMAN LANE
NEW LONDON, NH 03257

BARBARA SMERALD TRUST
BARBARA SMERALD TRUSTEE
43 HOMAN LANE
NEW LONDON, NH 03257

FRANCIS & DENISE OLSON
44 HOMAN LANE
NEW LONDON, NH 03257

FRANCIS & DENISE OLSON
44 HOMAN LANE
NEW LONDON, NH 03257

FRANCIS & DENISE OLSON
44 HOMAN LANE
NEW LONDON, NH 03257

VIRGINIA ANTHONY SOULE TRUST
ALAN COOPER TRUSTEE
PO BOX 342
SUNAPEE, NH 03782

VIRGINIA ANTHONY SOULE TRUST
ALAN COOPER TRUSTEE
PO BOX 342
SUNAPEE, NH 03782

VIRGINIA ANTHONY SOULE TRUST
ALAN COOPER TRUSTEE
PO BOX 342
SUNAPEE, NH 03782

WILLIAM & DOROTHY GRIFFITHS
IRREVOCABLE TRUST
WILLIAM GRIFFITHS TRUSTEE
28 EVERETT PARK
NEW LONDON, NH 03257

WILLIAM & DOROTHY GRIFFITHS
IRREVOCABLE TRUST
WILLIAM GRIFFITHS TRUSTEE
28 EVERETT PARK
NEW LONDON, NH 03257

WILLIAM & DOROTHY GRIFFITHS
IRREVOCABLE TRUST
WILLIAM GRIFFITHS TRUSTEE
28 EVERETT PARK
NEW LONDON, NH 03257

JEFFREY & MELISSA OWEN
PO BOX 84
GEORGE MILLS, NH 03751

JEFFREY & MELISSA OWEN
PO BOX 84
GEORGE MILLS, NH 03751

JEFFREY & MELISSA OWEN
PO BOX 84
GEORGE MILLS, NH 03751

LAKE SUNAPEE REGION VISITING
NURSE ASSOC.
PO BOX 2209
NEW LONDON, NH 03257

LAKE SUNAPEE REGION VISITING
NURSE ASSOC.
PO BOX 2209
NEW LONDON, NH 03257

LAKE SUNAPEE REGION VISITING
NURSE ASSOC.
PO BOX 2209
NEW LONDON, NH 03257

HARRY SNOW III
PO BOX 1372
NEW LONDON, NH 03257

HARRY SNOW III
PO BOX 1372
NEW LONDON, NH 03257

HARRY SNOW III
PO BOX 1372
NEW LONDON, NH 03257

KARL & ELIZABETH PANKOW LIVING
TRUST
KARL & ELIZABETH PANKOW TRUSTEES
113 SQUIRES LANE
NEW LONDON, NH 03257

KARL & ELIZABETH PANKOW LIVING
TRUST
KARL & ELIZABETH PANKOW TRUSTEES
113 SQUIRES LANE
NEW LONDON, NH 03257

KARL & ELIZABETH PANKOW LIVING
TRUST
KARL & ELIZABETH PANKOW TRUSTEES
113 SQUIRES LANE
NEW LONDON, NH 03257

NANCY & FRANK DUROCHER
108 EVERETT PARK
NEW LONDON, NH 03257

NANCY & FRANK DUROCHER
108 EVERETT PARK
NEW LONDON, NH 03257

NANCY & FRANK DUROCHER
108 EVERETT PARK
NEW LONDON, NH 03257

ELIZABETH PARRISH
7 PRESCOTT LANE
NEW LONDON, NH 03257

ELIZABETH PARRISH
7 PRESCOTT LANE
NEW LONDON, NH 03257

ELIZABETH PARRISH
7 PRESCOTT LANE
NEW LONDON, NH 03257

DAVID & MARION ROMANOFF LIVING
TRUST
DAVID & MARION ROMANOFF LIVING
TRUSTEES
PO BOX 38
NEW LONDON, NH 03257

DAVID & MARION ROMANOFF LIVING
TRUST
DAVID & MARION ROMANOFF LIVING
TRUSTEES
PO BOX 38
NEW LONDON, NH 03257

DAVID & MARION ROMANOFF LIVING
TRUST
DAVID & MARION ROMANOFF LIVING
TRUSTEES
PO BOX 38
NEW LONDON, NH 03257

DONNA SPARKS
CYNTHIA SPARKS
127 EVERETT PARK
NEW LONDON, NH 03257

DONNA SPARKS
CYNTHIA SPARKS
127 EVERETT PARK
NEW LONDON, NH 03257

DONNA SPARKS
CYNTHIA SPARKS
127 EVERETT PARK
NEW LONDON, NH 03257

NEW LONDON OUTING CLUB
PO BOX 1856
NEW LONDON, NH 03257

NEW LONDON OUTING CLUB
PO BOX 1856
NEW LONDON, NH 03257

NEW LONDON OUTING CLUB
PO BOX 1856
NEW LONDON, NH 03257

NEW HAMPSHIRE DEPT. OF
TRANSPORTATION
7 HAZEN DR
CONCORD, NH 03301

NEW HAMPSHIRE DEPT. OF
TRANSPORTATION
7 HAZEN DR
CONCORD, NH 03301

NEW HAMPSHIRE DEPT. OF
TRANSPORTATION
7 HAZEN DR
CONCORD, NH 03301

JONES & BEACH ENGINEERS, INC.
ATTN: WAYNE MORRILL
PO BOX 219
STRATHAM, NH 03885

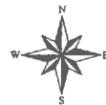
JONES & BEACH ENGINEERS, INC.
ATTN: WAYNE MORRILL
PO BOX 219
STRATHAM, NH 03885

JONES & BEACH ENGINEERS, INC.
ATTN: WAYNE MORRILL
PO BOX 219
STRATHAM, NH 03885

GOVE ENVIRONMENTAL
ATTN. JAMES GOVE
8 CONTINENTAL DR, UNIT H
EXETER, NH 03833

GOVE ENVIRONMENTAL
ATTN. JAMES GOVE
8 CONTINENTAL DR, UNIT H
EXETER, NH 03833

GOVE ENVIRONMENTAL
ATTN. JAMES GOVE
8 CONTINENTAL DR, UNIT H
EXETER, NH 03833



June 26, 2018

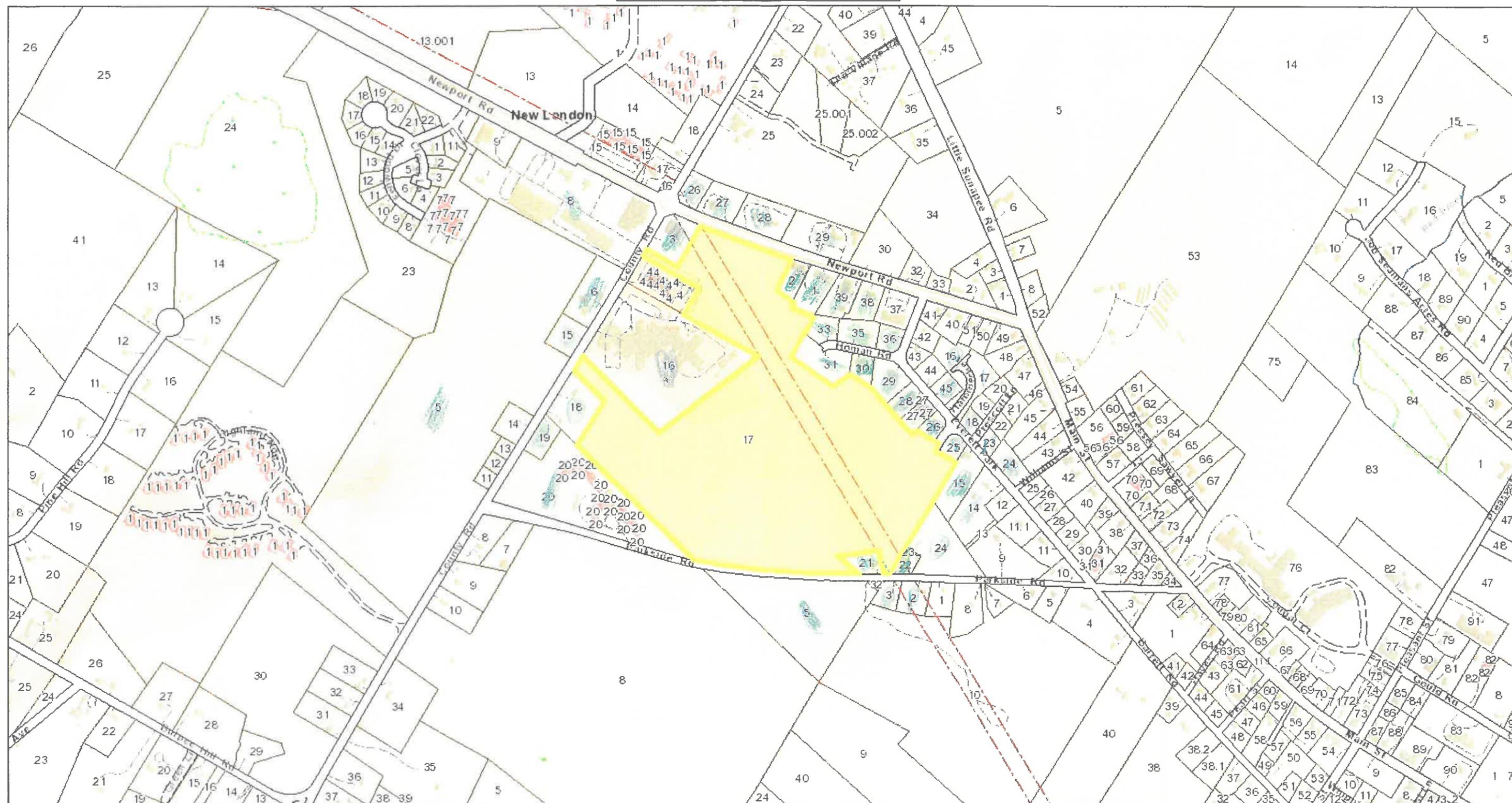
Tri Town, NH

1 inch = 537 Feet



www.cai-tech.com

0 537 1075 1613



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