

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

April 23, 2019

New London Planning Board
Attn: Paul Gorman, Chair
375 Main Street
New London, NH 03257

**RE: Final Site Plan Review Application
County & Parkside Road, NH
Tax Map 72, Lot 17
JBE Project No. 17190**

Dear Board Members:

Jones & Beach Engineers, Inc., respectfully submits an Application for Final Site Plan Review on behalf of applicant, Continuum Health Services, Inc. The intent of this application is for an Assisted Living / Independent Living Facility and Independent Living Cottages serviced by municipal utilities.

The following items are provided in support of this Application:

1. Completed Planning Board Application for Final Site Plan Review with checklist.
2. Letter of Authorizations.
3. Abutters List & Mailing Labels (3 sets).
4. Check in the amount of \$404.00 for review fees.
5. Tax Map.
6. Six (6) Full-Size Plan Sets.
7. Four (4) Reduced-Size Plan Sets.
8. One (1) PDF of plans.
9. List of Site Plan changes following Town Site Plan Approval.
10. Copy of Town & State Permits.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.


Wayne G. Morrill
Vice President

cc: Continuum Health Services, Inc. (application and plans via email)



APPENDIX E
APPLICATION FOR SITE PLAN REVIEW
MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES

PLANNING BOARD
NEW LONDON, NH

DATE APPLICATION FILED: April 23, 2019

APPLICATION FOR:

- Phase I: Concept Site Plan Review
 Phase II: Preliminary Site Plan Review
 Phase III: Final Site Plan Review

NAME OF APPLICANT: Continuum Health Services, Inc.

ADDRESS: 250 Goddard Road, Lewiston, ME 04240

DAYTIME PHONE NUMBER: 603-234-4027 FAX: _____

NAME OF PROPERTY OWNER: New London Hospital Association
(If other than applicant)

ADDRESS: 273 County Road, New London, NH 03257

DAYTIME PHONE NUMBER: _____ FAX: _____

LOCATION OF PROPERTY: County & Parkside Road

TAX MAP/Lot: 72 - 17 ZONE DISTRICT: R-1 Residential

DESCRIPTION OF USE(S) OF BUILDINGS & LAND: Retirement/ Continuing Care

Facility and Independent Living Cottages.

WATER SERVICE: New London/Springfield Water Precinct On-site Water Well

Other: _____

SEWER SERVICE: New London Wastewater On-site Septic System

ROAD(S) PROVIDING ACCESS: Town Road County & Parkside Road

State Highway _____

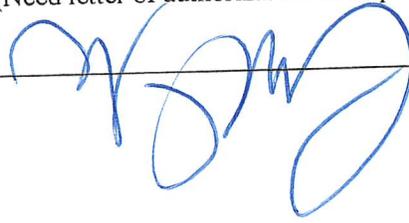
The Zoning Administrator or Land Use Coordinator can assist applicants to identify whether the following natural resource areas will be affected and in which sub-watershed the property is located.

SHORELAND OR SHORELAND BUFFER IMPACTED? Yes No

WETLAND OR WETLAND BUFFER IMPACTED? Yes No



(Need letter of authorization from property owner)

A handwritten signature in blue ink, consisting of several loops and flourishes, is written over a horizontal line.

APPENDIX F: MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES PRELIMINARY
 SITE PLAN REVIEW CHECKLIST of APPLICATION REQUIREMENTS

#	Application Requirement	Submitted	Not Applicable	Waived by PB
2.a	Application Form	X		
2.b	Letter of Authorization	X		
2.c	Abutters List	X		
2.d	Application Fee			
2.e	Waiver Requests in Writing	X		
2.f	Site Plan Maps - # as directed by Town Planner	X		
1	Estimated area & distances & directions of boundaries	X		
2	Name(s) of owner(s) of record	X		
3	Abutters list	X		
4	Site location map	X		
5	North point, graphic scale, date of preparation & revisions	X		
6	Zone District(s) lines of demarcation	X		
7	Name, address & seal of person or firm preparing plans	X		
8	Preliminary plan of existing & proposed structures	X		
9	Existing structures - photos from all sides		X	
10	Proposed structures - architectural style concept & exterior for all proposed buildings & additions building materials	X		
11	General topography & steep slope areas	X		
12	Direction of flow of surface water	X		
13	Groundwater & surface water resources	X		
14	Rock outcroppings & depth to ledge		X	
15	Preliminary plan for streets, driveways, parking & sidewalks	X		
16	Preliminary wastewater treatment plans		X	
17	Preliminary landscaping plan	X		
18	Preliminary plans for domestic water supply	X		
19	Preliminary fire protection plan	X		
20	Existing & preliminary proposed utility plan	X		
21	Preliminary outdoor lighting plan	X		
22	Preliminary sign plan			
23	Preliminary plan for managing surface water drainage	X		
24	Prelim. erosion & sediment control plan during & after construction	X		
25	Prelim. plan of the ROW & traveled surface of fronting streets	X		
26	Preliminary snow storage plan	X		
27	Preliminary plan for solid waste disposal facility	X		
28	Prelim. plan for outdoor storage/display of materials/merchandise		X	
29	Executive Summary to include:			
a	Hours & days of operation			
b	Estimate of normal business traffic			
c	Description of proposed use(s)			
d	Number of employees			
e	Any unusual demand for utility service			

TOWN OF NEW LONDON
 SELECTMEN'S OFFICE
 APR 23 2019
 RECEIVED

Town of New London
Site Plan Review Regulations
As Amended December 1, 2015

	f	Additional information to clarify proposal			
30		Special impact studies required by PB	x		

NOTE #1: The numbering of this checklist corresponds with the numbering in the Site Plan Review Regulations for a Preliminary Site Plan Review Application.

NOTE #2: The SPR Regulations must be consulted for the details of the items contained in this checklist.



APPENDIX G - MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES
 FINAL SITE PLAN REVIEW CHECKLIST of APPLICATION REQUIREMENTS

#	Application Requirement	Submitted	Not Applicable	Waived by PB
2.a	Application Form	X		
2.b	Letter of Authorization	X		
2.c	Abutters List	X		
2.d	Application Fee	X		
2.e	Waiver Requests in Writing	X		
2.f	Site Plan Maps - # as directed by Town Planner		X	
1	Boundary survey & lot area	X		
2	Site location map	X		
3	Name(s) of owner(s) of record	X		
4	Abutting landowners within 200 feet of the property line	X		
5	North point, graphic scale, date of preparation & revisions	X		
6	Zone District(s) lines of demarcation	X		
7	Name, address & seal of person or firm preparing plans	X		
8	Shape, size & location of existing & proposed structures	X		
9	Existing structures – photos from all sides		X	
10	Proposed structures - conceptual floor plans & elevations	X		
11	Topography at 2' intervals & steep slope areas existing & proposed grades & drainage systems	X		
12	Groundwater & surface water resources	X		
13	Rock outcroppings & depth to ledge		X	
14	Final plan for streets, driveways, parking spaces, & sidewalks	X		
15	Final wastewater treatment plans		X	
16	Final landscaping plan	X		
17	Final plans for domestic water supply	X		
18	Final fire protection plan	X		
19	Existing & final proposed utility plan	X		
20	Final outdoor lighting plan	X		
21	Final sign plan	X		
22	Final plan for managing surface water drainage	X		
23	Final erosion & sediment control plan during & after construction	X		
24	Final plan of the ROW & traveled surface of all fronting streets	X		
25	Final snow storage plan	X		
26	Final plan for solid waste disposal facility	X		
27	Final plan for outdoor storage/display of materials/merchandise		X	
28	Executive summary			
a	Hours & days of operation	X		
b	Estimate of normal business traffic	X		
c	Description of proposed use(s)	X		
d	Number of employees	X		
e	Any unusual demand for utility service	X		
f	Additional information to clarify proposal	X		
30	Special impact studies required by PB	X		



Town of New London
Site Plan Review Regulations
As Amended December 1, 2015

NOTE #1: The numbering of this checklist corresponds with the numbering in the Site Plan Review Regulations for a Final Site Plan Review Application.

NOTE #2: The Site Plan Review Regulations need to be consulted for the details of the items contained in this checklist.



APPENDIX H
SUGGESTED FORM OF ACCEPTABLE IRREVOCABLE LETTER OF CREDIT

Board of Selectmen
Town of New London
New London Town Offices
375 Main Street
New London, N.H. 03257

Dear Town Officials:

RE: _____ Site Plan

By this document, the _____ Bank (hereinafter "issuer") hereby issues an irrevocable letter of credit in the amount of \$ _____ to the Town of New London on behalf of _____ (hereinafter "developer"). This irrevocable letter of credit is issued to guaranty completion of all improvements required by the New London Planning Board and the Town of New London Site Plan Review Regulations in conjunction with a site plan entitled " _____ ", dated _____, prepared by _____, and approved by the New London Planning Board on _____.

It is understood that the improvements guaranteed by this irrevocable letter of credit include but are not limited to the following:

- 1.
- 2.
- 3.

It is agreed and understood by the issuer of this letter of credit that it shall be issued for a period of _____ months. If all improvements guaranteed by this letter of credit are not completed by _____ (date) and if an Certificate of Occupancy Permit indicating completion of all improvements has not been issued by the Town of New London Board of Selectmen, then this letter of credit shall be automatically considered to have been called and without further action by the Town of New London or its Board of Selectmen, the _____ Bank shall forward a check in the amount of \$ _____ to the Treasurer of the Town of New London. The funds so forwarded to the Town Treasurer shall be used exclusively for the purpose of completing the improvements which are guaranteed by this letter of credit. Any funds not needed by the Town to complete improvements required by the site plan referred to above shall be returned to the _____ Bank.

(Signature of Bank Official)

Date: _____

I have read this letter of credit and agree to its terms.

(Signature of Developer)



**Planning Board
Fee Schedule as of 10/27/09**

Type of Application	Fee	
All Applications - Abutter Notification and/or Public Notice, as required	Current postage rates for certified mail to each abutter & applicant, plus cost of published public notice, as required (Contact Town Offices)	37 Abutters x \$4.00 (3.50 Certified + .50 postage) = \$148.00 + \$56 Public Notice = \$204.00
All Applications - Recording Fees, as required	Current recording fees, costs and surcharges, as required, at the Merrimack County Registry of Deeds (Contact Town Offices)	
Minor Subdivision	\$100 Concept Filing Fee (Credit to Final Application Fee, if Final is filed) \$100 Final Filing Fee, Plus; \$150 Per Lot/Site/Unit, Plus; Abutter Notification, Plus; Recording Fees	
Major Subdivision	\$200 Concept Filing Fee (Credit to Final Application Fee, if Final is Filed) \$200 Preliminary Filing Fee, Plus; Abutter Notification \$200 Final Filing Fee, Plus; \$300 Per Lot/Site/Unit, Plus; Abutter Notification, Plus; Recording Fees	
Site Plan Review (SPR)	\$200 Concept SPR Filing Fee (Credit to Final Application Fee, if filed) \$200 Preliminary SPR Fee, Plus; Abutter Notification \$200 Final SPR Fee, Plus; \$75 per 1000 SF BLDG, Plus; Abutter Notification	\$200.00
Site Plan Review – Filling and Excavating	\$200 for a 1 acre site, Plus; \$100 for each additional acre (or fraction there of) in size of the overall site, Plus; Abutter Notification	
Sub-Committee Meeting, as required	\$50 per meeting	
Site Plan Review - Home Business	\$50 SPR Filing Fee, Plus; Abutter Notification	
Annexation/Lot Line Adjustment	\$75 Filing Fee, Plus; Abutter Notification, Plus; Recording Fees	
Merger	\$50/two lots, Plus; \$25 each additional lot, Plus; Recording Fees	
Change of Occupancy/Tenant	No Charge	
Certificate of Occupancy (per Site Plan Review regulations)	\$50	

Total = \$404.00



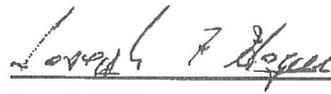
Letter of Authorization

I, Joseph F. Hogan, Continuum Health Services, Inc., 250 Goddard Road, Lewiston, ME 04240, developer of property located in New London, NH, known as Tax Map 72, Lot 17, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on County & Parkside Road in New London, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.



Mike Blanchard



Joseph F. Hogan
Continuum Health Services,
Inc.

5/1/14/08
Date

JONES & BEACH ENGINEERS, INC. OF NEW LONDON
ENGINEERS INC. PROJECTMEN'S OFFICE
APR 23 2019
RECEIVED

Letter of Authorization

New London Hospital Association, 273 County Road, New London, NH 03257, owner of property located in New London, NH, known as Tax Map 72, Lot 17, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on County & Parkside Road in New London, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Erica M. Belis
Witness

Douglas W. Lynn
New London Hospital
Association
Chairman, Board
of Trustees

7/2/2018
Date



List of Site Plan Changes Following Town Site Plan Approval

1. Changed size of the MC/AL/IL building from 147,000 sq. ft. to 130,000 sq. ft.
2. Reduced the number of cottages from 33 to 30 units.
3. Amendment to Unit Type:

<u>Approved</u>	<u>Now</u>
20 M.C.	Same (20)
47 A.L.	40 A.L.
<u>39 I.L.</u>	<u>49 I.L.</u>
108 Units	109 Units
<u>33 Cottages</u>	<u>30 Cottages</u>
139 Units	139 Units
4. Updated Drainage Plan for NHDES Alteration of Terrain Permit.
5. Modified the Memory Care Garden per new building footprint.
6. In working with the water precinct, the developer will be adding 980' of new 8" waterline from hospital to Parkside Road.
7. Two pedestrian covered bridges for no impact to wetlands on sidewalk crossings.
8. Irrigation wells added to the utility plan.
9. Roadway cross-section modified to add 6" of crushed Glass to the bottom of gravel sub base, per discussions with New London DPW.





The State of New Hampshire
Department of Environmental Services



Robert R. Scott, Commissioner

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WETLANDS AND NON-SITE SPECIFIC PERMIT 2018-03641

NOTE CONDITIONS

PERMITTEE: CONTINUUM HEALTH SERVICES, INC.
C/O DOUGLAS LYON
250 GODDARD ROAD
LEWISTON ME 04240

PROJECT LOCATION: PARKSIDE ROAD, NEW LONDON
TAX MAP #72, LOT #17

WATERBODY: UNNAMED WETLAND; INTERMITTENT STREAMS

APPROVAL DATE: APRIL 22, 2019

EXPIRATION DATE: APRIL 22, 2024

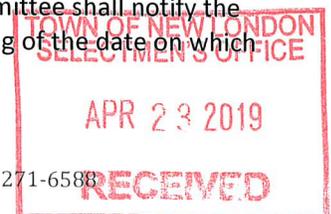
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Based upon review of the above referenced application, in accordance with RSA 482-A and RSA 485-A:17, a Wetlands Permit and Non-Site Specific Permit was issued by the New Hampshire Department of Environmental Services (NHDES). This permit shall not be considered valid unless signed as specified below.

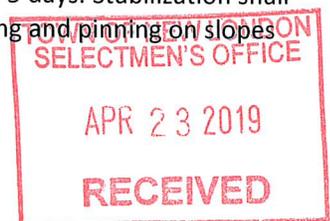
PERMIT DESCRIPTION: Dredge and fill 4,573 square feet of palustrine scrub-shrub wetland and 756 square feet within the beds and banks of two intermittent streams (tier 1, impacting 134 linear feet) for the conversion of an undeveloped lot to an assisted living facility with detached residential units. The easterly stream crossing will consist of a 46 foot long box culvert measuring 7.5 feet wide by two feet high, and the westerly stream crossing will consist of a 64 foot long HDPE pipe culvert measuring 24 inches in diameter.

THIS APPROVAL IS SUBJECT TO THE FOLLOWING PROJECT SPECIFIC CONDITIONS:

1. All work shall be in accordance with plans by Jones & Beach Engineers, Inc. dated May 17, 2018, and revised through March 1, 2019 as received by the NH Department of Environmental Services (NHDES) on March 26, 2019.
2. This permit is not valid unless an Alteration of Terrain permit or other method of compliance with RSA 485-A:17 and Env-Wq 1500 is achieved.
3. All wetland boundaries on the project site shall be flagged with pink, "Wetland Delineation" flagging prior to construction.
4. Orange construction fence shall be installed at the limits of construction to ensure wetland encroachment does not occur.
5. Sediment controls shall be installed up-gradient of wetland boundaries, parallel to contours.
6. Soil stockpiles shall be protected from stormwater run-on with temporary perimeter measures and have sediment barriers to prevent the migration of material.
7. The designated environmental monitor shall inspect erosion and sediment controls weekly and within 24 hours of a storm with rainfall of 0.5 inches or greater. Monitoring reports shall be available upon request by NHDES.
8. No person undertaking any activity shall cause or contribute to, or allow the activity to cause or contribute to, any violations of the surface water quality standards in RSA 485-A and Env-Wq 1700.
9. Not less than 5 state business days prior to starting work authorized by this permit, the permittee shall notify the NHDES Wetlands Bureau (Attn: Seta Detzel) and the local conservation commission in writing of the date on which work under this permit is expected to start.



10. The permittee shall schedule a pre-construction meeting with NHDES Land Resources Management Program staff to occur at least 48 hours prior to the start of any work authorized by this permit to review the conditions of this wetlands permit and the Alteration of Terrain permit. The meeting shall be held at the NHDES offices in Concord. The meeting shall be attended by the permittee, his/her professional engineer(s), wetlands scientist(s), and the contractor(s) responsible for performing the work.
11. Work shall be done during low flow and in the dry only. The permittee shall monitor local weather forecasts to avoid working during or following precipitation events.
12. All in-stream work shall be conducted during low flow conditions and in a manner that will not cause or contribute to any violations of surface water quality standards in RSA 485-A or NH Code Admin. Rules Env-Wq 1700.
13. Discharge from dewatering of work areas shall be to sediment basins that are: a) located in uplands; b) lined with hay bales or other acceptable sediment trapping liners; c) set back as far as possible from wetlands and surface waters, with a preferred undisturbed vegetated buffer of at least 50 feet and a minimum undisturbed vegetative buffer of 20 feet.
14. Dredged materials, whether to be stockpiled or disposed of, shall be dewatered in sedimentation basins lined with siltation and erosion controls, and located outside of areas subject to RSA 482-A jurisdiction.
15. Native material removed from the streambed during culvert installation shall be stockpiled separately and reused to emulate a natural channel bottom within the culvert, between wing walls, and beyond.
16. Filter fabric shall be installed under the rip-rap.
17. Proper headwalls shall be constructed within seven days of culvert installation.
18. Any fill used shall be clean sand, gravel, rock, or other suitable material.
19. Precautions shall be taken to prevent import or transport of soil or seed stock containing nuisance or invasive species such as Purple Loosestrife, Knotweed, or Phragmites. The contractor responsible for work shall appropriately address invasive species in accordance with the NHDOT Best Management Practices for the Control of Invasive and Noxious Plant Species (2018).
20. To prevent the introduction of invasive plant species to the site, the permittee's contractor(s) shall clean all soils and vegetation from construction equipment and matting before such equipment is moved to the site.
21. Work shall be conducted in a manner so as to minimize turbidity and sedimentation to surface waters and wetlands.
22. The contractor responsible for completion of the work shall use techniques described in the New Hampshire Stormwater Manual, Volume 3, Erosion and Sediment Controls During Construction (December 2008).
23. Erosion control products shall be installed per manufacturers recommended specifications.
24. Appropriate siltation and erosion controls shall be in place prior to construction, shall be maintained during construction, and shall remain until the area is stabilized. Temporary controls shall be removed once the area has been stabilized.
25. Construction equipment shall be inspected daily for leaking fuel, oil, and hydraulic fluid prior to entering surface waters or wetlands or operating in an area where such fluids could reach groundwater, surface waters, or wetlands.
26. The permittee's contractor shall maintain appropriate oil/diesel fuel spill kits on site that are readily accessible at all times during construction, and shall train each operator in the use of the kits.
27. All refueling of equipment shall occur outside of surface waters or wetlands during construction.
28. Machinery shall be staged and refueled in upland areas only.
29. Faulty equipment shall be repaired immediately prior to entering areas that are subject to RSA 482-A jurisdiction.
30. Within three days of final grading or temporary suspension of work in an area that is in or adjacent to wetlands or surface waters, all exposed soil areas shall be stabilized by seeding and mulching during the growing season, or if not within the growing season, by mulching with tackifiers on slopes less than 3:1 or netting and pinning on slopes steeper than 3:1.
31. Where construction activities occur between November 30 and May 1, all exposed soil areas shall be stabilized within 1 day of establishing the grade that is final or that otherwise will exist for more than 5 days. Stabilization shall include placing 3-inches of base course gravels, or loaming and mulching with tack or netting and pinning on slopes steeper than 3:1.



32. A certified wetlands scientist or qualified professional, as applicable, shall monitor the project during construction to verify that all work is done in accordance with the approved plans and narratives, adequate siltation and erosion controls are properly implemented, and no water quality violations occur. A follow-up report including photographs of all stages of construction shall be submitted to the NHDES Wetlands Program within 60 days of final site stabilization.
33. Any further alteration of areas on this property that are subject to RSA 482-A jurisdiction will require a new application and further permitting.

GENERAL CONDITIONS THAT APPLY TO ALL NHDES WETLANDS PERMITS:

1. A copy of this permit shall be posted on site during construction in a prominent location visible to inspecting personnel;
2. This permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others;
3. The NHDES Wetlands Bureau shall be notified upon completion of work;
4. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits, and/or consult with other agencies as may be required (including US EPA, US Army Corps of Engineers, NH Department of Transportation, NH Division of Historical Resources (NH Department of Cultural Resources), NHDES Alteration of Terrain, etc.);
5. Transfer of this permit to a new owner shall require notification to and approval by NHDES;
6. This project has been screened for potential impacts to **known** occurrences of protected species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have only received cursory inventories, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species;
7. Review enclosed sheet for status of the US Army Corps of Engineers' federal wetlands permit.

APPROVED:



Seta A. Detzel
Wetlands Bureau
Land Resources Management

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BY SIGNING BELOW I HEREBY CERTIFY THAT I HAVE FULLY READ THIS PERMIT AND AGREE TO ABIDE BY ALL PERMIT CONDITIONS.

OWNER'S SIGNATURE (required)

CONTRACTOR'S SIGNATURE (required)





The State of New Hampshire
Department of Environmental Services

Robert R. Scott, Commissioner



**NOTICE TO RECIPIENTS OF
MINOR IMPACT NH WETLANDS PERMITS**

Your permit was approved by the New Hampshire Wetlands Bureau as a minor impact project. Your project will be reviewed by the US Army Corps of Engineers for possible approval under the Army Corps New Hampshire State Programmatic General Permit – SPGP. The Army Corps will notify you within thirty (30) days if they will require additional information, or an individual federal permit application.

If you do not hear from the Army Corps within thirty (30) days, and your project meets the conditions of the SPGP (attached), your project will automatically be approved under the SPGP. You should contact the Army Corps, at 1-800-343-4789 (ME, NH, VT, CT, RI), 1-800-362-4367 (MA), if your project does not meet the conditions of the SPGP.

NO WORK SHOULD BE DONE WITHOUT AUTHORIZATION FROM THE ARMY CORPS UNLESS THIRTY (30) DAYS HAVE PASSED AFTER NH WETLANDS BUREAU APPROVAL AND ALL CONDITIONS OF THE SPGP ARE MET.

THESE APPROVALS DO NOT RELIEVE YOU FROM OBTAINING ANY NECESSARY LOCAL PERMITS THAT MAY BE REQUIRED BY YOUR TOWN.

IF YOU HAVE ANY QUESTIONS, PLEASE FEEL FREE TO GIVE US A CALL AT 603-271-2147.

cc: US Army Corps of Engineers





State of New Hampshire
Department of Environmental Services
 29 Hazen Drive, P.O. Box 95, Concord, NH 03302-0095
 (603) 271-3503 FAX (603) 271-4128



SEWER CONNECTION PERMIT

Project Name: New London Place
 Location :
 Engineer : Jones & Beach - Barry Gier, PE

Municipality/POTW : New London
 Official Signature : Robert Harrington, Public Works Director
 Date of Request : 12/11/2018

PERMIT/REQUEST NUMBER

D2018-1207

FLOW : **20,200** gallons/day

APPROVAL DATE **2/7/2019**

The New Hampshire Department of Environmental Services (NHDES) has reviewed and hereby approves the request as follows:

Approval of the connection to the municipality's wastewater facilities is based on a review of the supporting information submitted and is subject to the conditions indicated below.

CONDITIONS :

Approval applies only to the sewerage plans and sewer connection application received by NHDES.

This approval will become void if the sewerage construction or discharge has not begun within three years of the approval date.

All sewerage construction must comply with the requirements of Chapter Env-Wq 700, the Standards of Design and Construction for Sewerage and Wastewater Treatment Facilities.

No deviations from approved plans or specifications shall be made without prior written approval from DES.

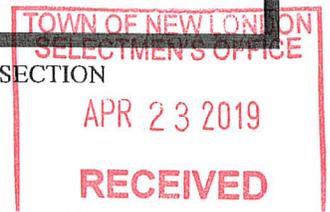
DES approves design plans and specifications for sewer extension (2,140 LF, 8" PVC SDR 35)

Issued by :

Dennis Greene
 Dennis Greene, PE

WATER DIVISION - WASTEWATER ENGINEERING BUREAU - DESIGN REVIEW SECTION

cc: Jones & Beach - Barry Gier, PE





TOWN OF
NEW LONDON, NEW HAMPSHIRE

375 MAIN STREET • NEW LONDON, NH 03257 • WWW.NL-NH.COM

ZONING BOARD OF ADJUSTMENT
(ZBA)
NOTICE OF DECISION
Public Hearing held Tuesday, August 7, 2018

PUBLIC HEARING for Case #ZBA18-05. Applicants Mike Black of Continuum Development & Attorney James Callahan and Owners New London Hospital Association request a Special Exception for Wetlands Crossing, per XIII, E.1 to allow wetlands impact and crossing in connection with a proposed development for a senior living community (planned unit development). The lot is located on County Road in the R-1 (Residential) zone and is identified as Parcel ID 072-017-000.

In a unanimous vote, 5-0, the Board voted to **approve** the Special Exception **with the following conditions:**

- 1) satisfactory peer review by outside engineers;
- 2) no change in the number or location of wetland crossings;
- 3) no more than 20% change in the wetland impact area;
- 4) further assurance that plans do not result in additional downstream flow; and

that the Special Exception is based on the plans presented.

Nicole Gage, Zoning Administrator
Town of New London
August 8, 2018

Variances and Special Exceptions shall be valid if exercised within two (2) years. Refer to RSA 674:33, Powers of the Zoning Board of Adjustment, for the specific language. Persons who are aggrieved by the decision of the ZBA are advised to seek legal counsel as they deem appropriate and to review applicable laws including but not limited to RSA 677 Rehearing and Appeal Procedures; RSA 674:33 Powers of the Zoning Board of Adjustment; RSA 676:5 Appeals to Board of Adjustment; RSA 676:3 Issuance of Decision and other NH State Statutes and Laws which may apply. This notice is for general informational purposes and in no way shall convey any legal advice.





The State of New Hampshire
Department of Environmental Services

Robert R. Scott, Commissioner



March 26, 2019

Mr. Mike Black
Continuum Health Services, Inc.
250 Goddard Road
Lewiston, ME 04240

Permit: AoT-1574

Re: New London Place
Tax Map 72, Lot 17 – New London, NH

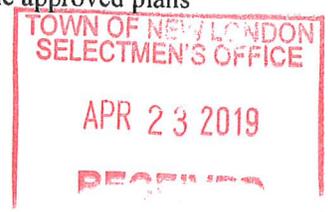
Applicant:

Based upon the plans and application, approved on March 22, 2019, we are hereby issuing RSA 485-A:17 Alteration of Terrain Permit AoT-1574. The permit is subject to the following conditions:

PROJECT SPECIFIC CONDITIONS:

1. The plans in the file, last revision date March 12, 2019, are a part of this approval.
2. **This permit expires on March 22, 2024.** No earth moving activities shall occur on the project after this expiration date unless the permit has been extended by the Department. If an extension is required, the request must be received by the department before the permit expires. The Amendment Request form is available at: <http://des.nh.gov/organization/divisions/water/aot/categories/forms.htm>
3. This project includes an underground detention and infiltration system. **A letter signed by a qualified engineer must be provided to DES** stating that the individual observed any underground detention, infiltration, or filtering systems prior to backfilling, and whether, in his or her professional opinion, the system(s) conform to the approved plans and specifications. Representative photographs of the system prior to being backfilled must be submitted with the letter.
4. **The project is to be phased** as shown on the plans. No more than 5 acres shall be disturbed at any time, and each phase shall be stabilized pursuant to Env-Wq 1505.04 before advancing to a successive stage.
5. The permittee or their successors or assigns shall employ a **New Hampshire Certified Green SnowPro Salt Applicator** for winter snow and ice management activities.
6. **A qualified Soil Scientist, Geologist or Engineer shall be retained to design the soil amendment and perform the infiltration testing** at Infiltration Basin 4 as shown on the plans, and shall provide the information and test results to the DES Alteration of Terrain Bureau within 7 days of testing.
7. The permittee shall employ the services of an Environmental Monitor (EM) for the purposes of providing independent professional environmental inspections of the project. The permittee shall receive prior approval of the EM by the Department. The EM shall inspect the project at a minimum frequency of once per week and following rainfall events of 0.5-inch or greater in a 24-hour period. The inspections shall be for the purposes of determining compliance with the permit. The Monitor shall submit a written report, stamped by a qualified engineer or a Certified Professional in Erosion and Sediment Control to the Department within 24 hours of the inspections. The reports shall describe, at a minimum, whether the project is being constructed in accordance with the approved sequence, shall identify any deviation from the conditions of this permit and the approved plans, and identify any other noted deficiencies. Reports should be submitted to bethann.mccarthy@des.nh.gov.
8. In accordance with Env-Wq 1503.21 (c)(1), a written notice signed by the permit holder and a qualified engineer shall be submitted to DES stating that the project was completed in accordance with the approved plans

www.des.nh.gov
29 Hazen Drive • PO Box 95 • Concord, NH 03302-0095
(603) 271-3503 • TDD Access: Relay NH 1-800-735-2964

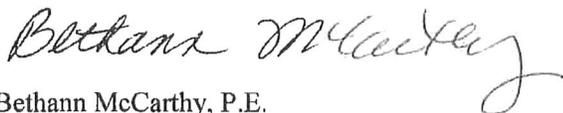


and specifications. The submittal by the qualified engineer shall include a statement as to whether the roof drains for Units 18 – 29 were constructed as per the plans. If deviations were made, the permit holder shall review the requirements in Env-Wq 1503.21(c)(2).

GENERAL CONDITIONS:

1. **No activity shall occur until a Wetlands Permit is obtained from the Department.** Issuance of this permit does not obligate the Department to approve a Wetlands Permit for this project.
2. Activities shall not cause or contribute to any violations of the surface water quality standards established in Administrative Rule Env-Wq 1700.
3. You must submit revised plans for permit amendment prior to any changes in construction details or sequences. You must notify the Department in writing within ten days of a change in ownership.
4. You must notify the Department in writing prior to the start of construction and upon completion of construction. Forms can be submitted electronically at: <https://forms.nh.gov/onlineforms/>. Paper forms are available at that same web page or at: <http://des.nh.gov/organization/divisions/water/aot/categories/forms.htm>.
5. All stormwater practices shall be inspected and maintained in accordance with Env-Wq 1507.07 and the project Inspection and Maintenance (I&M) Manual. All record keeping required by the I&M Manual, including records of salt usage, shall be maintained by the identified responsible party, and be made available to the department upon request.
6. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits that may be required (e.g., from US EPA, US Army Corps of Engineers, etc.). Projects disturbing over 1 acre may require a federal stormwater permit from EPA. Information regarding this permitting process can be obtained at: <http://des.nh.gov/organization/divisions/water/stormwater/construction.htm>.
7. This project has been screened for potential impact to known occurrences of protected species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have not been surveyed in detail, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species.

Sincerely,



Bethann McCarthy, P.E.
Alteration of Terrain Bureau

cc: New London Planning Board
Wayne Morrill, Jones and Beach Engineers Inc. (via email)





"NEW LONDON PLACE" PLANNED UNIT DEVELOPMENT TAX MAP 72, LOT 17 273 COUNTY ROAD, NEW LONDON, NH



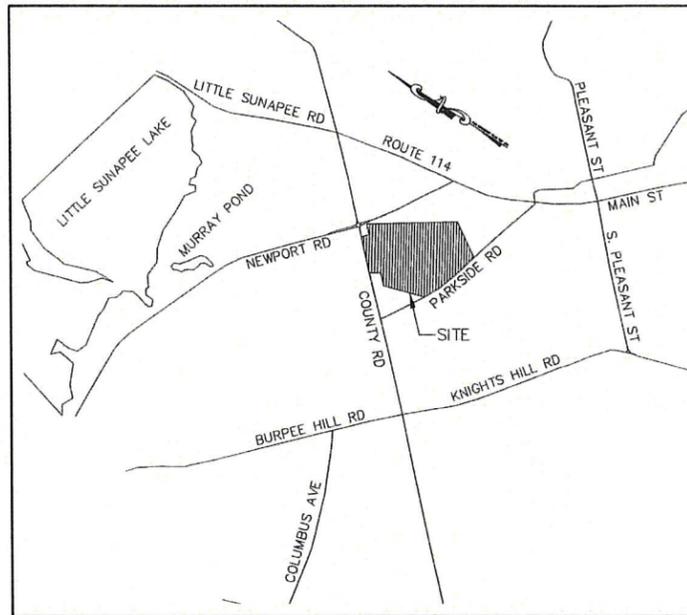
Know what's below
811 before you dig

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONE WALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	TEST PIT
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	WETLAND IMPACT
---	---	RIPRAP
---	---	FRESHWATER WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

SHEET INDEX

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SU-2	SUBDIVISION PLAN
C1-1 - C1-2	EXISTING CONDITIONS PLANS
C2	OVERALL SITE PLAN
C2-1 - C2-3	SITE PLANS
C3	OVERALL GRADING & DRAINAGE PLAN
C3-1 - C3-3	GRADING & DRAINAGE PLANS
C4	OVERALL UTILITY PLAN
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A7	COTTAGE PLAN



LOCUS MAP
SCALE 1" = 2000'

PERMITS

TYPE OF PERMIT	STATUS	TYPE OF PERMIT	STATUS
NHDES ALTERATION OF TERRAIN PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - WATER DIVISION 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 9/10/18 PERMIT NO. AOT=1574 DATED: 3/26/19 EXPIRATION: 3/22/24	NEW LONDON SITE PLAN APPROVAL: TOWN OF NEW LONDON PLANNING BOARD 375 MAIN STREET NEW LONDON, NEW HAMPSHIRE 03257 (603) 526-1247 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 7/3/2018 PERMIT NO. DATED: 12/17/2018 EXPIRATION:
NHDES WETLAND PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES- WETLANDS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-2147 RESPONSIBLE CONSULTANT: GOVE ENVIRONMENTAL SERVICES, INC.	SUBMITTED: 12/01/2018 PERMIT NO. 2018-03641 DATED: 04/22/2019 EXPIRATION: 04/22/2024	NHDES SEWER CONNECTION PERMIT: NHDES - WASTEWATER ENGINEERING BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 12/13/2018 PERMIT NO. D2018-1207 DATED: 2/7/19 EXPIRATION: 2/7/22

USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION:
EPA STORMWATER NOTICE PROCESSING CENTER
MAIL CODE 4203M,
US EPA
1200 PENNSYLVANIA AVENUE, NW
WASHINGTON, DC 20460
RESPONSIBLE CONSULTANT:
JONES & BEACH ENGINEERS, INC.

APPLICANT / DEVELOPER
CONTINUUM HEALTH SERVICES, INC.
250 GODDARD ROAD
LEWISTON, ME 04240
(207) 782-4797
CONTACT: MIKE BLACK
EMAIL: MKB1205@GMAIL.COM

FORESTER
GARLAND LUMBER CO., INC
636 E. CONWAY ROAD
CENTER CONWAY, NH 03813
(603) 356-5636
CONTACT: KARLA GARLAND
EMAIL: KARLA@GARLANDLUMBER.NET

LANDSCAPE DESIGNER
WOODBURN & COMPANY
LANDSCAPE ARCHITECTURE, LLC
103 KENT PLACE
NEWMARKET, NH 03857
(603) 659-5949
CONTACT: ROBBI WOODBURN
EMAIL: ROBBI@WOODBURNANDCOMPANY.COM

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: WAYNE MORRILL
EMAIL: WMORRILL@JONESANDBEACH.COM

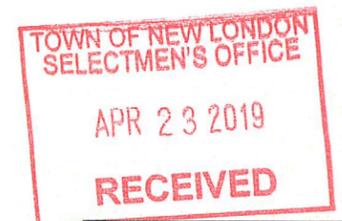
WETLAND CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE
EXETER, NH 03833
(603) 778-0644
CONTACT: JIM GOVE
EMAIL: JGOVE@GESINC.BIZ

ARCHITECT
PROCON INC.
1359 HOOKSETT ROAD
HOOKSETT, NH 03106
(603) 623-8811
CONTACT: ERIK ANDERSON
EMAIL: EANDERSON@PROCONINC.COM

OWNER OF RECORD
NEW LONDON HOSPITAL ASSOCIATION
273 COUNTRY ROAD
NEW LONDON, NH 03257
CONTACT: BRUCE KING

GEOTECHNICAL ENGINEER
S.W. COLE ENGINEERING, INC.
13 DELTA DRIVE, UNIT 8
LONDONDERRY, NH 03053
(603) 692-0088
CONTACT: CHAD MICHAUD, P.E.
EMAIL: CMICHAUD@SWCOLE.COM

TELEPHONE AND DATA SYSTEMS
146 DOVER ROAD
CHICHESTER, NH 03258
(603) 798-9911
CONTACT: RICHARD LILLE
EMAIL: RICHARD.LILLE@TDSATELECOM.COM



PROJECT PARCEL
TOWN OF NEW LONDON
TAX MAP 72, LOT 17

APPLICANT
CONTINUUM HEALTH SERVICES, INC.
250 GODDARD ROAD
LEWISTON, ME 04240

TOTAL LOT AREA
1,890,228 SQ. FT.
43.39 ACRES

APPROVED - TOWN OF NEW LONDON
PLANNING BOARD

DATE:

F:\CADD\MASTER STANDARD\DWG\UB-LAYOUTS.dwg 2/16/2017 12:25:50 PM EST

Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	CS
SHEET 1 OF 49	JBE PROJECT NO. 17190

"NEW LONDON PLACE", COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
JBE # 17190

SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED PLANNED UNIT DEVELOPMENT (P.U.D.) ON TAX MAP 72, LOT 17 IN THE TOWN OF NEW LONDON. THE DEVELOPMENT WILL CONSIST OF A MULTI-LEVEL CONTINUING CARE BUILDING AND THIRTY (30) INDEPENDENT LIVING COTTAGES. THE PROPOSED DEVELOPMENT WILL BE SERVICED BY MUNICIPAL SEWER AND WATER WITH ALL BUILDINGS SPRINKLERED FOR FIRE PROTECTION.
- ZONING DISTRICT: URBAN RESIDENTIAL (R-1)
LOT AREA MINIMUM = 20,000 SF (5 AC FOR P.U.D.)
LOT FRONTAGE MINIMUM = 150'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 15'
REAR SETBACK = 15'
P.U.D. BUFFER = 75'
P.U.D. INTERNAL BUILDING SEP. = 25'
P.U.D. MIN. OPEN SPACE = 50%
- PARKING SPACES PROVIDED:
SPACES PROVIDED OUTSIDE WING 'A' = 16 + 2 HANDICAP ACCESSIBLE = 21
SPACES PROVIDED WITHIN WING 'C' PARKING LEVEL = 14 + 3 HANDICAP ACCESSIBLE = 27
SPACES PROVIDED OUTSIDE WING 'C' = 49 + 3 HANDICAP ACCESSIBLE = 52
TOTAL SPACES PROVIDED = 100 SPACES
REQUIRED PARKING AT THE DISCRETION OF THE PLANNING BOARD
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PARCEL IS LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NOS. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
- APPLICANT IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- THE CONTRACTOR SHALL READ AND FOLLOW ALL RECOMMENDATIONS MADE IN THE SITE GEOTECHNICAL ENGINEER REPORT, PREPARED BY S.W. COLE ENGINEERING, INC.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL CURBING TO BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- OUTSIDE DELIVERIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 9:00 PM MONDAY THROUGH SATURDAY, AND 8:00 AM TO 8:00 PM ON SUNDAY.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL ARCHITECTURAL BLOCK RETAINING WALLS ARE TO BE DESIGNED AND STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER. CONTRACTOR TO COORDINATE WITH APPROVED MANUFACTURER PRIOR TO INSTALLATION.
- DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- SEE LANDSCAPE DETAILS FOR FENCING ON TOP OF RETAINING WALLS.
- SEE TRAIL MAP PLAN FOR LOCATION OF EXISTING AND PROPOSED TRAIL LOCATIONS.
- DUMPSTERS AND REFUSE CONTAINERS FOR THE CONTINUING CARE FACILITY TO BE LOCATED WITHIN THE UNDERGROUND PARKING AREA. STAND-ALONE UNITS TO UTILIZE CURBSIDE TRASH PICK-UP.

STREAM CROSSING DESIGN NOTES:

ENV-W1 903.03 INFORMATION REQUIRED FOR A STREAM CROSSING APPLICATION. IN ADDITION TO THE INFORMATION REQUIRED IN ENV-W1 501.02, FOR ALL STREAM CROSSING PROJECTS THE APPLICANT SHALL SUBMIT THE FOLLOWING:

- ON THE USGS MAP REQUIRED BY ENV-W1 501.02(c)(4), THE APPROXIMATE BOUNDARIES AND SIZE OF THE CONTRIBUTING WATERSHED;
- PLANS SHOWING THE FOLLOWING INFORMATION:
 - THE SCALE, NORTH ARROW, AND AT LEAST 3 REFERENCE POINTS OUTSIDE OF THE CONSTRUCTION DISTURBANCE AREA;
 - CLEARING LIMITS SHOWING ALL WORK AREAS COVERED BY SPECIAL PROJECT REQUIREMENTS WITH NOTES; NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES 6 ENW-W1 900
 - STRUCTURE LOCATION WITH INLET AND OUTLET INVERTS;
 - EXTENSION OF CHANNEL EXCAVATION AND FILLING;
 - ROAD LOCATIONS, INCLUDING ROAD EDGES AND CENTERLINE;
 - CHANNEL WORK IDENTIFIED INCLUDING BANK EROSION CONTROL FEATURES, GRADE CONTROL, AND CHANNEL LININGS; AND
 - ESTIMATED DRAINAGE AREA AT THE CROSSING LOCATION;
- STREAMBED DETAILS, WITH FIGURES, WHICH SHOW THE FOLLOWING:
 - THE DISTANCE FROM THE TOP OF THE RIGHT BANK TO THE TOP OF THE LEFT BANK;
 - APPROXIMATE ELEVATIONS, SPACING, DIAMETERS, AND LOCATIONS OF ROCKS FOR STEPS, BANKLINE, AND OTHER CHANNEL ROCKS FOR ROUGHNESS;
 - DETAILS FOR SEDIMENT RETENTION STRUCTURES, IF ANY, WITHIN EMBEDDED STRUCTURES; AND
 - A VISUAL ESTIMATE OF DOMINANT CHANNEL MATERIALS UPSTREAM, DOWNSTREAM, AND IF APPLICABLE, WITHIN THE EXISTING CROSSING;
- EXISTING CROSSING METRICS, INCLUDING:
 - EXISTING RIPARIAN ZONE, INCLUDING THE EXTENT AND TYPE OF EXISTING VEGETATION SURROUNDING OR IN THE STREAM BANK;
 - EXISTING CROSSING TYPE AND DIMENSIONS, INCLUDING MATERIAL, LENGTH, AND DIMENSIONS; AND
 - EXISTING TAILWATER CONTROL, INCLUDING ITS LOCATION AND MATERIALS, AND POOL CONFIGURATION;

- THE DEWATERING SYSTEM, AS FOLLOWS:
 - ESTIMATES OF THE MAXIMUM FLOW ANTICIPATED DURING CONSTRUCTION, INCLUDING ANY SUMMER STORM ESTIMATES;
 - LOCATION, HEIGHT, AND WIDTH OF THE DIVERSION DAM;
 - SUMP LOCATIONS, INCLUDING ESTIMATE OF NECESSARY FLOW AND SUMP CAPACITY;
 - BACKWATER PREVENTION METHOD; AND
 - SEDIMENT TREATMENT PLAN WITH METHODS, RELEASE POINT, AND EXTENT;
- EROSION AND POLLUTION CONTROLS, AS FOLLOWS:
 - ANY ADDITIONAL METHODS OF CONTROLLING EROSION;
 - A STORMWATER MANAGEMENT PLAN, INCLUDING BUT NOT LIMITED TO WHERE TO COVER STOCKPILES AND PLACE STRAW BALES;
 - POLLUTION CONTROL METHODS FOR PUMPS, FUEL STATIONS, AND EQUIPMENT STORAGE;
- FOOTINGS, INCLUDING THE FOLLOWING:
 - ESTIMATE OF BEARING CAPACITY; AND
 - FOOTING DEPTH AND WIDTH FOR BOTTOMLESS ARCH OR BRIDGE; AND
- STRUCTURAL DETAILS OF THE CROSSING, INCLUDING THE FOLLOWING:
 - STRUCTURAL SECTION, GAUGE OR THICKNESS, AND MATERIAL. MINIMUM AND MAXIMUM COVER LIMITS; NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES 6 ENW-W1 900
 - STRUCTURES, DRAWN TO SCALE, ON ELEVATION VIEW SHOWING BED MATERIAL LOCATION RELATIVE TO STRUCTURE, AND SPECIAL BACKFILL ZONES; AND
 - STRUCTURAL EXCAVATION QUANTITY AND TOTAL EXCAVATION ESTIMATE.(b) IN ADDITION TO THE INFORMATION REQUIRED IN ENV-W1 501.02 AND (c), (d)

GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- VERTICAL DATUM: ASSUMED PER CAD FILE FROM OTHERS. HORIZONTAL DATUM: NH STATE PLANE NAD83 2800. STATIC GPS RUN ON 6/5/18.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH GRASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEETS C3-1 THROUGH C3-3 FOR DRAINAGE STRUCTURE SCHEDULE AND SHEETS D5-D10 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H2O LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCES TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- IN AREAS WHERE GUTTERS ARE PROPOSED ON STRUCTURES, CONTRACTOR TO DRAIN INTO PERIMETER DRIP EDGE, UNLESS OTHERWISE SHOWN.
- EROSION CONTROL BLANKETS ARE TO BE USED FOR ANY SLOPES AT OR GREATER THAN 3:1.
- STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE.
- EXPOSURE OF STABILIZED SOILS ARE TO BE LIMITED TO 45 DAYS.
- BUILDING SHALL HAVE A ROOF DRAIN GUTTER SYSTEM TO BE DIRECTED TO DRAINAGE SYSTEM AS SHOWN.
- AREAS WHERE CONSTRUCTION ACTIVITIES ARE IN CLOSE PROXIMITY TO WETLANDS INSTALL ORANGE CONSTRUCTION FENCING TO SILT FENCING.
- ALL WETLAND BOUNDARIES ON THE PROJECT SITE SHALL BE FLAGGED WITH PINK "WETLAND DELINEATION" FLAGGING PRIOR TO CONSTRUCTION.
- A GUTTER SYSTEM TO CONVEY ROOF RUNOFF TO THE FRONT OF THE BUILDINGS ARE TO BE INSTALLED ON UNITS #18-#29. CONTRACTOR TO RELEASE ROOF RUNOFF AT SURFACE IN FRONT OF UNITS TO SHEET FLOW, OR HARD PIPE TO INFILTRATION POND #4.

UTILITY CONTACTS

WATER
NEW LONDON/SRINGFIELD
WATER SYSTEM PRECINCT
72 OLD DUMP ROAD
NEW LONDON, NH 03257
(603) 526-4441
CONTACT: ROBERT THORPE

SEWER
NEW LONDON PUBLIC WORKS DIVISION
375 MAIN STREET
NEW LONDON, NH 03257
(603) 526-6337

CABLE/INTERNET
COMCAST
166 HANOVER STREET
LEBANON, NH 03766
(800) 266-2278
CONTACT: STEVE MARSHALL
EMAIL: STEVE_MARSHALLECOMCAST.NET

ELECTRIC
EVERSOURCE ENERGY
780 N. COMMERCIAL ST.
MANCHESTER, NH 03101
(800) 662-7764
CONTACT: SCOTT WHITCOMB
EMAIL: PAUL.WHITCOMBEEVERSOURCE.COM

TELEPHONE AND DATA SYSTEMS
146 DOVER ROAD
CHICHESTER, NH 03258
(603) 798-9911
CONTACT: RICHARD LILLE
EMAIL: RICHARD.LILLEETDSATELECOM.COM

UTILITY NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H2O LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- REFER TO ARCHITECTURAL PLANS SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING.
- FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM.
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ALL PROJECT BUILDINGS IN ACCORDANCE WITH 101 LIFE SAFETY CODE/NFPA 1 AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMUM PLACEMENT.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DISINFECTED BEFORE CONSTRUCTION.
- ALL WATER LINES SHALL HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700.
- ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER.
- ENV-WQ 704.09 FORCE MAIN AND LOW PRESSURE SEWER TESTING: SHALL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600-05, AND AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.
- ENV-WQ 704.17 SEWER MANHOLES: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
- ENV-WQ 704.19(a) PROTECTION OF WATER LINES: SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. UNLESS OTHERWISE REFLECTED ON PLANS APPROVED BY NHDES, SEWER SHALL BE LOCATED BELOW A WATER MAIN WITH A MINIMUM VERTICAL SEPARATION OF NO LESS THAN 18" AND SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
- ENV-WQ 704.04(b) DESIGN & CONSTRUCTION OF GRAVITY SEWERS: SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION THE WIDTH OF THE SEWER TRENCH TO BE INSTALLED 12-INCHES OVER SEWER PIPE (ABOVE SEWER BLANKET) IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE TOWN SEWER DEPARTMENT.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT.
- THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO USERS AT ALL TIMES. REQUIREMENTS BY THE TOWN WATER DEPARTMENT REGARDING NOTIFICATION FOR INTERRUPTION OF SERVICE SHOULD BE INCLUDED (TYPICALLY 24 HOURS) AND ALLOWABLE INTERRUPTION DURATION. WATER TESTING AND DISINFECTATION REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN AND NHDES REGULATIONS.
- ALL PROPOSED COTTAGES TO BE SERVICED BY A 4" GRAVITY SEWER, 1 1/2" HDPE DOMESTIC WATER, AND 4" HDPE FIRE SERVICE TO BE CONNECTED TO MAIN LINE OF UTILITY.
- UNDERGROUND LP TANKS TO BE SIZED & LOCATED BY OTHERS PRIOR TO INSTALLATION.

TOWN OF NEW LONDON
SELECTMEN'S OFFICE

APR 23 2019

F:\CAD\MASTER STANDARDS\JBL\LAYOUTS.dwg 2/16/2017 12:25:50 PM EST

Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

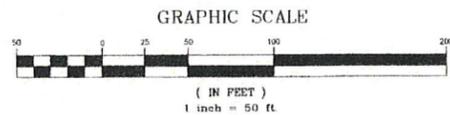
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GENERAL NOTES
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No. **G1**

RECEIVED

SHEET 2 OF 49
JBE PROJECT NO. 17190



TAX MAP 59 LOT 27
SUGAR RIVER BANK
10 NORTH MAIN STREET
NEWPORT, NH 03773

TAX MAP 59 LOT 28
BROOM PROPERTIES LLC
176 NEWPORT ROAD #4
NEW LONDON, NH 03257

TAX MAP 59 LOT 29
LAKE SUNAPEE BANK
PO BOX 29
NEWPORT, NH 03773

TAX MAP 59 LOT 3
290 COUNTY ROAD LLC
PO BOX 2215
NEW LONDON, NH 03257
BK 2134 PG 1852

TAX MAP 72 LOT 17-001
NEW LONDON HOSPITAL ASSOC.
273 COUNTY ROAD
NEW LONDON, NH 03257
BK 794 PG 280

TAX MAP 59 LOT 2
WILLIAM & DOROTHY GRIFFITHS
28 EVERETT PARK
NEW LONDON, NH 03257
BK 3575 PG 2871

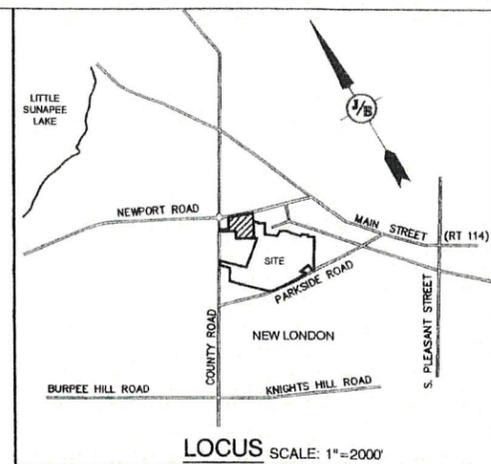
TAX MAP 59 LOT 1
NEWPORT ROAD DENTAL OFFICES LLC
PO BOX 265
NEW LONDON, NH 03257
BK 3953 PG 167

TAX MAP 72 LOT 33
FRANCOIS & DENISE OLSON
44 HOMAN LANE
NEW LONDON, NH 03257
BK 3216 PG 1369

TAX MAP 72 LOT 17
NEW LONDON HOSPITAL ASSOC.
273 COUNTY ROAD
NEW LONDON, NH 03257
BK 794 PG 280

TAX MAP 72 LOT 31
BARBARA A. SVERALD TRUST
BARBARA SVERALD, TRUSTEE
41 HOMAN LANE
NEW LONDON, NH 03257
BK 3400 PG 434

TAX MAP 72 LOT 18
NEW LONDON HOSPITAL ASSOC.
273 COUNTY ROAD
NEW LONDON, NH 03257
BK 1771 PG 519



NOTES:

- THE INTENT OF THIS PLAN IS TO SUBDIVIDE NEW LONDON TAX MAP 72 LOT 17 INTO TWO PARCELS. A PERIMETER BOUNDARY SURVEY HAS NOT BEEN PERFORMED ON THE ENTIRE SUBJECT PARCEL. BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCE ARE FROM RECORD PLAN #1.
- ZONING DISTRICT: URBAN RESIDENTIAL R1 AND COMMERCIAL. LOT AREA MINIMUM = 2 ACRES. LOT FRONTAGE MINIMUM = 150'. BUILDING SETBACKS (MINIMUM): FRONT SETBACK = 25'. SIDE SETBACK = 20' SINGLE SIDE, WITH AGGREGATE MINIMUM 50'. REAR SETBACK = 15'. MAX. BUILDING HEIGHT = 10'. MAX. LOT COVERAGE = 5%. SUBJECT LOT ALSO COVERED BY PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT, AND BY WORKFORCE HOUSING OVERLAY DISTRICT.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NOS. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
- BASIS OF BEARING: HORIZONTAL - NH STATE PLAN. VERTICAL - ASSUMED.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF NEW LONDON TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF NEW LONDON ASSESSORS' OFFICE AND THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION OF OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESUMPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY BRENDEN WALDEN OF GOVE ENVIRONMENTAL SERVICES IN AUGUST 2017 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY RE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- SUBJECT PARCEL POSSIBLY SUBJECT TO SLOPE EASEMENTS AND DRAINAGE ALONG NEWPORT ROAD AS INDICATED ON PLAN REFERENCE 4.

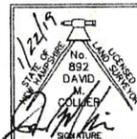
PLAN REFERENCES:

- "BOUNDARY SURVEY PLAN PREPARED FOR THE NEW LONDON HOSPITAL ASSOCIATION, INC. TOWN OF NEW LONDON, COUNTY OF MERRIMACK, STATE OF NEW HAMPSHIRE." DATED OCTOBER, 2013. SCALE 1" = 100'. PREPARED BY CHA. M.C.R.D. 20284.
- "SURVEY PLAN FOR THE NEW LONDON HOSPITAL ASSOCIATION, INC. COUNTY ROAD, NEW LONDON, MERRIMACK COUNTY, N.H." DATED JANUARY 31, 1995. SCALE 1" = 100'. PREPARED BY T&M ASSOCIATES, INC. M.C.R.D. 13205.
- "SUBDIVISION FOR NEW LONDON HOSPITAL ASSOCIATION, INC. COUNTY ROAD, NEW LONDON, NEW HAMPSHIRE." DATED NOVEMBER 20, 1986. SCALE 1" = 100'. PREPARED BY BRISTOL, SWEET & ASSOCIATES, INC. M.C.R.D. 9395.
- "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT NO. F 241(3), SUNAPEE LAKE ROAD. DATED OCTOBER 7, 1947. SCALE 1" = 50'. WITH RIGHT OF WAY MARKUPS. ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, PROJECT P-2066.

CERTIFICATION:

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS



DAVID M. COLLIER, LLS 892
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 1/22/19

Design: WGM	Draft: MJS	Date: 7/3/18
Checked: DMC	Scale: 1" = 50'	Project No.: 17190
Drawing Name: 17190-SUBDIVISION.dwg		
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REV.	DATE	REVISION	BY
2	1/21/19	ADDED PARKING AND UTILITY EASEMENT, NOTE 16 & RECORDING INFORMATION	DMC
1	7/18/18	REVISED BOUNDARY	MJS
0	7/3/18	ISSUED FOR REVIEW	MJS
		REVISION	

Designed and Produced in NH

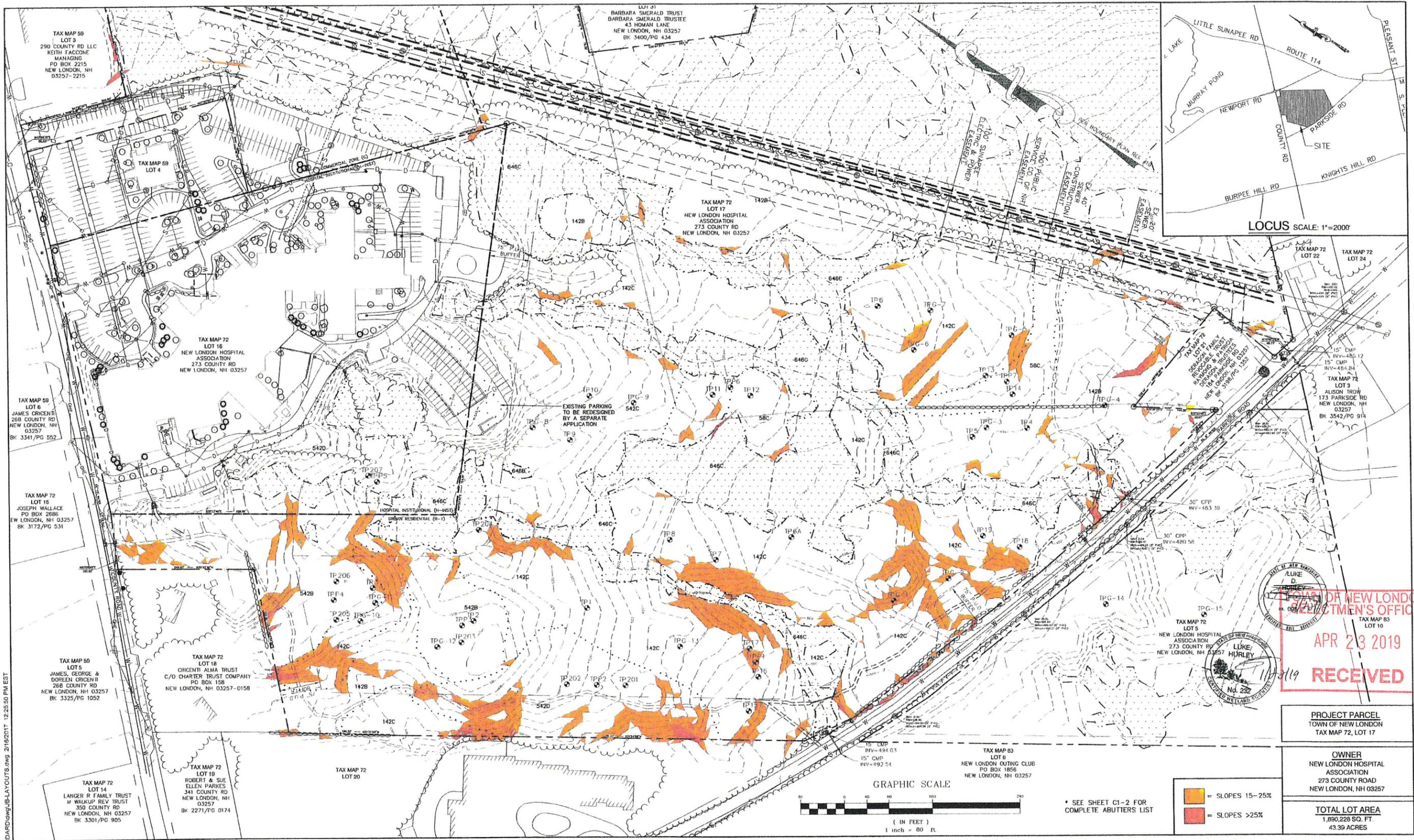
J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4748
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SUBDIVISION PLAN
Project:	TAX MAP 72 LOT 17 NEWPORT ROAD & COUNTY ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

TOWN OF NEW LONDON
SELECTMEN'S OFFICE
APR 23 2019
RECEIVED
DRAWING NO.

SU2
SHEET 4 OF 49
JBE PROJECT NO. 17190



STATE OF NEW HAMPSHIRE

 TOWN OF NEW LONDON

 SELECTMEN'S OFFICE

 APR 23 2019

 RECEIVED

PROJECT PARCEL

 TOWN OF NEW LONDON

 TAX MAP 72, LOT 17

 OWNER

 NEW LONDON HOSPITAL

 ASSOCIATION

 273 COUNTY ROAD

 NEW LONDON, NH 03257

 TOTAL LOT AREA

 1,890,226 SQ. FT.

 43.39 ACRES

Design: BWG | Draft: ISM | Date: 7/3/18

 Checked: WGM | Scale: AS NOTED | Project No.: 17190

 Drawing Name: 17190-EX-CONDITIONS.DWG

 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN

 PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE)

 ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE

 AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
2	1/2/19	UPDATED SOILS, GOVE ENV. TEST PITS, STREAM LOCATION	EJM
1	9/10/18	ISSUED FOR AOT REVIEW	EMP
0	7/3/18	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

 Jones & Beach Engineers, Inc.

 Civil Engineering Services

 85 Portsmouth Ave. | 603-772-4746

 PO Box 219 | FAX: 603-772-0227

 Stratham, NH 03855 | E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	"NEW LONDON PLACE" COUNTY RD & PARKSIDE RD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY RD, NEW LONDON, NH 03257

DRAWING No.

C1-1

 SHEET 5 OF 49

 JBE PROJECT NO. 17190

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GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

ADDITIONAL ABUTTERS:

TAX MAP 58, LOT 1 NEWPORT ROAD DENTAL OFFICES, LLC PO BOX 255 NEW LONDON, NH 03257 BK 3053/PG 167	TAX MAP 72, LOT 1 LOUIS BOTTA WILLIAM HICKEY 433 COUNTY RD NEW LONDON, NH 03257 BK 3410/PG 233	TAX MAP 72, LOT 40 35 NEWPORT RD NEW LONDON, NH 03257 BK 3094/PG 1626	TAX MAP 73, LOT 24 DONNA SPARKS CYNTHIA SPARKS 127 EVERETT PARK NEW LONDON, NH 03257 BK 3582, PG 1490
TAX MAP 59, LOT 2 WILLIAM & DOROTHY GRIFFITHS 28 EVERETT PARK NEW LONDON, NH 03257 BK 3548/PG 1590	TAX MAP 72, LOT 8 DAVOR & DIKKA NOVAK 419 COUNTY RD NEW LONDON, NH 03257 BK 1994/PG 185	TAX MAP 72, LOT 41 TAX MAP 73, LOT 17 HARRY SNOW III PO BOX 1372 NEW LONDON, NH 03257	TAX MAP 73, LOT 25 NEW LONDON BARN PLAYHOUSE INC PO BOX 9 NEW LONDON, NH 03257 BK 3204/PG 551
TAX MAP 59, LOT 8 MOUNTAIN VIEW SHOPPING CENTER LLC C/O CROSSPOINT ASSOCIATES 300 THIRD AVE, STE 2 WALTHAM, MA 02451 BK 3280/PG 1141	TAX MAP 72, LOT 9 KOZIKOWSKI FAMILY TRUST ROBERT & KATHLEEN KOZIKOWSKI 481 COUNTY RD NEW LONDON, NH 03257	TAX MAP 72, LOT 42 DONNA & ROBERT YOUNG 25 EVERETT PARK NEW LONDON, NH 03257	TAX MAP 73, LOTS 26, 27, & 28 DONALD & SUSAN COX 165 EVERETT PARK NEW LONDON, NH 03257 BK 3566/PG 1434
TAX MAP 59, LOT 14 DORTHEA BEWLEY REVOCABLE TRUST THOMAS MARSH & DORNA BEWLEY TRUSTEES 6 BICENTENNIAL SQUARE CONCORD, NH 03301 BK 3277/PG 1927	TAX MAP 72, LOT 11 CYNTHIA BRADY 392 COUNTY RD NEW LONDON, NH 03257 BK 3511/PG 2726	TAX MAP 72, LOT 43 GINTER FAMILY REVOCABLE TRUST THOMAS & DIANA GINTER CO-TRUSTEES PO BOX 1877 NEW LONDON, NH 03257 BK 3031/PG 499	TAX MAP 73, LOT 42 SPARKS LIVING TRUST DONALD & MARY SPARKS TRUSTEES PO BOX 132 NEW LONDON, NH 03257
TAX MAP 59, LOT 15 INFORMATION UNAVAILABLE ONLINE	TAX MAP 72, LOT 12 WALTER & REBECCA PARTRIDGE JR PO BOX 1353 NEW LONDON, NH 03257 BK 1987/PG 777	TAX MAP 72, LOT 44 RAYMOND HEATH & JUDITH FRANCIS COTTRELL 12 WILLIAMS DR NEW LONDON, NH 03257 BK 2717/PG 430	TAX MAP 73, LOT 43 MARGA GOULART 12 WILLIAMS DR NEW LONDON, NH 03257 BK 3189/PG 546
TAX MAP 59, LOT 16 PUBLIC SERVICE OF NH PO BOX 270 HARRIFORD, CT 06141-0270	TAX MAP 72, LOT 13 ORAC MICHONSH 135 MARBLE CANYON DR FOLSOM, CA 95630 BK 3549/PG 973	TAX MAP 72, LOT 45 KARL & ELIZABETH PANKOW LIVING TRUST 113 SQUIRES LANE NEW LONDON, NH 03257 BK 3463/PG 1133	TAX MAP 73, LOT 44 CONSTANCE MARRION TRUST CONSTANCE MARRION TRUSTEES 62 MAIN ST NEW LONDON, NH 03257 BK 3339/PG 350
TAX MAP 59, LOT 17 LEDYARD NATIONAL BANK 38 MAIN ST HANOVER, NH 03755 BK 2182/PG 1280	TAX MAP 72, LOT 20 HAROLD WHEELER TRUST 177 MYRTLE ST NEW LONDON, NH 03257	TAX MAP 73, LOT 6 JONATHAN & SERENA BOEDDIKER 177 MYRTLE ST CLAREMONT, NH 03743 BK 3566/PG 1158	TAX MAP 73, LOT 45 BENJAMIN BARTON PO BOX 154 NEW LONDON, NH 03257 BK 3432/PG 1374
TAX MAP 59, LOT 18 DORTHEA G BEWLEY REVOCABLE TRUST JON LANG & DORTHEA BEWLEY CO-TRUSTEES 1 ELECTRIC AVE PENACOOK, NH 03303 BK 3568/PG 2812	TAX MAP 72, LOT 22 TAX MAP 72, LOT 23 CAROLYN FRALEY 172 PARKSIDE RD NEW LONDON, NH 03257 BK 2239/PG 1557	TAX MAP 73, LOT 7 JEFFREY & PATRICIA NORTH 119 PARKSIDE RD NEW LONDON, NH 03257 BK 3442/PG 316	TAX MAP 73, LOTS 46 & 47 FRANK ANZALONE ET AL 78 BEACON HILL RD NEW LONDON, NH 03257 BK 3534/PG 2171
TAX MAP 59, LOT 24 WHITEBIRD INC 143 COUNTY RD NEW LONDON, NH 03257 BK 2386/PG 359	TAX MAP 72, LOT 24 TAX MAP 73, LOT 14 ELUNICE & EDWARD ORDMAN 4045 GRAHAM OAKS CIRCLE MEMPHIS, TN 38122	TAX MAP 73, LOT 8 P&K VEDOVA WELLER FAMILY TRUST 123 PARKSIDE RD NEW LONDON, NH 03257 BK 3378/PG 1802	TAX MAP 73, LOT 48 DONNA RICHARDS PO BOX 1354 NEW LONDON, NH 03257 BK 3034/PG 1451
TAX MAP 59, LOT 25 TOMIE DEPAOLA REVOCABLE TRUST TOMIE DEPAOLA TRUSTEE 143 COUNTY RD NEW LONDON, NH 03257 BK 3049/PG 519	TAX MAP 72, LOT 25 CATHERINE TURCOTTE PO BOX 511 NEW LONDON, NH 03257 BK 3331/PG 1535	TAX MAP 73, LOT 9 JON & MARGARET NELSON 33 WINN HILL RD SUNAPEE, NH 03782	TAX MAP 73, LOT 49 MOUNTAIN YARD ASSOCIATION INC PO BOX 1354 NEW LONDON, NH 03257 BK 3034/PG 1451
TAX MAP 59, LOTS 25-1 & 25-2 HISTORICAL SOCIETY PO BOX 965 NEW LONDON, NH 03257	TAX MAP 72, LOT 26 MARGARET & STEPHEN THEROUX 89 PRESSES CT NEW LONDON, NH 03257 BK 3568/PG 267	TAX MAP 73, LOT 11 PETER & KAREN HOGGLUND 459 KNIGHTS HILL RD NEW LONDON, NH 03257 BK 3067/PG 1030	TAX MAP 73, LOT 50 BARIELL PROPERTIES INC 19 NEWPORT RD NEW LONDON, NH 03257
TAX MAP 59, LOT 26 TGM REAL ESTATE LLC 227 MECHANIC ST LEBANON, NH 03766 BK 2407/PG 910	TAX MAP 72, LOT 27 COBLEIGH TRUST JOHN AKIN TRUSTEE 115 LAMP POST LOOP AIKEN, SC 29803 BK 3113/PG 1722	TAX MAP 73, LOT 11-1 EDWARD BLANCHARD NANCY PUTNAM 154 EVERETT PARK NEW LONDON, NH 03257 BK 3028/PG 855	TAX MAP 73, LOT 51 BRIAN & MARY WICENSKI DMD PO BOX 1017 NEW LONDON, NH 03257
TAX MAP 59, LOT 27 SUDAR RIVER BANK 10 NORTH MAIN ST NEWPORT, NH 03773 BK 2407/PG 907	TAX MAP 72, LOT 28 PATRICIA ETENBOROUGH PO BOX 1098 NEW LONDON, NH 03257 BK 3281/PG 544	TAX MAP 73, LOT 12 WENDY PARKER TRUST WENDY PARKER TRUSTEE 144 EVERETT PARK NEW LONDON, NH 03257 BK 3567/PG 2085	TAX MAP 83, LOT 10 NEW LONDON OUTING CLUB PO BOX 1856 NEW LONDON, NH 03257
TAX MAP 59, LOT 28 BROOM PROPERTIES LLC 176 NEWPORT RD #4 NEW LONDON, NH 03257 BK 2713/PG 257	TAX MAP 72, LOT 29 CHARLES & MARION HAFNER TRUST CHARLES & MARION HAFNER TRUSTEES PO BOX 144 NEW LONDON, NH 03257 BK 3060/PG 1446	TAX MAP 73, LOT 13 ELUNICE & EDWARD ORDMAN 4045 GRAHAM OAKS CIRCLE MEMPHIS, TN 38122	TAX MAP 83, LOT 9 TOWN OF NEW LONDON 375 MAIN ST NEW LONDON, NH 03257 BK 1117/PG 13
TAX MAP 59, LOT 29 LAKE SUNAPEE BANK PO BOX 29 NEWPORT, NH 03773	TAX MAP 72, LOT 30 BARBARA WEBER 25 HOWAN LANE NEW LONDON, NH 03257 BK 2000/PG 1202	TAX MAP 73, LOT 14 NANCY & FRANK DUROCHER 108 EVERETT PARK NEW LONDON, NH 03257	TAX MAP 144, LOT 1 HILLTOP PLACE MASTER CARD 1-147 HILLTOP PLACE NEW LONDON, NH 03257
TAX MAP 59, LOT 30 SPLIT RAIL PROPERTIES LLC 247 NEWPORT RD NEW LONDON, NH 03257 BK 3539/PG 2344	TAX MAP 72, LOT 31 FRANCIS & DENISE OLSON 44 HOWAN LANE NEW LONDON, NH 03257 BK 3216/PG 1369	TAX MAP 73, LOT 18 ELIZABETH PARRISH 7 PRESCOTT LANE NEW LONDON, NH 03257 BK 3257/PG 624	TAX MAP 73, LOT 19 WEST REVOCABLE TRUST ALAN & PRISCILLA WEST TRUSTEES 17 PRESCOTT LANE NEW LONDON, NH 03257 BK 2005/PG 805
TAX MAP 59, LOT 32 THOMAS & WICKY HILLS TRUSTS 96 BURPEE HILL RD NEW LONDON, NH 03257 BK 3058/PG 1982	TAX MAP 72, LOT 32 MARGA ANTHONY SOULE TRUST ALAN COOPER TRUSTEE PO BOX 342 SUNAPEE, NH 03782	TAX MAP 73, LOT 20 FREDERICK & KAREN MANSFIELD 33 PRESCOTT LANE NEW LONDON, NH 03257 BK 3258/PG 1549	TAX MAP 73, LOT 21 FREDERICK STECKER IV ANN PAGE PO BOX 293 NEW LONDON, NH 03257
TAX MAP 59, LOT 33 TWELVE NEWPORT RD LLC PO BOX 719 SUNAPEE, NH 03782	TAX MAP 72, LOT 36 WILLIAM & DOROTHY GRIFFITHS IRREVOCABLE TRUST WILLIAM GRIFFITHS TRUSTEE 28 EVERETT PARK NEW LONDON, NH 03257 BK 3575/PG 2869	TAX MAP 73, LOT 22 PEPPER POT PLACE LLC 52 SIMON WILLARD RD CONCORD, MA 01742 BK 3567/PG 45	TAX MAP 73, LOT 23 DAVID & MARION ROMANOFF LIVING TRUST DAVID & MARION ROMANOFF LIVING TRUSTEES PO BOX 38 NEW LONDON, NH 03257 BK 2978/PG 455
TAX MAP 59, LOT 34 LDS CHURCH TAX ADMINISTRATIVE FILE #538-6891 50 E NORTH TEMPLE, ROOM 2225 SALT LAKE CITY, UT 84150-0022	TAX MAP 72, LOT 37 SCYTHEVILLE ROW ASSOCIATION LLC PO BOX 177 NEW LONDON, NH 03257	TAX MAP 72, LOT 38 JEFFREY & MELISSA OWEN PO BOX 84 GEORGE MILLS, NH 03751 BK 3354/PG 689	
TAX MAP 60, LOT 2 ERNEST COLLIER 34 NEWPORT RD NEW LONDON, NH 03257 BK 2667/PG 468	TAX MAP 72, LOT 39 LAKE SUNAPEE REGION VISITING NURSE ASSOC. PO BOX 2209 NEW LONDON, NH 03257 BK 2661/PG 1285		
TAX MAP 72, LOT 1 GREGORY & SHARON HIZICH 201 APRIL BLOOM LANE CARY, NC 27519 BK 3294/PG 460			
TAX MAP 72, LOT 2 RODERIC & DIANNE REYELT 159 PARKSIDE RD NEW LONDON, NH 03257			

EXISTING CONDITIONS NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
- VERTICAL DATUM: ASSUMED PER CAD FILE FROM OTHERS. HORIZONTAL DATUM: NH STATE PLAN NAD86 2800.
- BASE ELEVATION WAS ESTABLISHED THROUGH STATIC GPS RUN ON 6/5/18.
- SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NOS. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY LUKE HURLEY, GOVE ENVIRONMENTAL DURING FALL, 2017, USING (EQUIPMENT) AND IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- HIGH INTENSITY SOIL MAPPING WAS PERFORMED BY LUKE HURLEY, GOVE ENVIRONMENTAL DURING SPRING, 2010, TO THE STANDARDS OF HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE. STANDARDS (2002) SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND.
- SITE-SPECIFIC SOIL MAPPING WAS PERFORMED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING SPRING, 2010, AND IS BASED ON THE STANDARDS OF SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, VERSION 2.0 (1999) SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND. THE MAP IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT INTENDED FOR THE USE(S) REQUIRING THE SITE SPECIFIC SOIL SURVEY AND IS PRODUCED BY A CERTIFIED SOIL SCIENTIST. IT IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. A NARRATIVE REPORT IS A COMPONENT OF THE MAP.
- A TEMPORARY CULVERT AND ROADBED SHALL BE IN PLACE PRIOR TO ANY USE OF A WETLAND CROSSING.
- WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
- TEST PITS PERFORMED BY WAYNE MORRILL, JONES & BEACH ENGINEERS, INC.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
- THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR THE INFILTRATION REQUIREMENTS BY THE NHDES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THIS SITE SPECIFIC SOIL SURVEY WAS PRODUCED 12/21/2018, AND WAS PREPARED BY LUKE D. HURLEY, CSS #0095, GOVE ENVIRONMENTAL SERVICES, INC.

SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX.

SYMBOL	SOIL TAXONOMIC NAME	HYDROLOGIC SOIL GROUP
142	MONADNOCK	B
58	WALMBACK	B
542	MONADNOCK-BECKET-SKERRY COMPLEX	B
648	FILLSBURY POORLY DRAINED	C

SLOPE PHASES:

0-8%	B
8-15%	C

TOWN OF NEW LONDON
SELECTMEN'S OFFICE

APR 23 2019

RECEIVED

PROJECT PARCEL TOWN OF NEW LONDON TAX MAP 72, LOT 17
APPLICANT CONTINUUM HEALTH SERVICES, INC. 250 GODDARD RD LEWISTON, ME 04240
TOTAL LOT AREA 1,890,226 SQ. FT. 43.39 ACRES

Design: BWG	Draft: ISM	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-EX-CONDITIONS.DWG		
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REV.	DATE	REVISION	BY
2	1/2/19	UPDATED SOILS, GOVE ENV. TEST PITS, STREAM LOCATION	EJM
1	9/10/18	ISSUED FOR AOT REVIEW	EMP
0	7/3/18	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

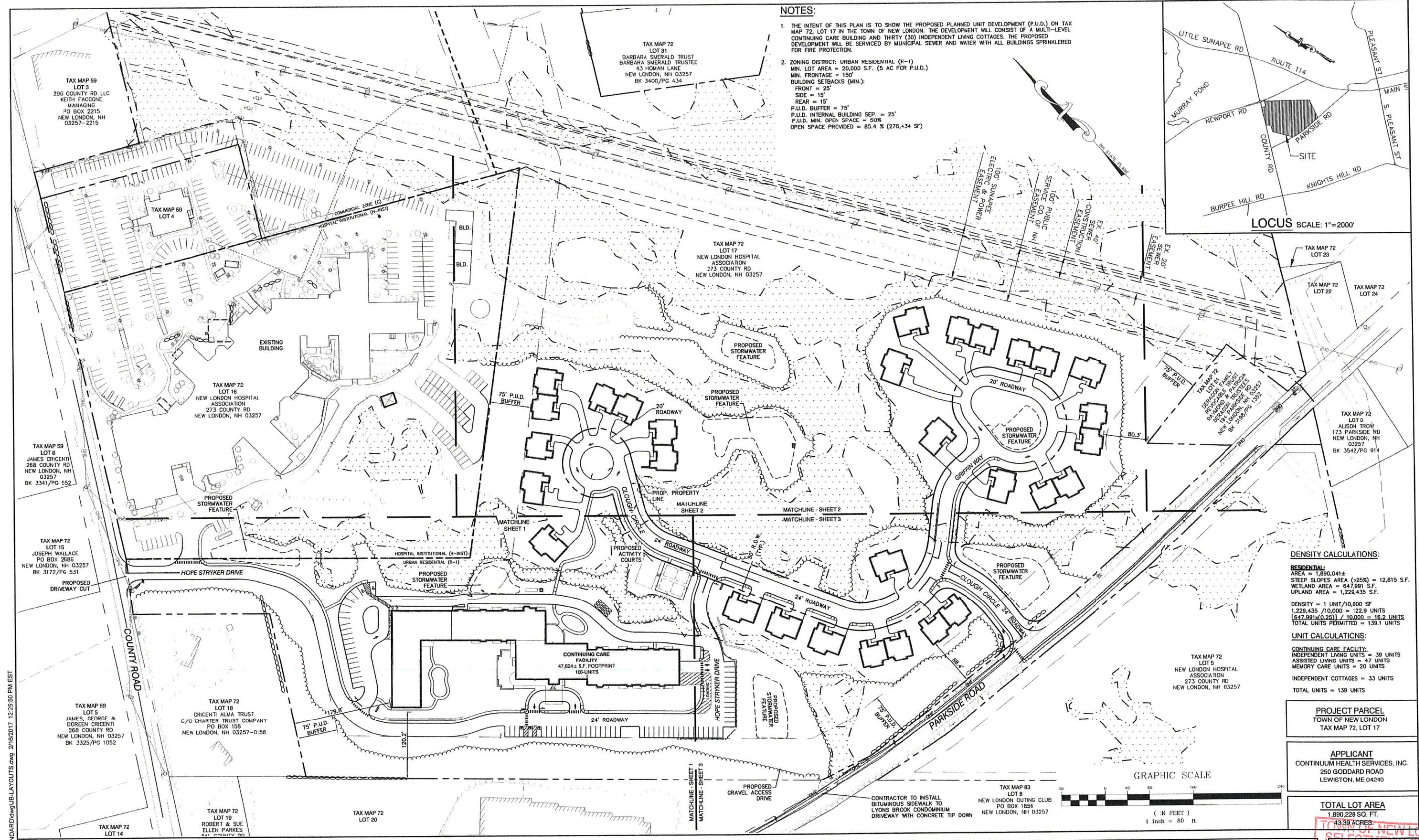
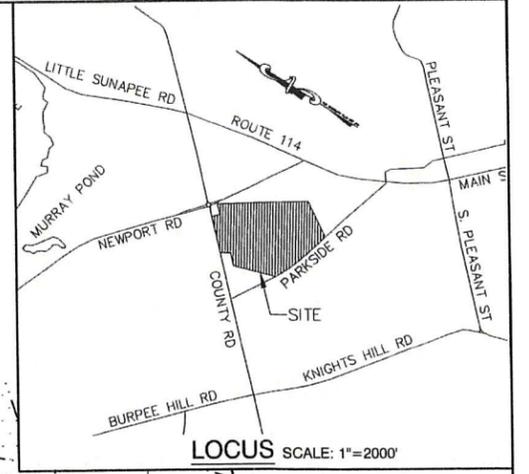
Plan Name:	EXISTING CONDITIONS PLAN
Project:	"NEW LONDON PLACE" COUNTY RD & PARKSIDE RD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY RD, NEW LONDON, NH 03257

DRAWING No.	C1-2
SHEET 6 OF 49 JBE PROJECT NO. 17190	

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NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED PLANNED UNIT DEVELOPMENT (P.U.D.) ON TAX MAP 72, LOT 17 IN THE TOWN OF NEW LONDON. THE DEVELOPMENT WILL CONSIST OF A MULTI-LEVEL CONTINUING CARE BUILDING AND THIRTY (30) INDEPENDENT LIVING COTTAGES. THE PROPOSED DEVELOPMENT WILL BE SERVICED BY MUNICIPAL SEWER AND WATER WITH ALL BUILDINGS SPRINKLERED FOR FIRE PROTECTION.
2. ZONING DISTRICT: URBAN RESIDENTIAL (R-1)
 MIN. LOT AREA = 20,000 S.F. (5 AC FOR P.U.D.)
 MIN. FRONTAGE = 150'
 BUILDING SETBACKS (MIN.):
 FRONT = 25'
 SIDE = 15'
 REAR = 15'
 P.U.D. BUFFER = 75'
 P.U.D. INTERNAL BUILDING SEP. = 25'
 P.U.D. MIN. OPEN SPACE = 50%
 OPEN SPACE PROVIDED = 85.4 % (276,434 SF)



DENSITY CALCULATIONS:

RESIDENTIAL:
 AREA = 1,890,041±
 STEEP SLOPES AREA (>25%) = 12,615 S.F.
 WETLAND AREA = 647,991 S.F.
 UPLAND AREA = 1,229,435 S.F.

DENSITY = 1 UNIT/10,000 SF
 1,229,435 / 10,000 = 122.9 UNITS
 (647,991 / 0.25) / 10,000 = 16.2 UNITS
 TOTAL UNITS PERMITTED = 139.1 UNITS

UNIT CALCULATIONS:

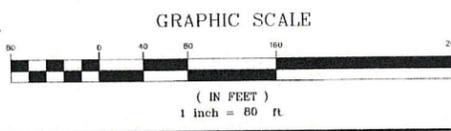
CONTINUING CARE FACILITY:
 INDEPENDENT LIVING UNITS = 39 UNITS
 ASSISTED LIVING UNITS = 47 UNITS
 MEMORY CARE UNITS = 20 UNITS

INDEPENDENT COTTAGES = 33 UNITS
 TOTAL UNITS = 139 UNITS

PROJECT PARCEL
 TOWN OF NEW LONDON
 TAX MAP 72, LOT 17

APPLICANT
 CONTINUUM HEALTH SERVICES, INC.
 250 GODDARD ROAD
 LEWISTON, ME 04240

TOTAL LOT AREA
 1,890,228 SQ. FT.
 43.39 ACRES



Design: BWG Draft: EMP Date: 7/3/18
 Checked: WGM Scale: AS NOTED Project No.: 17190
 Drawing Name: 17190-PLAN.dwg

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REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

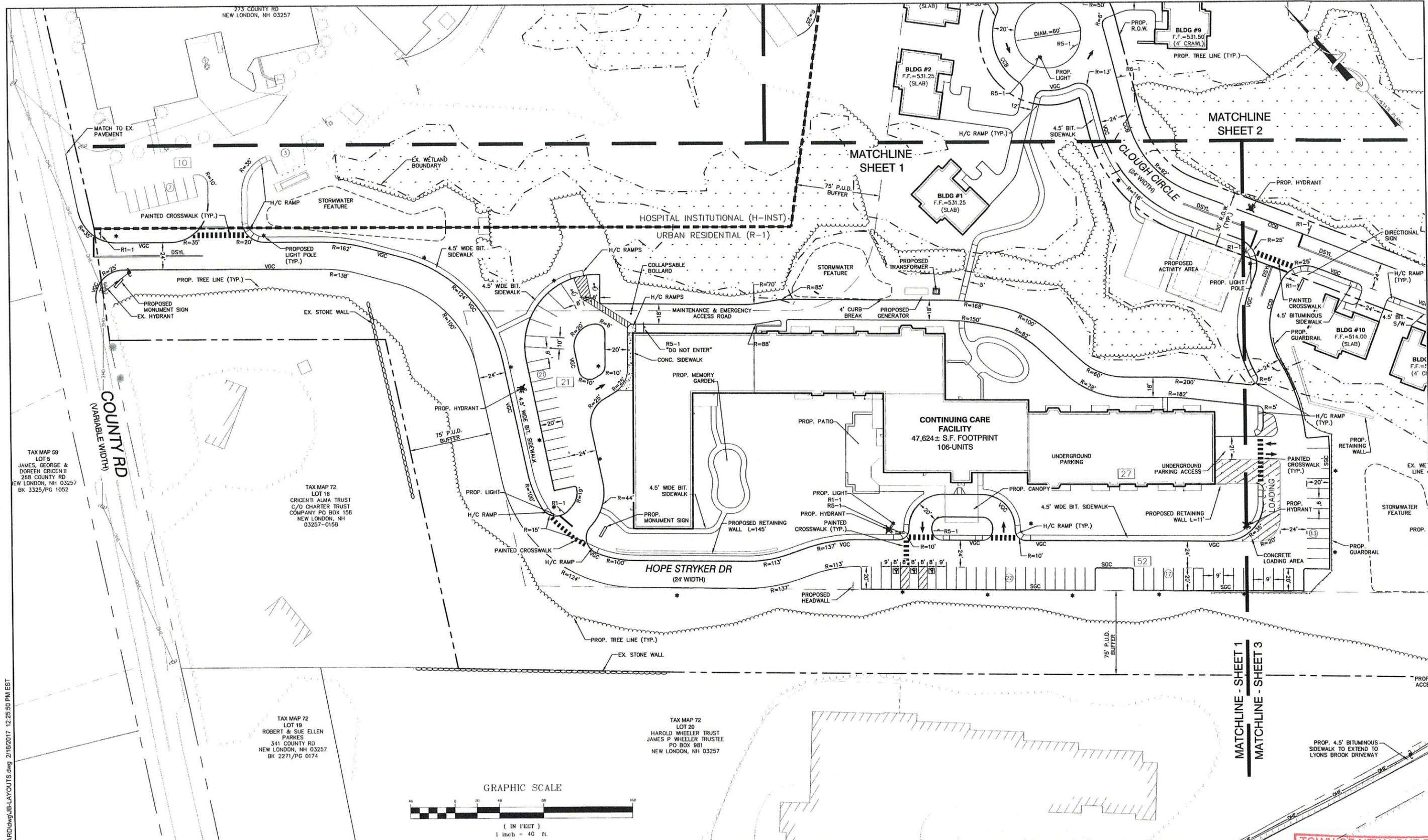
Plan Name: **OVERALL SITE PLAN**

Project: **"NEW LONDON PLACE"
 COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION
 273 COUNTY ROAD, NEW LONDON, NH 03257**



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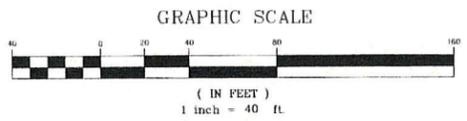


TAX MAP 59
LOT 5
JAMES, GEORGE &
DOREEN CRICENTI
268 COUNTY RD
NEW LONDON, NH 03257
BK 3325/PG 1052

TAX MAP 72
LOT 18
CRICENTI ALMA TRUST
C/O CHARTER TRUST
COMPANY PO BOX 158
NEW LONDON, NH
03257-0158

TAX MAP 72
LOT 19
ROBERT & SUE ELLEN
PARKES
341 COUNTY RD
NEW LONDON, NH 03257
BK 2271/PG 0174

TAX MAP 72
LOT 20
HAROLD WHEELER TRUST
JAMES P WHEELER TRUSTEE
PO BOX 981
NEW LONDON, NH 03257



Design: BWG Draft: EMP Date: 7/3/18
Checked: WGM Scale: AS NOTED Project No.: 17190
Drawing Name: 17190-PLAN.dwg
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REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**

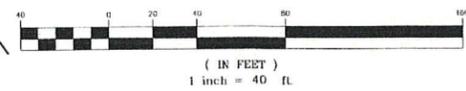
Project: **"NEW LONDON PLACE"**
COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH

Owner of Record: NEW LONDON HOSPITAL ASSOCIATION
273 COUNTY ROAD, NEW LONDON, NH 03257

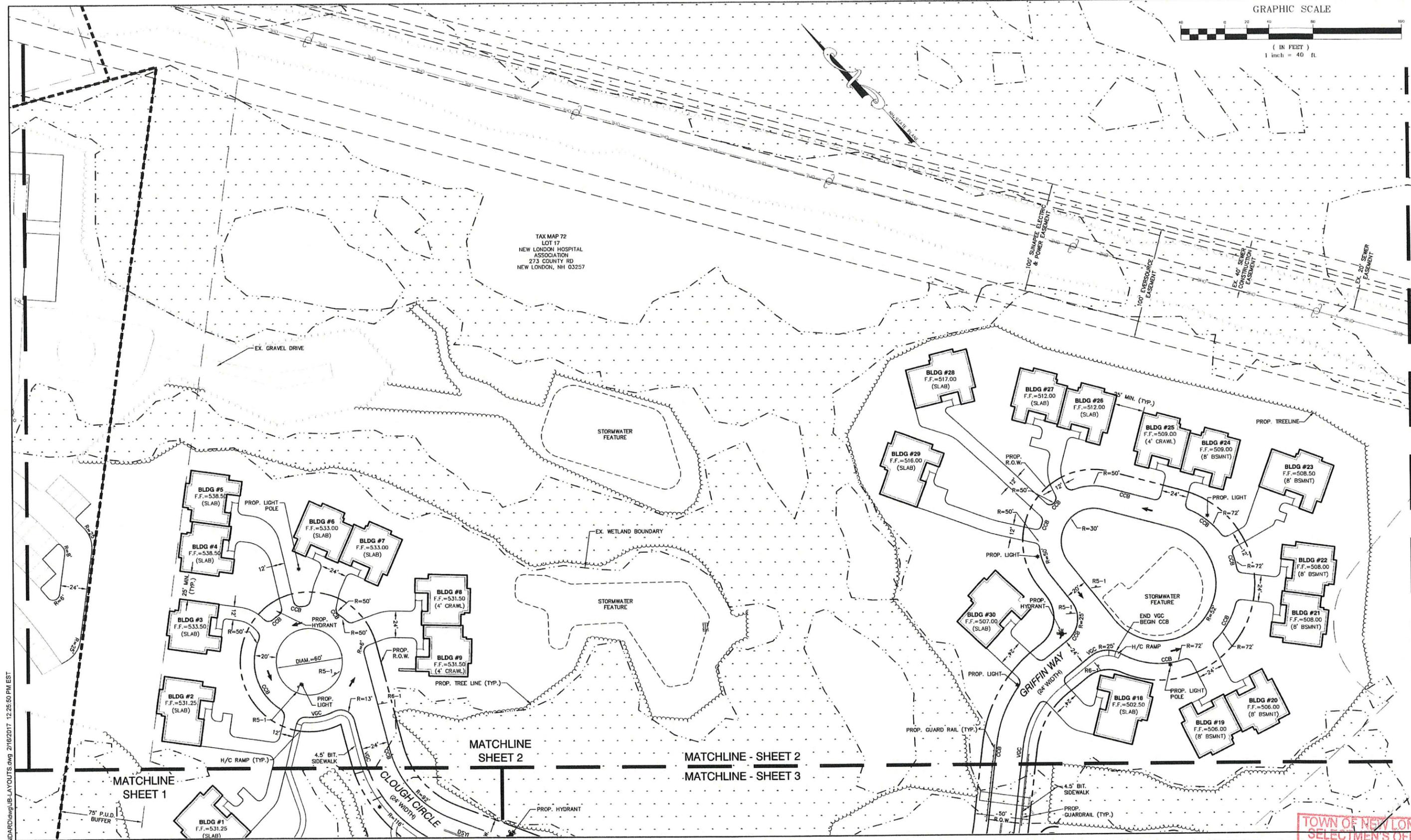
TOWN OF NEW LONDON
SELECTIONS OFFICE
DRAWING NO. **C2-1**
SHEET 8 OF 49
JBE PROJECT NO. 17190
RECEIVED

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GRAPHIC SCALE



TAX MAP 72
LOT 17
NEW LONDON HOSPITAL
ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257



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Checked: WGM Scale: AS NOTED Project No.: 17190
Drawing Name: 17190-PLAN.dwg

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3	1/22/2019	REVISED PER AOT COMMENTS	EMP
		REVISION	BY

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J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

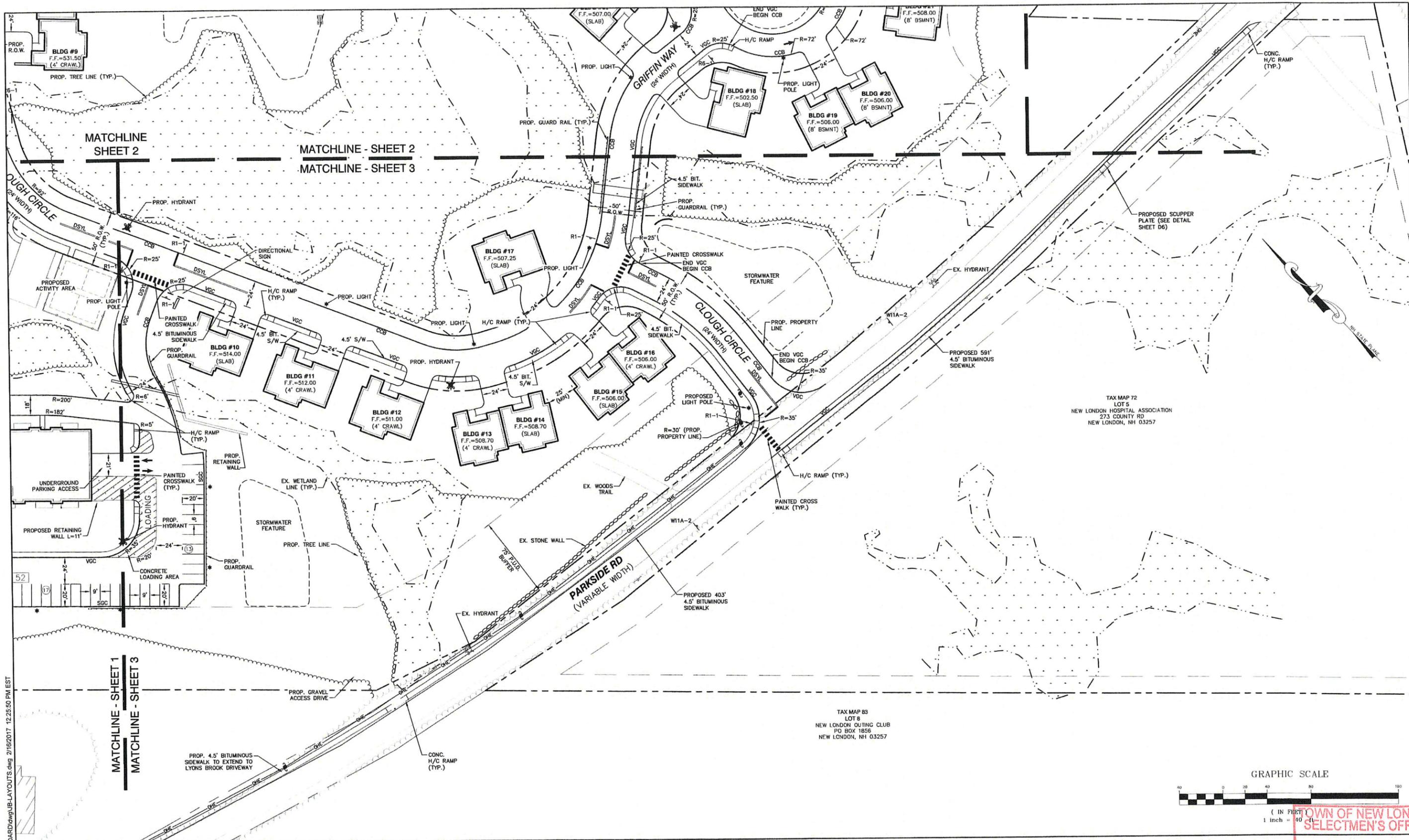
TOWN OF NEW LONDON
SELECTIONS OFFICE

DRAWING No. **C2-2**

APR 23 2019

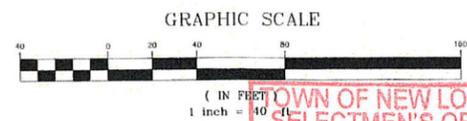
SHEET 9 OF 49
JBE PROJECT NO. 17190

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TAX MAP 72
 LOT 5
 NEW LONDON HOSPITAL ASSOCIATION
 273 COUNTY RD
 NEW LONDON, NH 03257

TAX MAP 83
 LOT 8
 NEW LONDON OUTING CLUB
 PO BOX 1856
 NEW LONDON, NH 03257



OWN OF NEW LONDON
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3	1/22/2019	REVISED PER AOT COMMENTS	EMP

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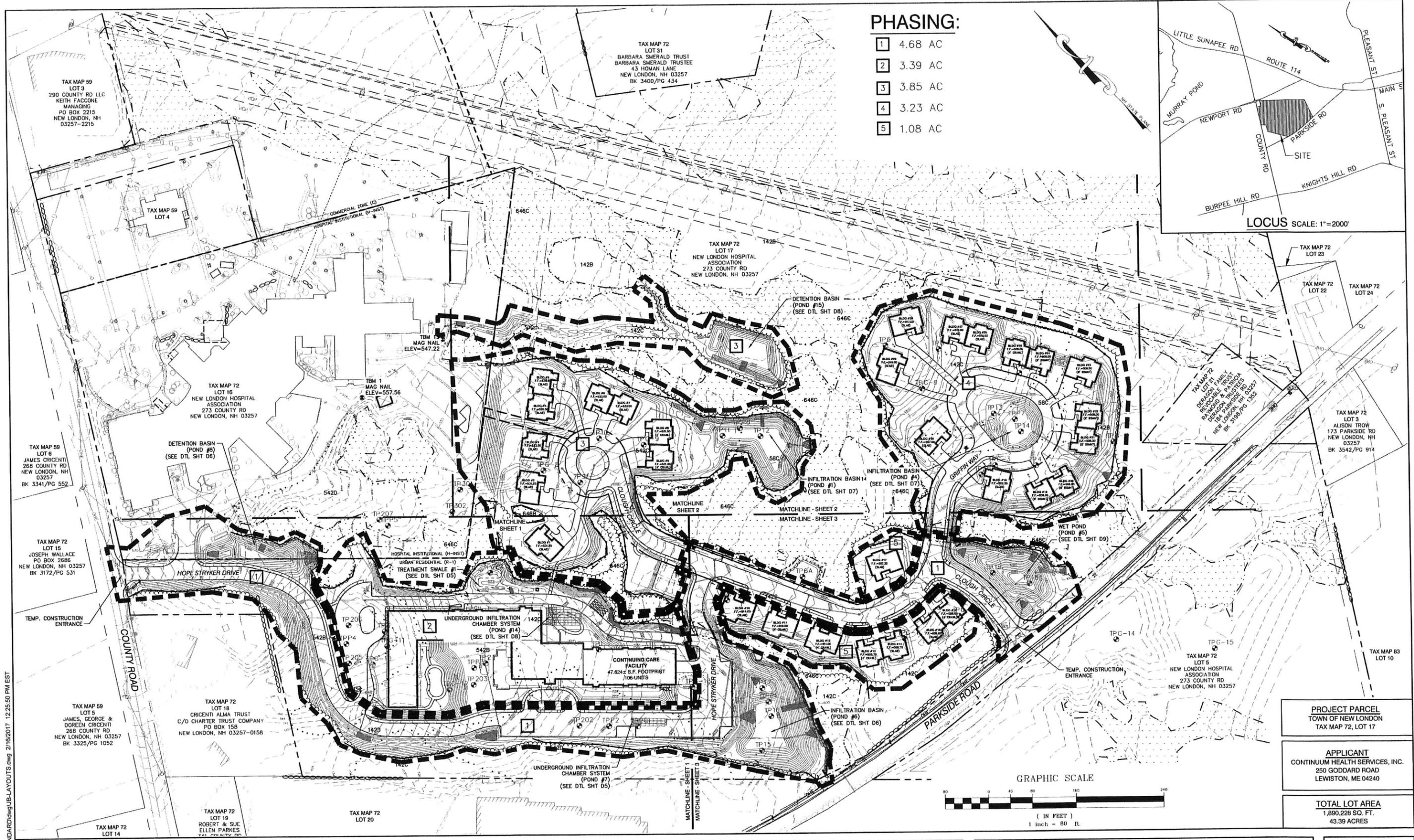
J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

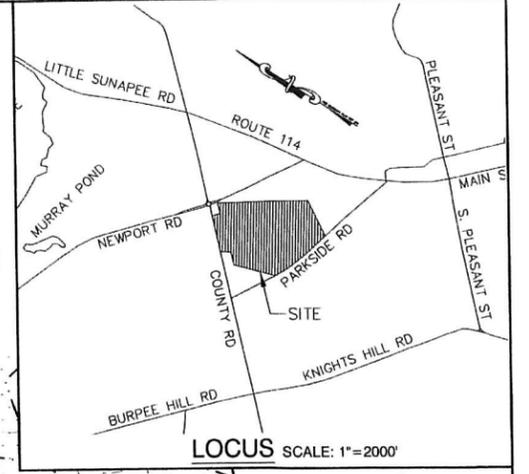
DRAWING No. **APR 23 2019**
C2-3
 SHEET 10 OF 19
 JBE-PROJECT NO. 17190

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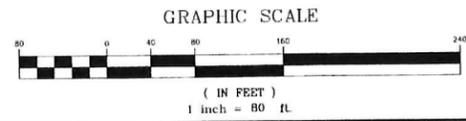
- 1 4.68 AC
- 2 3.39 AC
- 3 3.85 AC
- 4 3.23 AC
- 5 1.08 AC



PROJECT PARCEL
TOWN OF NEW LONDON
TAX MAP 72, LOT 17

APPLICANT
CONTINUUM HEALTH SERVICES, INC.
250 GODDARD ROAD
LEWISTON, ME 04240

TOTAL LOT AREA
1,890,228 SQ. FT.
43.39 ACRES



Design: BWG	Draft: EMP	Date: 7/3/18
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Drawing Name: 17190-PLAN.dwg		
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3	1/22/2019	REVISED PER AOT COMMENTS	EMP
REV.	DATE	REVISION	BY

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J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

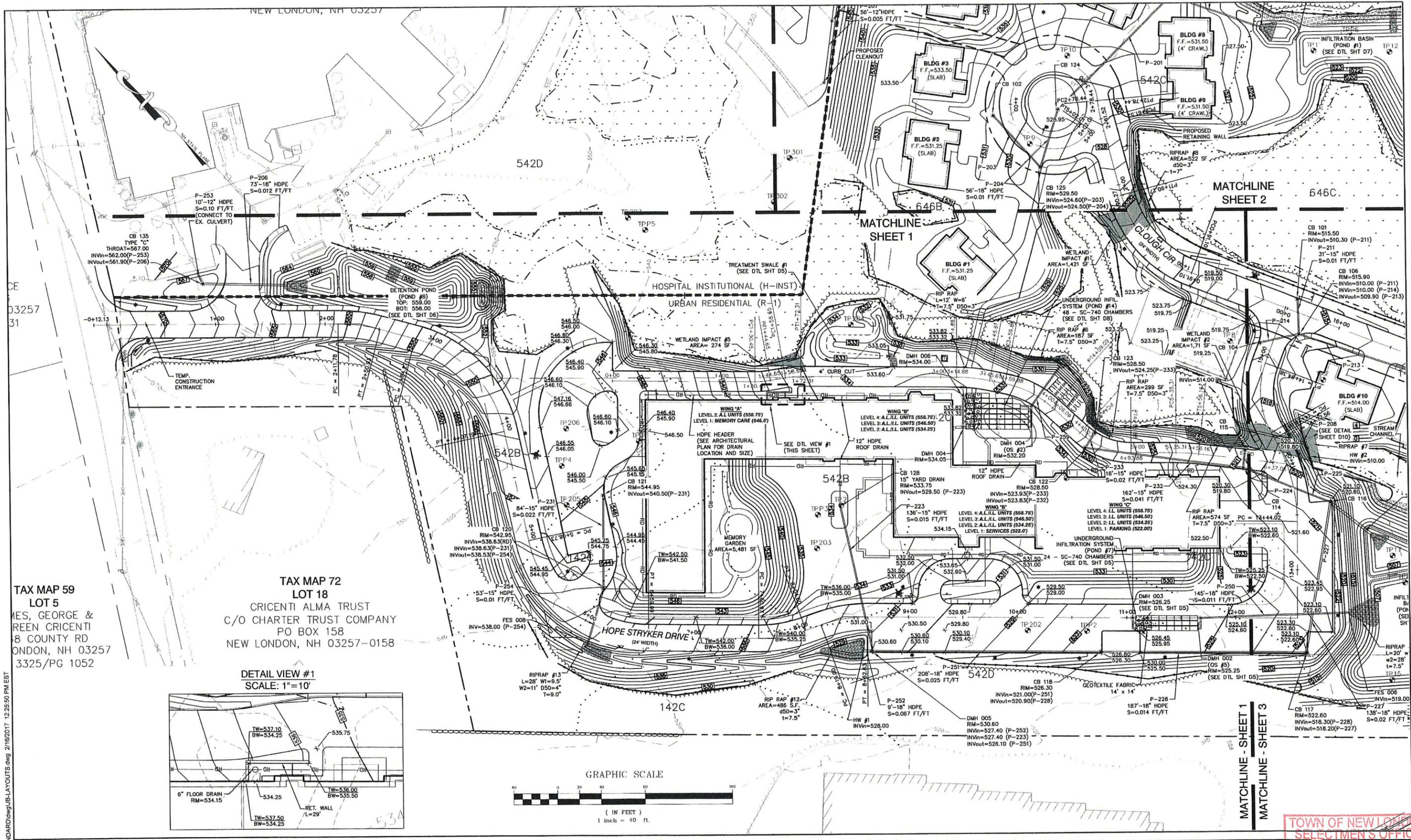
Plan Name:	OVERALL GRADING & DRAINAGE PLAN
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.

C3

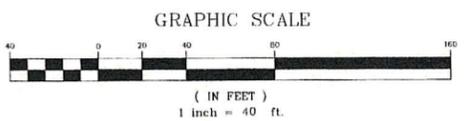
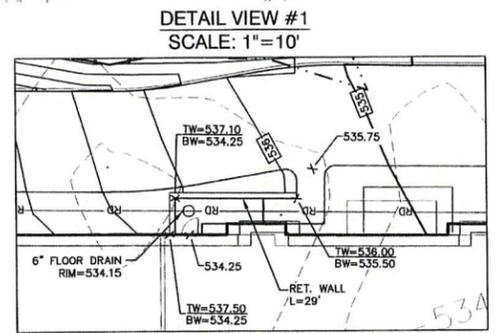
SHEET 11 OF 49
JBE PROJECT NO. 17190

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TAX MAP 59
LOT 5
IES, GEORGE &
REEN CRICENTI
8 COUNTY RD
NDON, NH 03257
3325/PG 1052

TAX MAP 72
LOT 18
CRICENTI ALMA TRUST
C/O CHARTER TRUST COMPANY
PO BOX 158
NEW LONDON, NH 03257-0158



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3	1/22/2019	REVISED PER AOT COMMENTS	EMP

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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

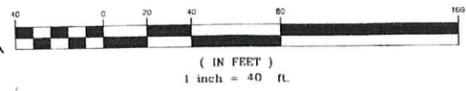
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GRADING & DRAINAGE PLAN
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

TOWN OF NEW LONDON
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DRAWING No.
APR 23 2019
C3-1
SHEET 12 OF 49
JBE PROJECT NO. 17190

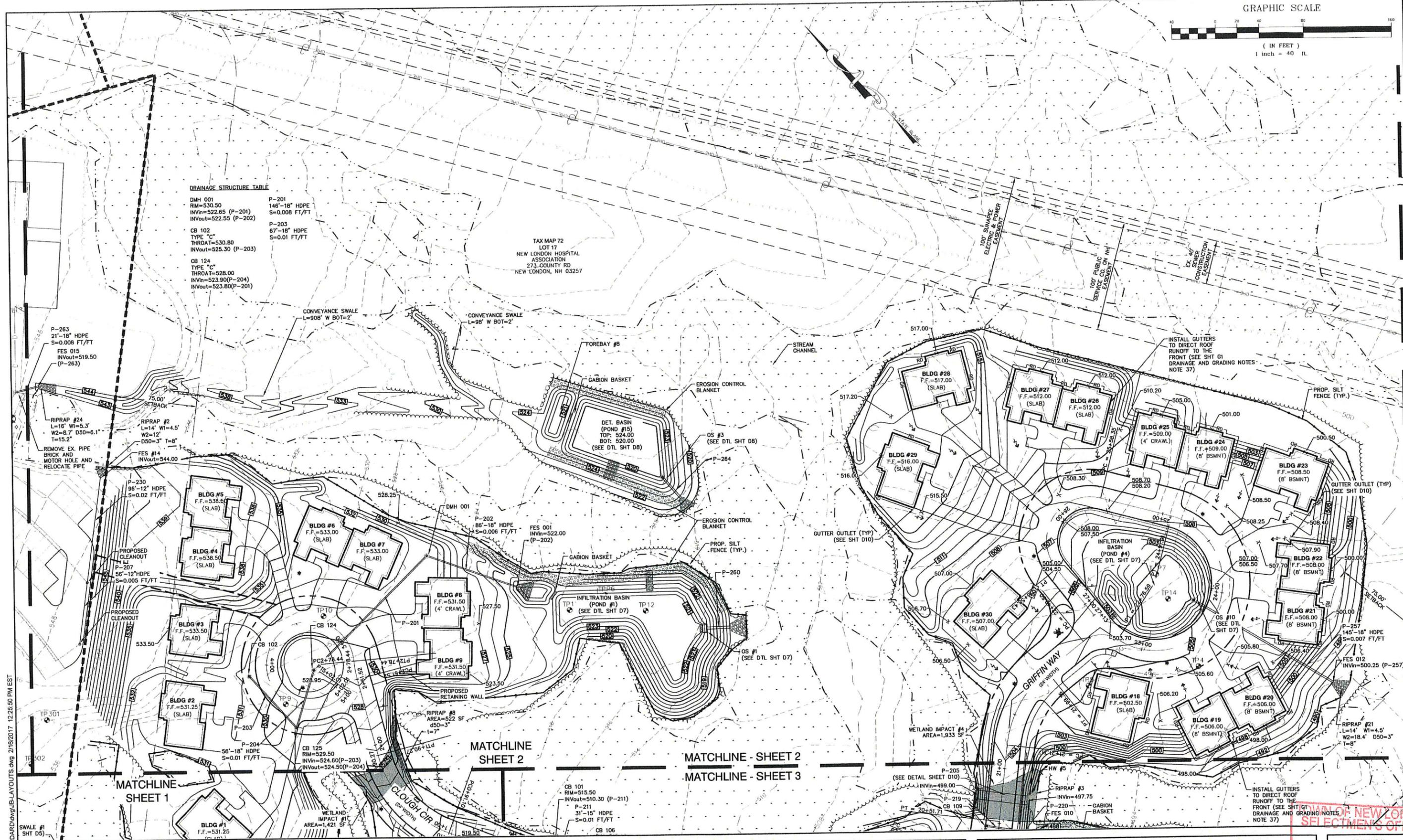
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DRAINAGE STRUCTURE TABLE

DMH 001 RIM=530.50 INVIn=522.65 (P-201) INVout=522.55 (P-202)	P-201 146'-18" HDPE S=0.008 FT/FT
CB 102 TYPE "C" THROAT=530.80 INVout=525.30 (P-203)	P-203 67'-18" HDPE S=0.01 FT/FT
CB 124 TYPE "C" THROAT=528.00 INVIn=523.90(P-204) INVout=523.80(P-201)	

TAX MAP 72
LOT 17
NEW LONDON HOSPITAL
ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257



MATCHLINE SHEET 1

MATCHLINE SHEET 2

MATCHLINE - SHEET 2

MATCHLINE - SHEET 3

Design: BWG Draft: EMP Date: 7/3/18
Checked: WGM Scale: AS NOTED Project No.: 17190
Drawing Name: 17190-PLAN.dwg
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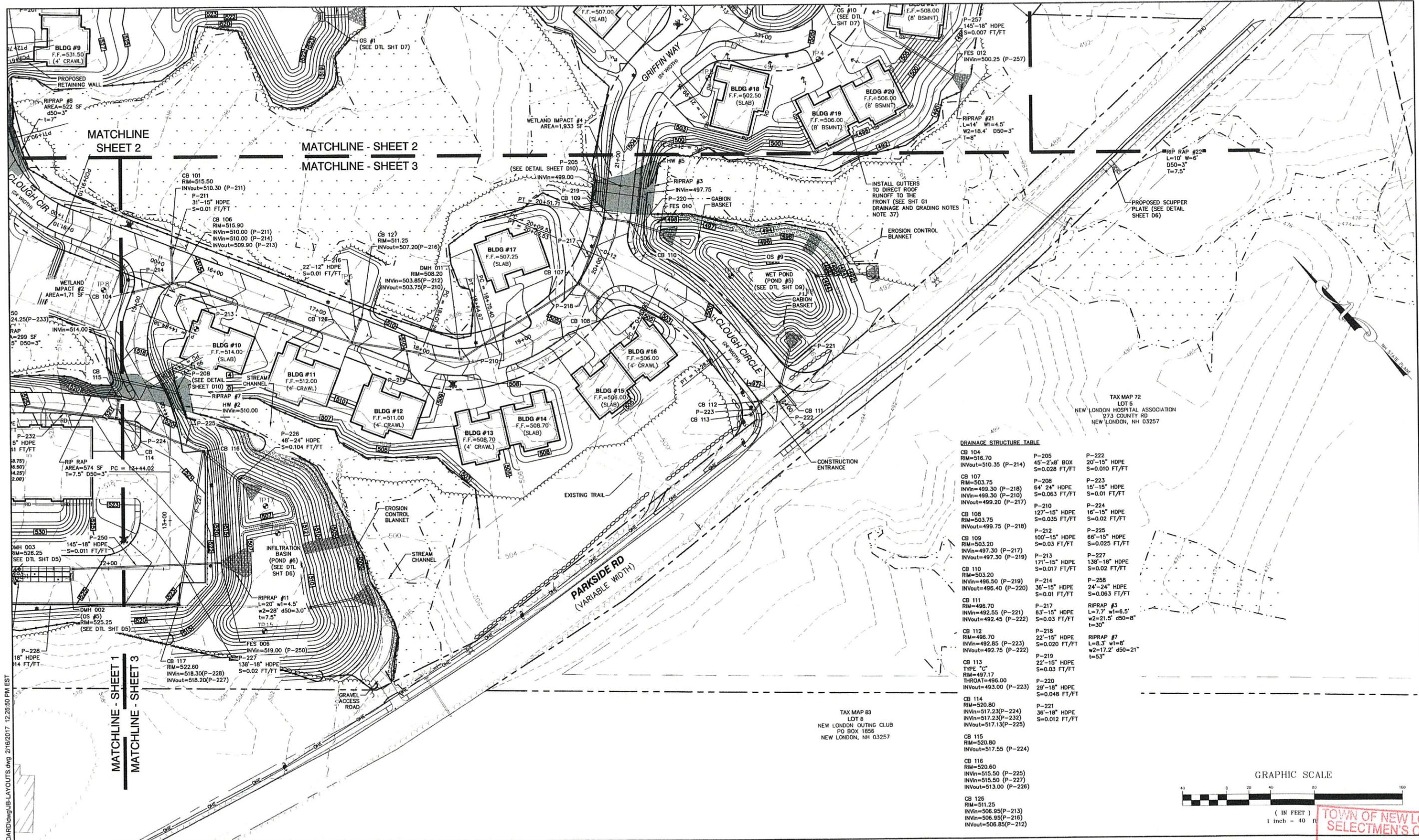
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. Stratham, NH 03385
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING & DRAINAGE PLAN**
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

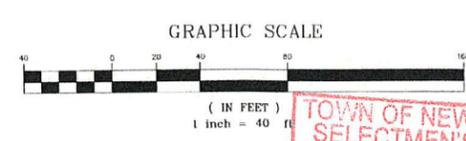
DRAWING No. **C3-2**
APR 23 2019
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SHEET 13 OF 49
JBE PROJECT NO. 17190

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DRAINAGE STRUCTURE TABLE

CB 104 RIM=516.70 IN/OUT=510.35 (P-214)	P-205 45'-2"x8" BOX S=0.028 FT/FT	P-222 20'-15" HDPE S=0.010 FT/FT
CB 107 RIM=503.75 IN/OUT=499.30 (P-218)	P-208 64" 24" HDPE S=0.063 FT/FT	P-223 15'-15" HDPE S=0.01 FT/FT
CB 108 RIM=503.75 IN/OUT=499.75 (P-218)	P-210 127'-15" HDPE S=0.035 FT/FT	P-224 16'-15" HDPE S=0.02 FT/FT
CB 109 RIM=503.20 IN/OUT=497.30 (P-217)	P-212 100'-15" HDPE S=0.03 FT/FT	P-225 88'-15" HDPE S=0.025 FT/FT
CB 110 RIM=503.20 IN/OUT=496.50 (P-219)	P-213 171'-15" HDPE S=0.017 FT/FT	P-227 138'-18" HDPE S=0.02 FT/FT
CB 111 RIM=496.70 IN/OUT=492.55 (P-221)	P-214 36'-15" HDPE S=0.01 FT/FT	P-228 24'-24" HDPE S=0.063 FT/FT
CB 112 RIM=496.70 IN/OUT=492.85 (P-223)	P-217 63'-15" HDPE S=0.03 FT/FT	RIPRAP #3 L=7.7' w1=6.5' w2=21.5' d50=8' t=30"
CB 113 RIM=497.17 THROAT=496.00 IN/OUT=493.00 (P-223)	P-218 22'-15" HDPE S=0.020 FT/FT	RIPRAP #7 L=8.3' w1=8' w2=17.2' d50=21' t=30"
CB 114 RIM=520.80 IN/OUT=517.23 (P-224)	P-219 22'-15" HDPE S=0.03 FT/FT	
CB 115 RIM=520.80 IN/OUT=517.55 (P-224)	P-220 29'-18" HDPE S=0.048 FT/FT	
CB 116 RIM=520.60 IN/OUT=515.50 (P-225)	P-221 38'-18" HDPE S=0.012 FT/FT	
CB 125 RIM=511.25 IN/OUT=506.85 (P-213)		



Design: BWG Draft: EMP Date: 7/3/18
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 Drawing Name: 17190-PLAN.dwg

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REV.	DATE	REVISION	BY

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85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING & DRAINAGE PLAN**

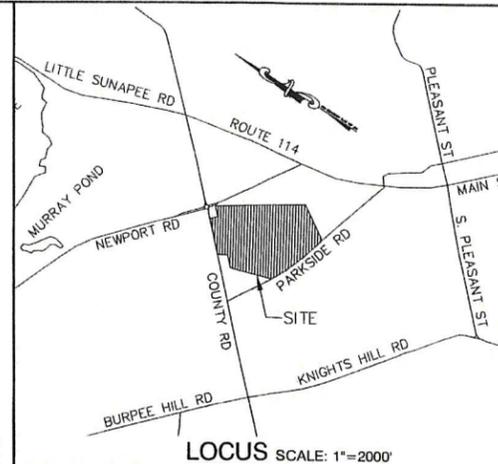
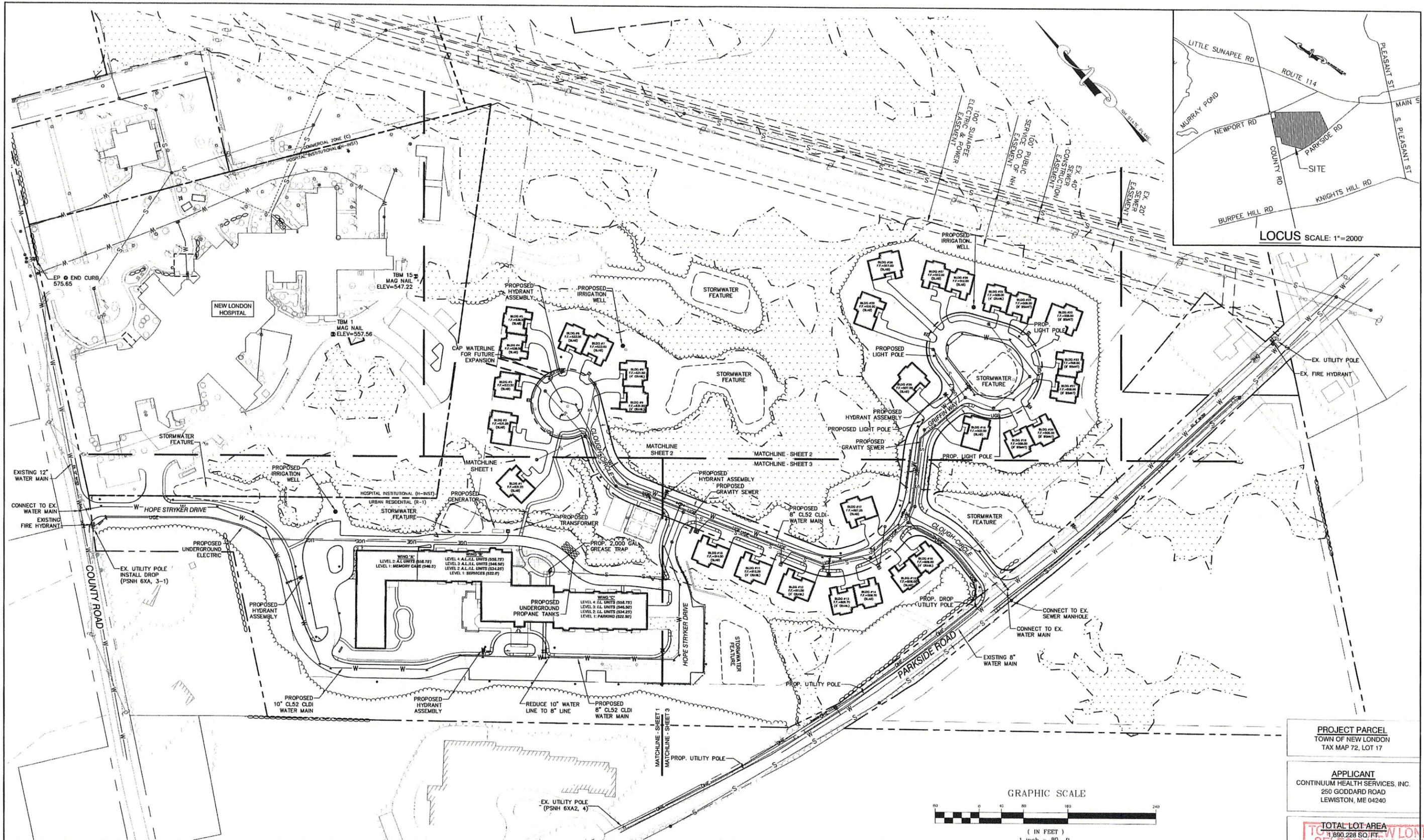
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

TOWN OF NEW LONDON
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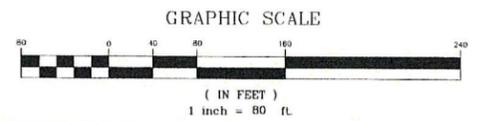
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C3-3
 SHEET 14 OF 49
 JBE PROJECT NO. 17190

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PROJECT PARCEL
TOWN OF NEW LONDON
TAX MAP 72, LOT 17

APPLICANT
CONTINUUM HEALTH SERVICES, INC.
250 GODDARD ROAD
LEWISTON, ME 04240



TOTAL LOT AREA
1,890,228 SQ. FT.
43.39 ACRES

NEW LONDON
SEALING OFFICE

DRAWING No.
APR 23 2019
C4
RECEIVED
SHEET 15 OF 49
JBE PROJECT NO. 17190

Design: BWG Draft: EMP Date: 7/3/18
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3	1/22/2019	REVISED PER AOT COMMENTS	EMP

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J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

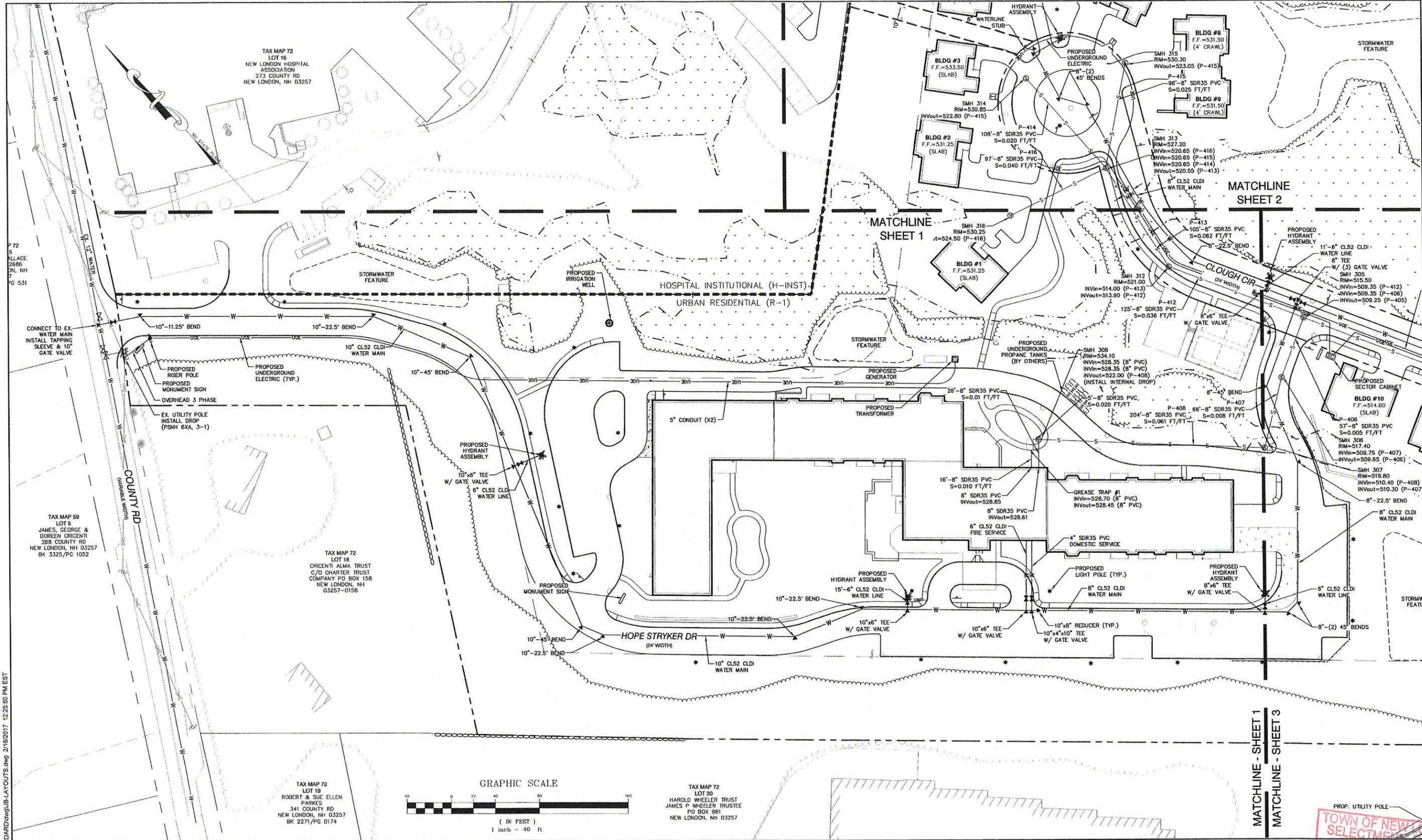
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERALL UTILITY PLAN**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

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3	1/22/2019	REVISED PER AOT COMMENTS	EMP

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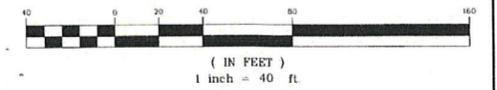
J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. Stratham, NH 03885
 Civil Engineering Services
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

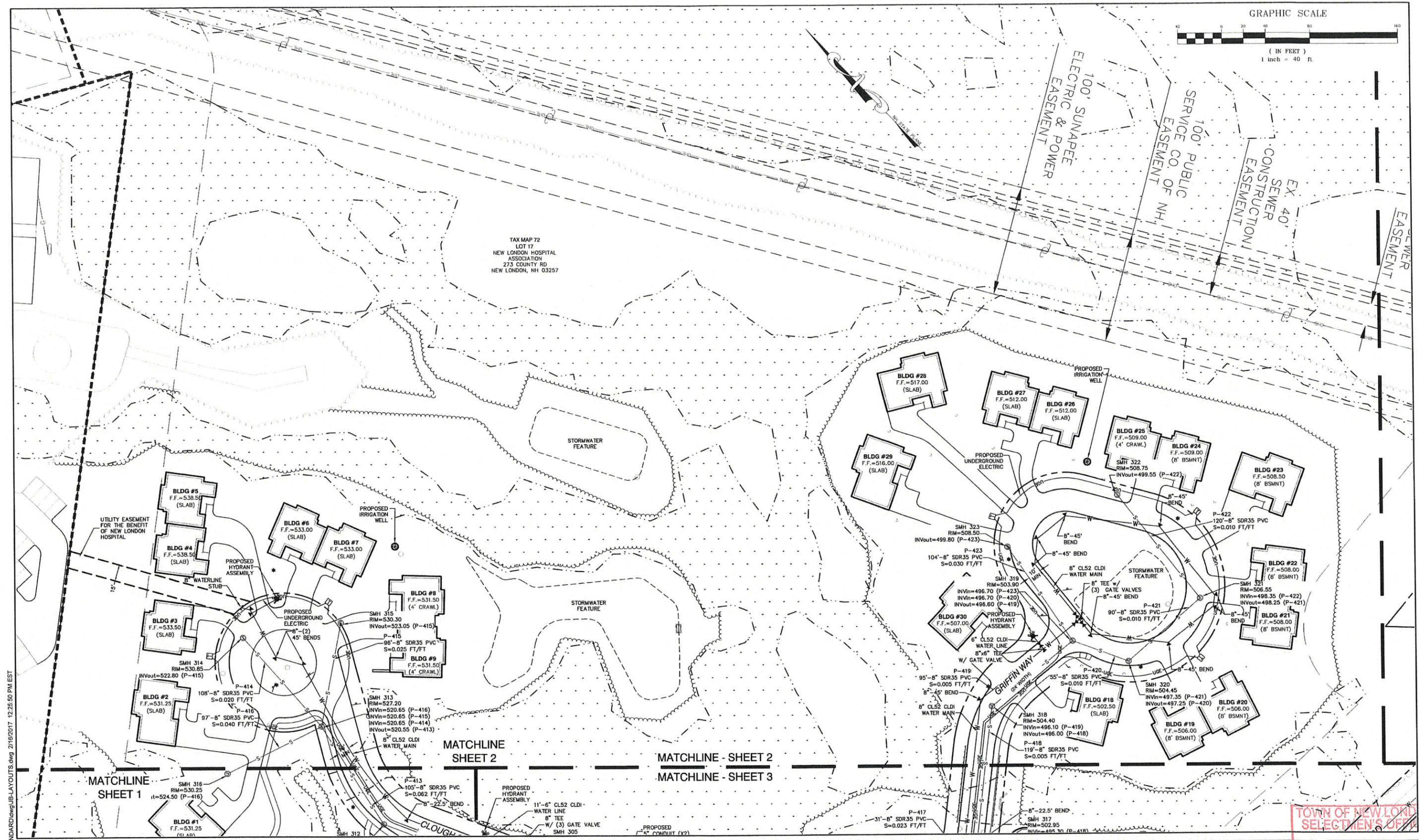
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C4-1
 SHEET 16 OF 45
 JBE PROJECT NO. 17190

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GRAPHIC SCALE



TAX MAP 72
LOT 17
NEW LONDON HOSPITAL
ASSOCIATION
273 COUNTY RD
NEW LONDON, NH 03257



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Drawing Name: 17190-PLAN.dwg
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Civil Engineering Services

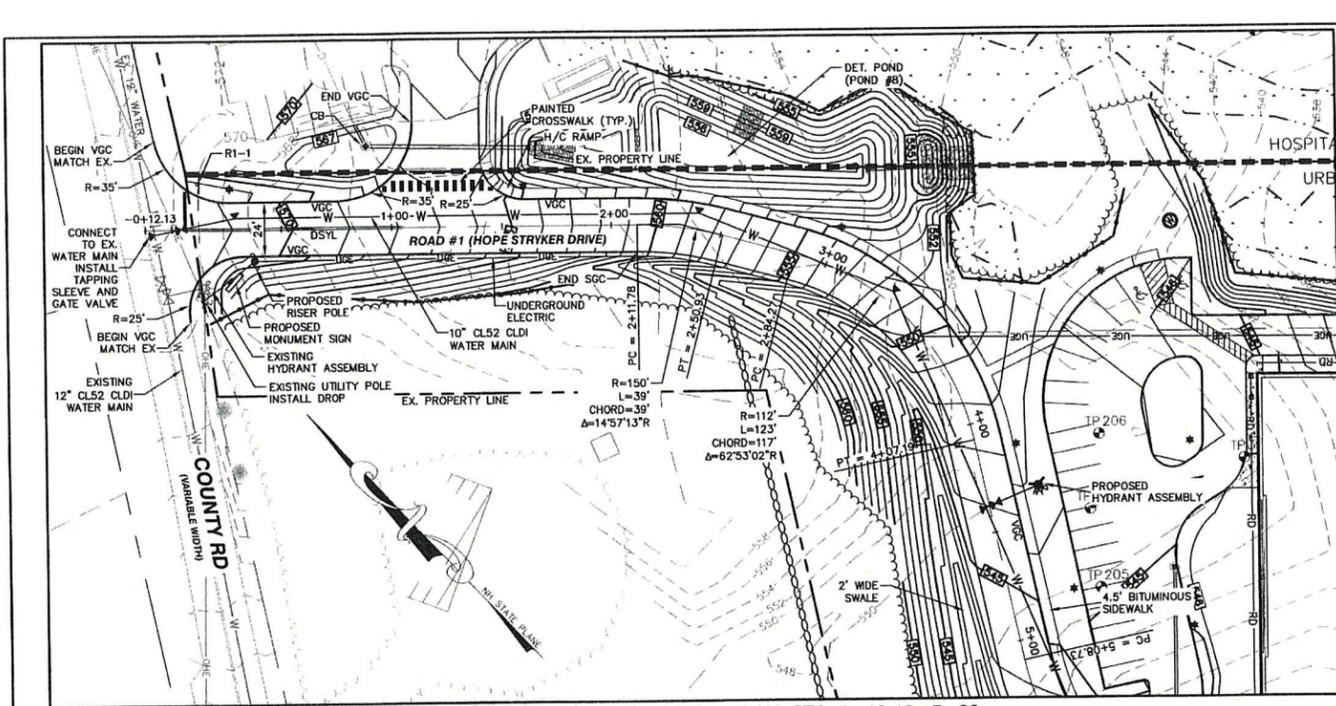
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603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

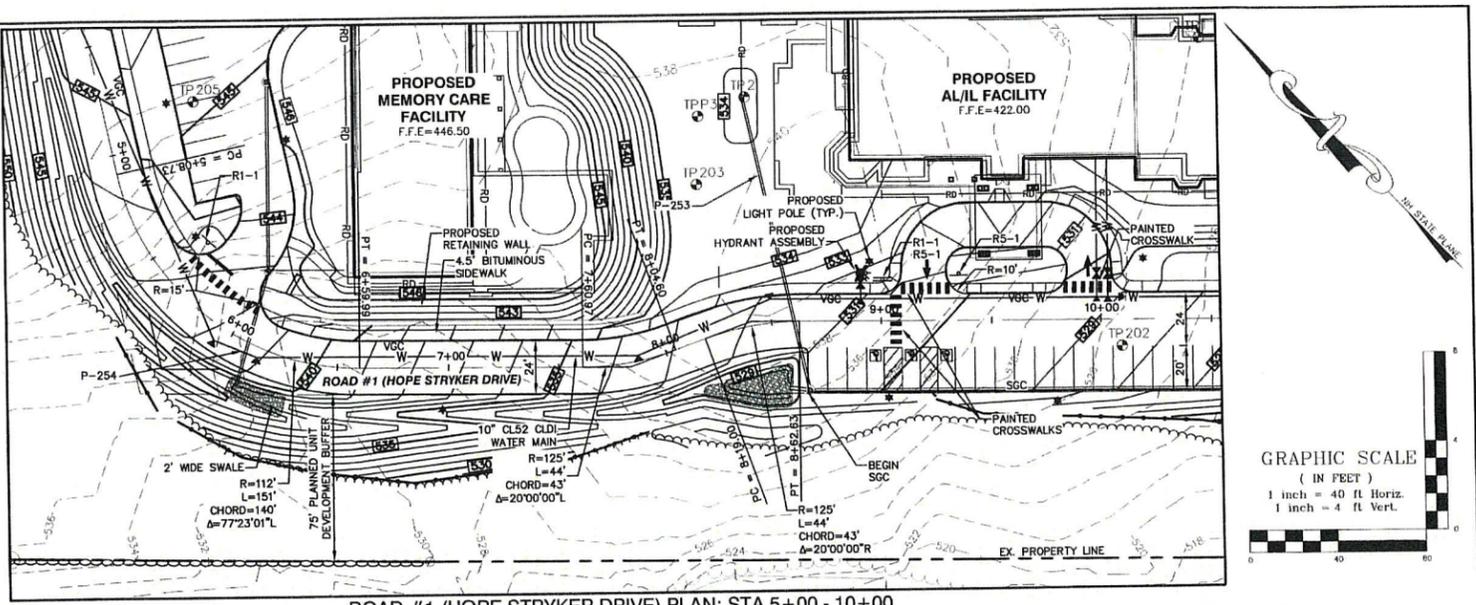
Plan Name:	UTILITY PLAN
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

TOWN OF NEW LONDON
SELECTMEN'S OFFICE

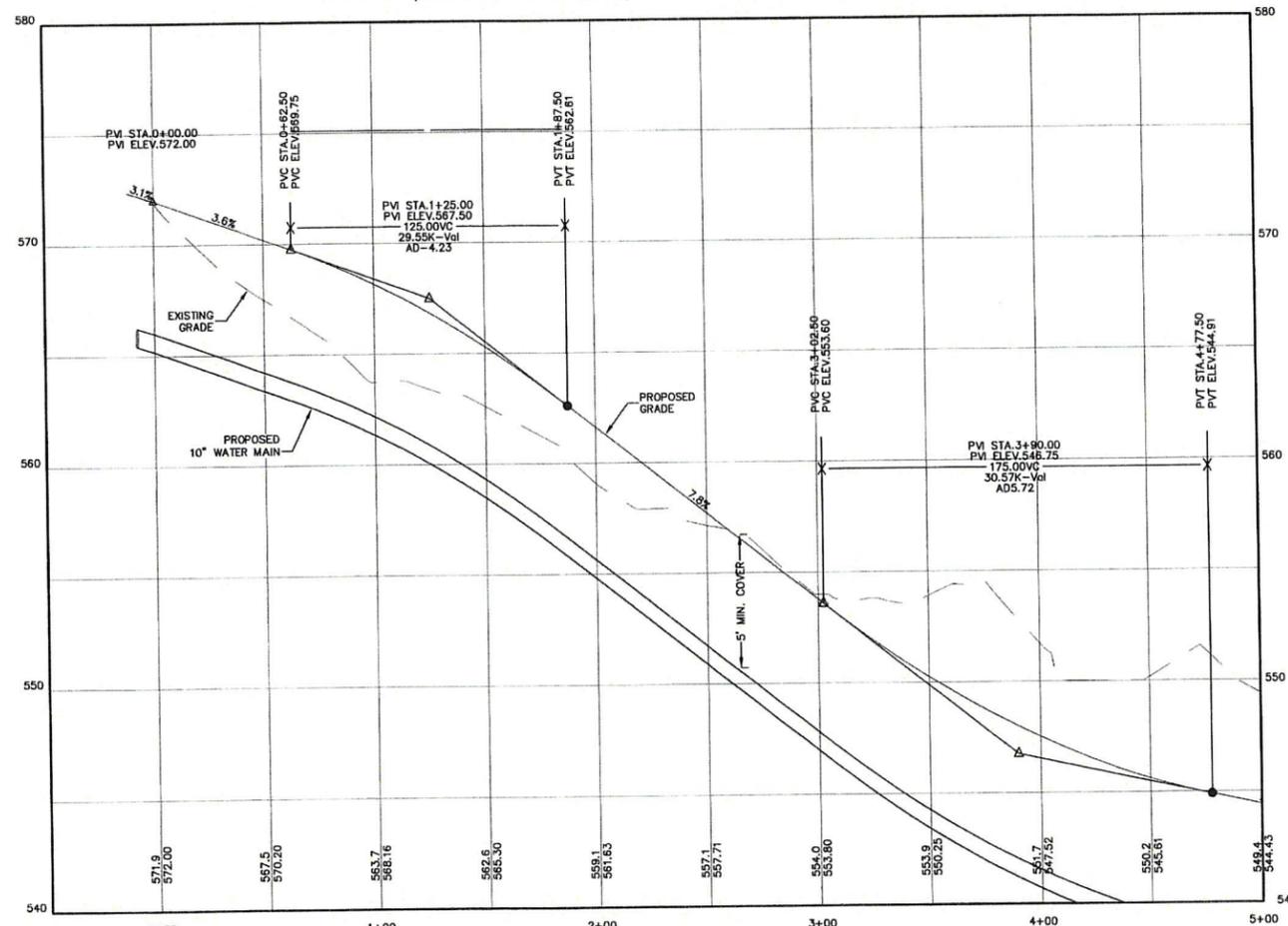
DRAWING No.
APR 23 2019
C4-2
SHEET 17 OF 49
JBE PROJECT NO. 17190



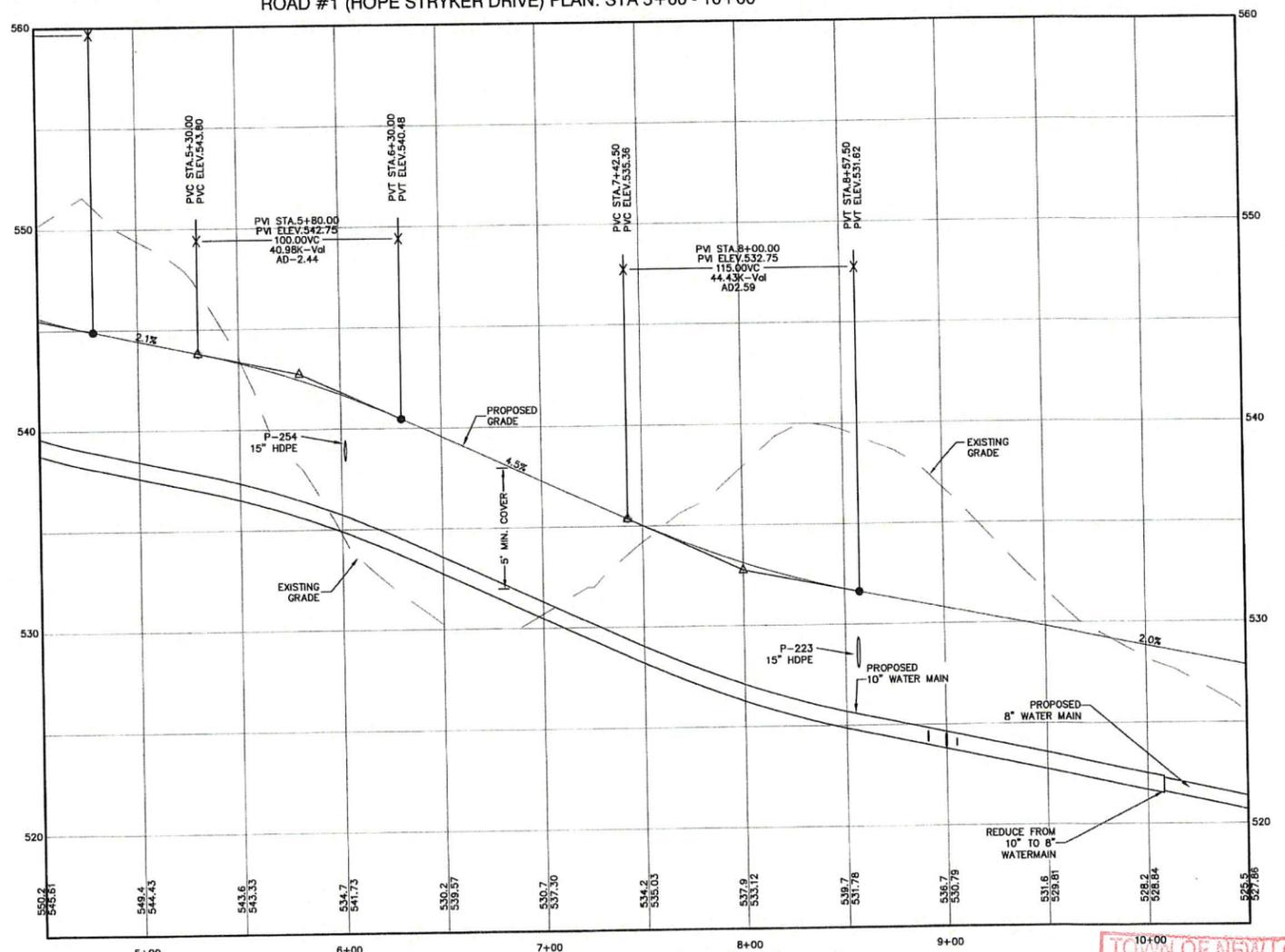
ROAD #1 (HOPE STRYKER DRIVE) PLAN: STA -0+12.13 - 5+00



ROAD #1 (HOPE STRYKER DRIVE) PLAN: STA 5+00 - 10+00



ROAD #1 (HOPE STRYKER DRIVE) PROFILE: STA -0+12.13 - 5+00



ROAD #1 (HOPE STRYKER DRIVE) PROFILE: STA 5+00 - 10+00

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Design: BWG Draft: EMP Date: 7/3/18
 Checked: WGM Scale: AS NOTED Project No.: 17190
 Drawing Name: 17190-PLAN.dwg
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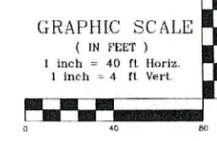
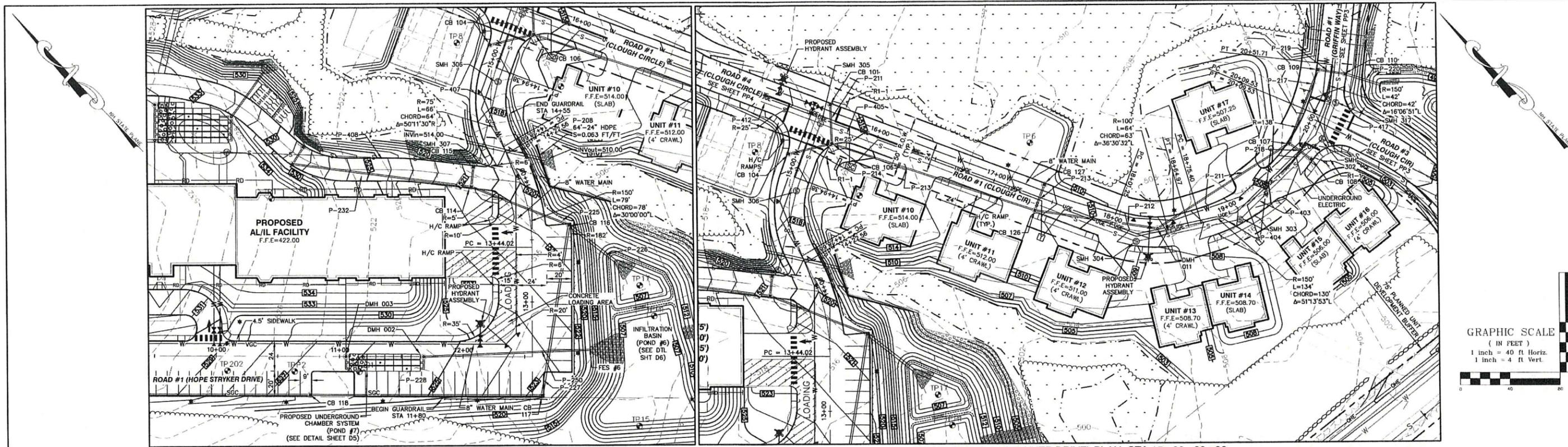
REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

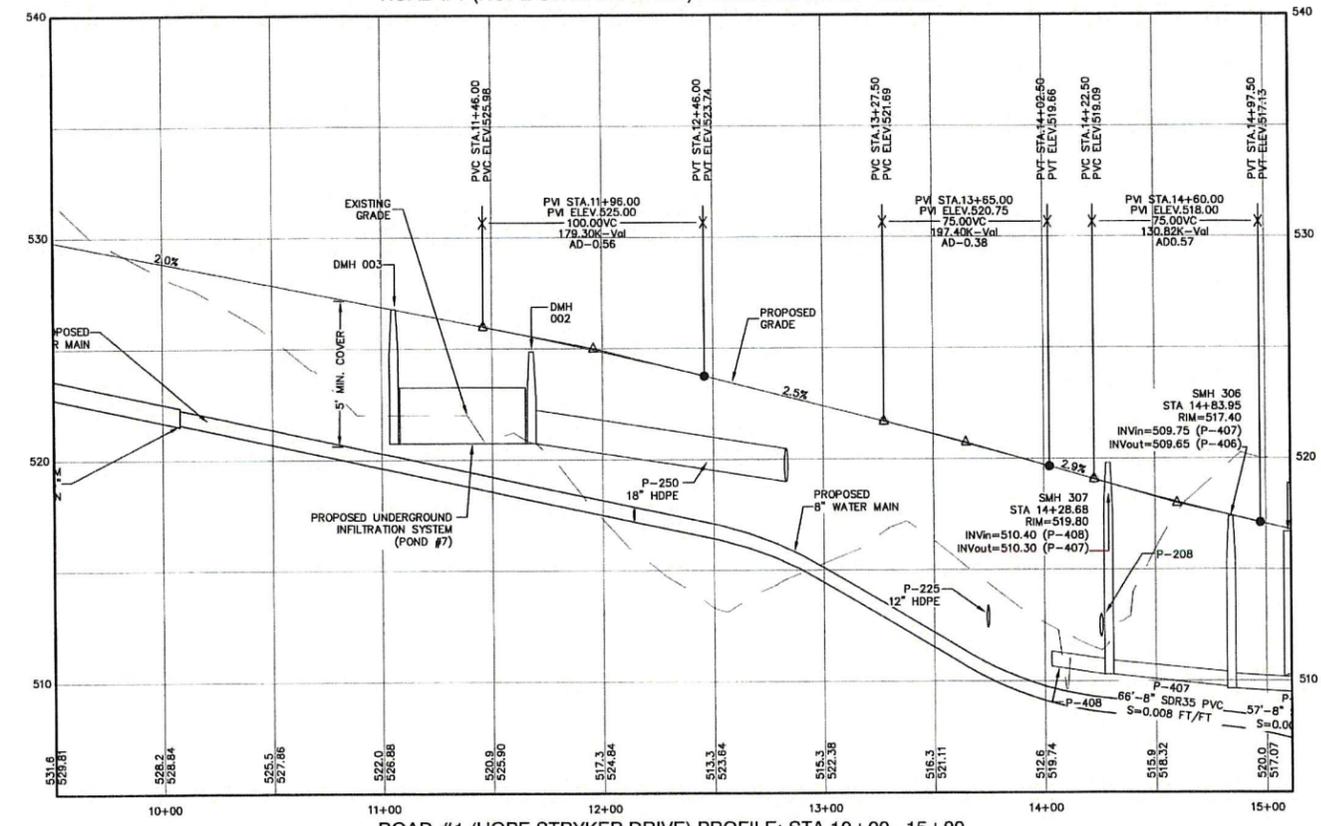
Plan Name:	PLAN AND PROFILE - ROAD #1
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

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 APR 23 2019
PP1
 SHEET 19 OF 49
 JBE PROJECT NO: 17190

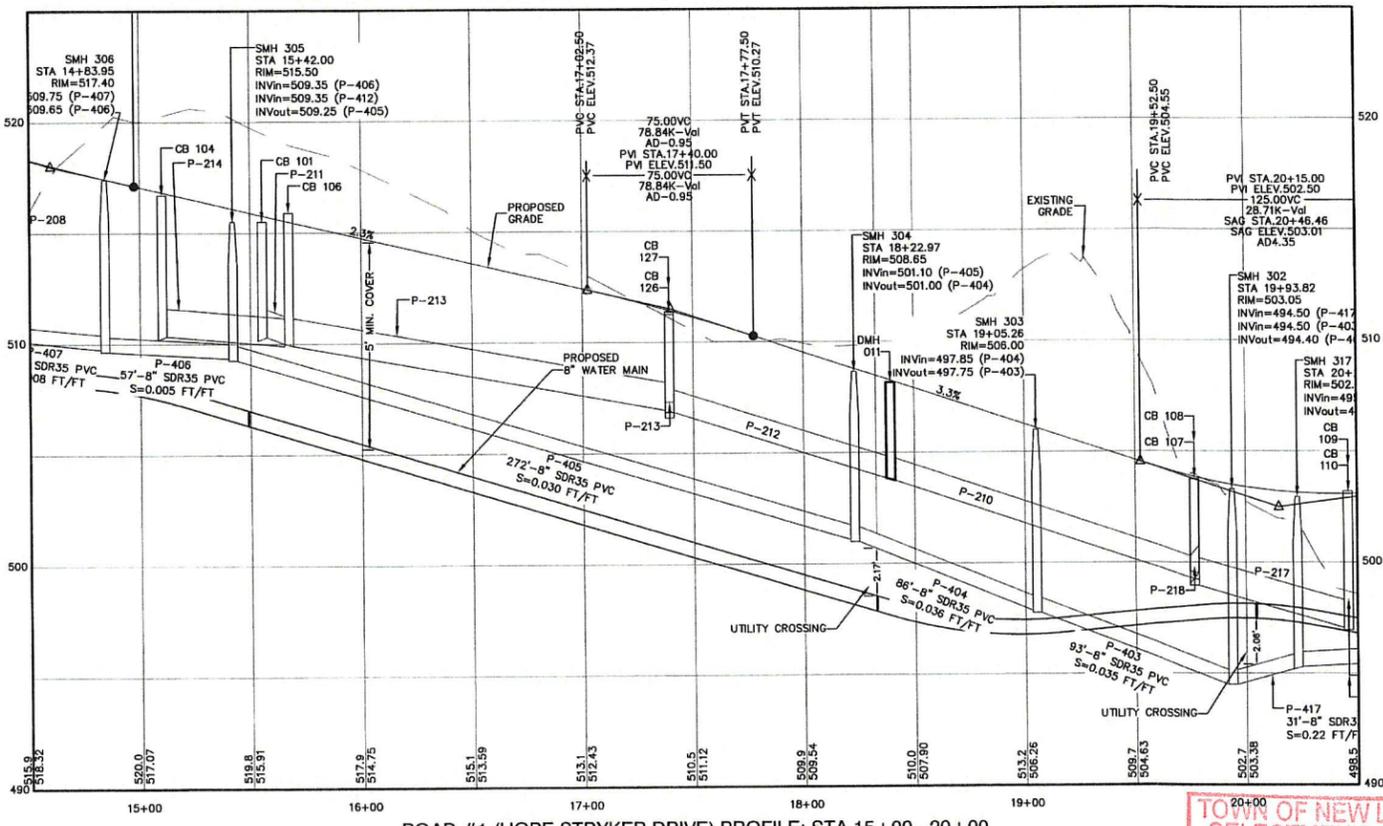


ROAD #1 (HOPE STRYKER DRIVE) PLAN: STA 10+00 - 15+00

ROAD #1 (HOPE STRYKER DRIVE) PLAN: STA 15+00 - 20+00



ROAD #1 (HOPE STRYKER DRIVE) PROFILE: STA 10+00 - 15+00



ROAD #1 (HOPE STRYKER DRIVE) PROFILE: STA 15+00 - 20+00

Design: BWG Draft: EMP Date: 7/3/18
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4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP

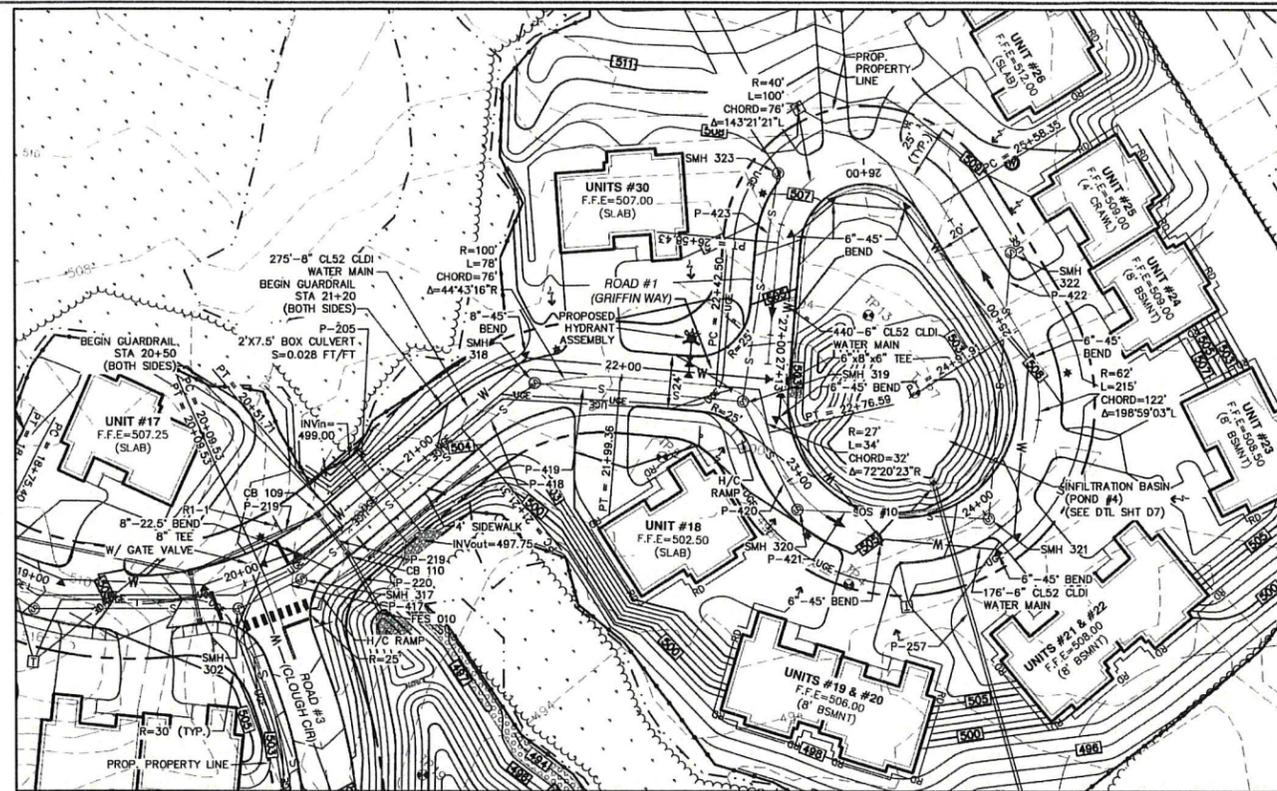
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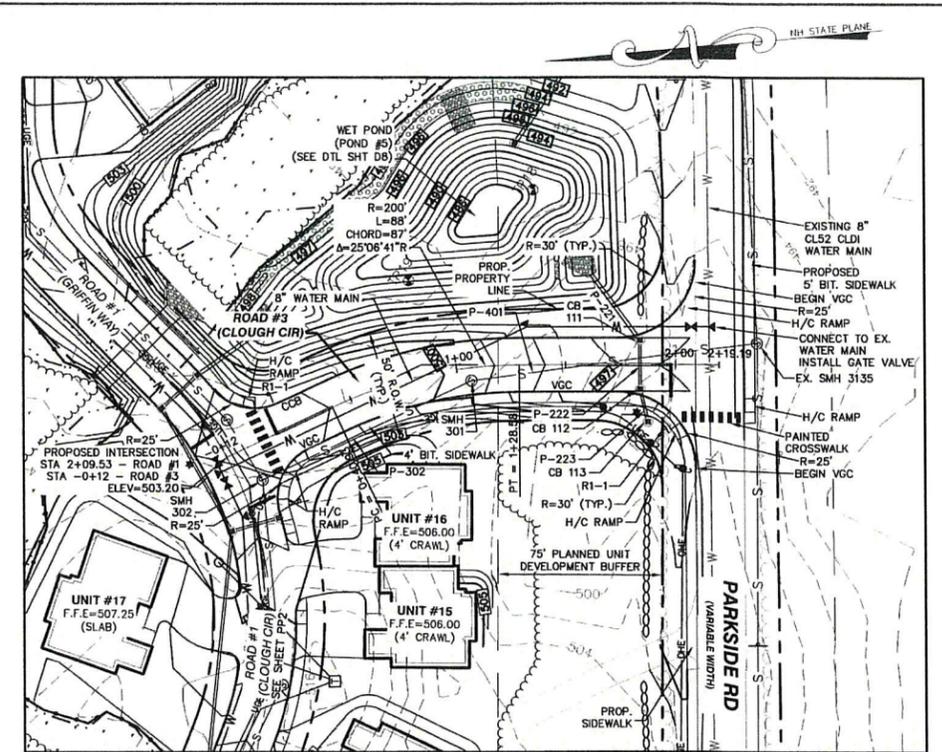
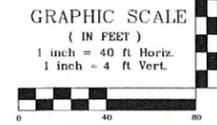
Plan Name: **PLAN AND PROFILE - ROAD #1**
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

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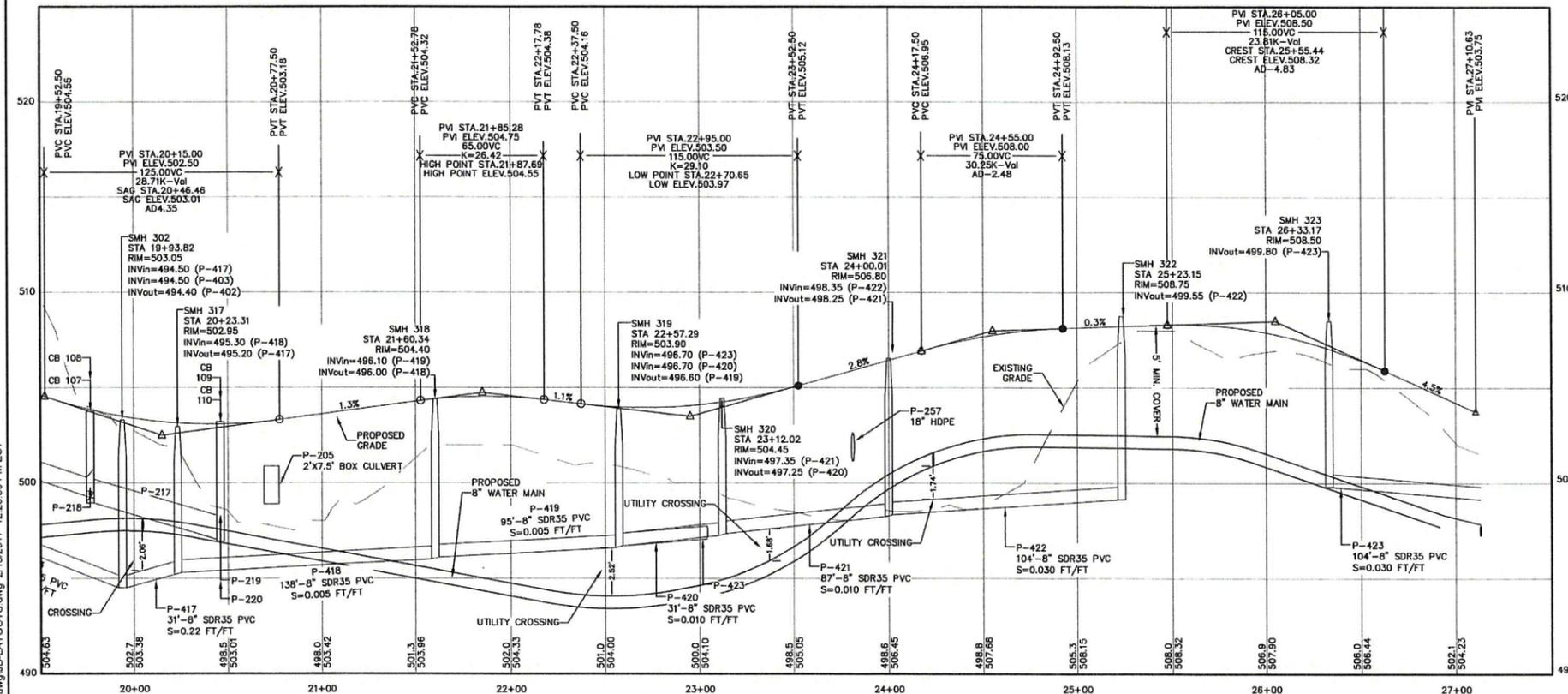
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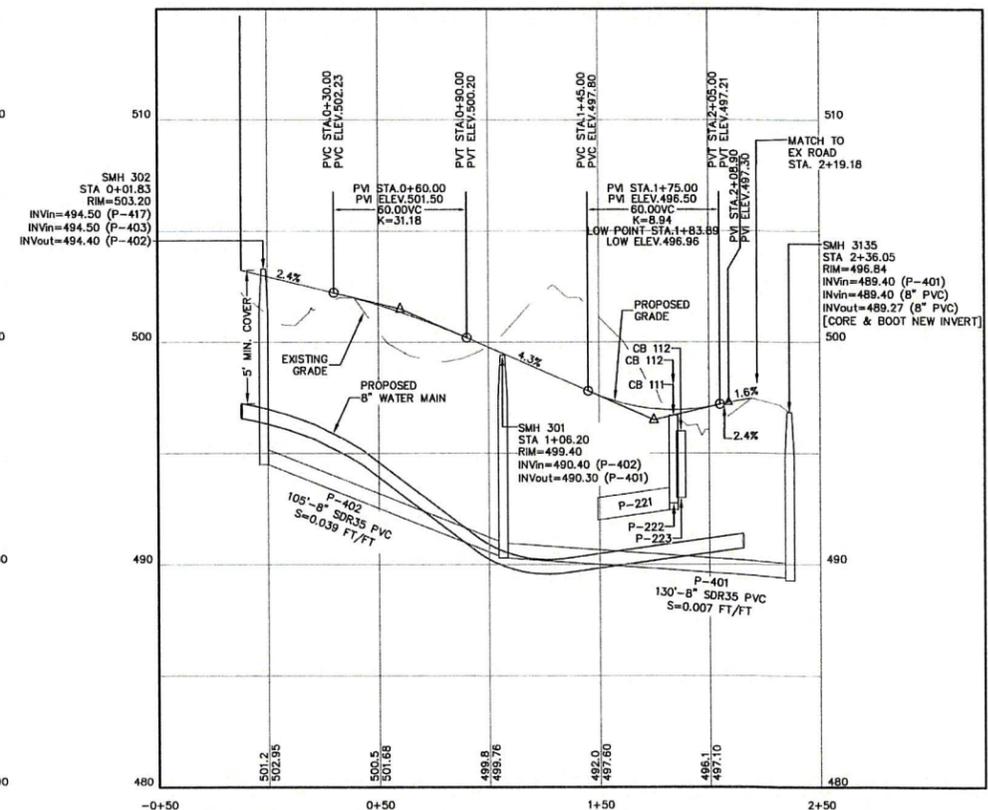
ROAD #1 (GRIFFIN WAY) PLAN: STA 20+00 - 27+13



ROAD #3 (HOPE STRYKER DRIVE) PLAN: STA -0+12 - 2+19.19



ROAD #1 (GRIFFIN WAY) PROFILE: STA 20+00 - 27+13



ROAD #3 (HOPE STRYKER DRIVE) PROFILE: STA -0+12 - 2+19.19

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Drawing Name: 17190-PLAN.dwg		
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3	1/22/2019	REVISED PER AOT COMMENTS	EMP
		REVISION	BY

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J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	PLAN & PROFILE - ROAD #1 & ROAD #3
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

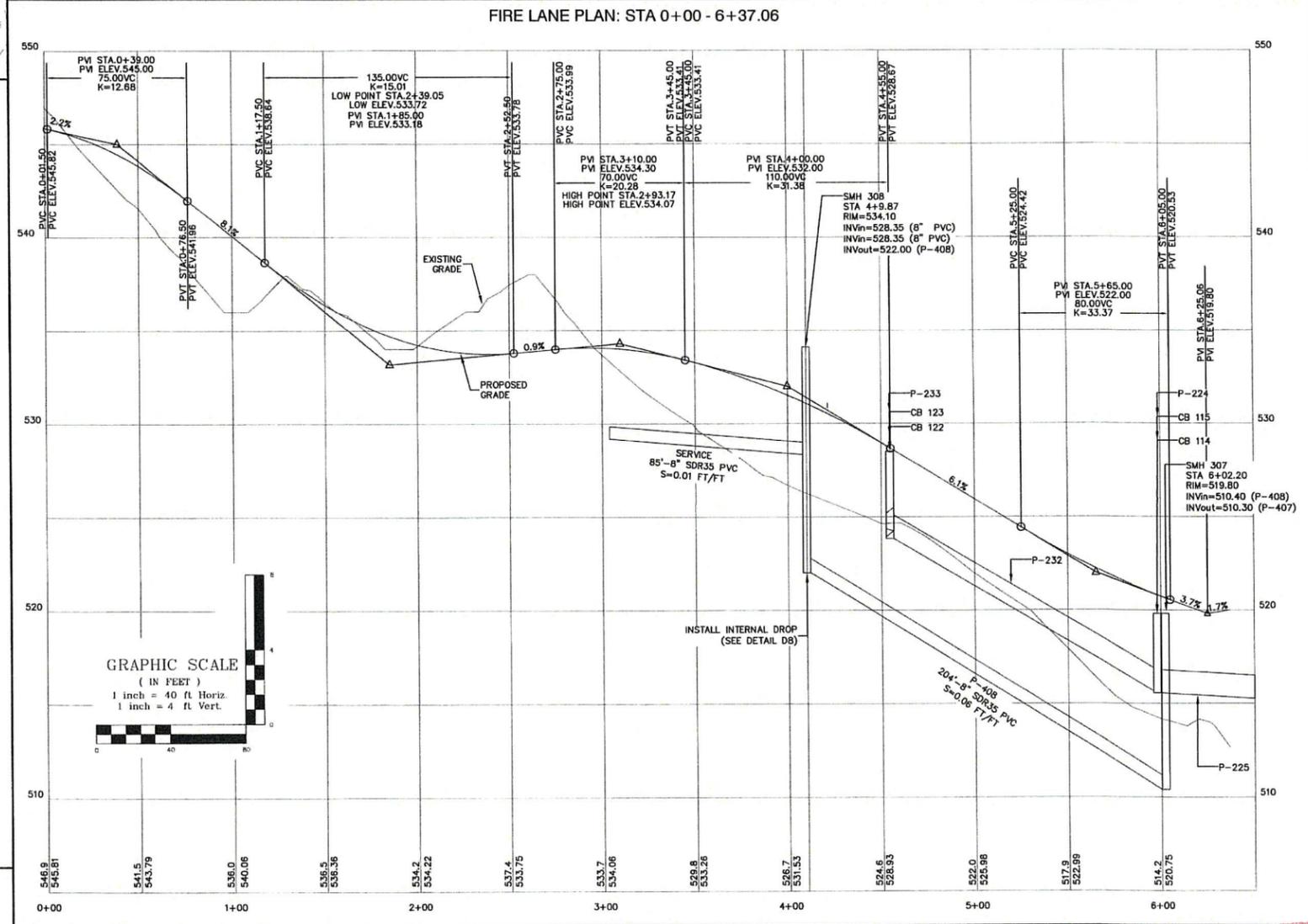
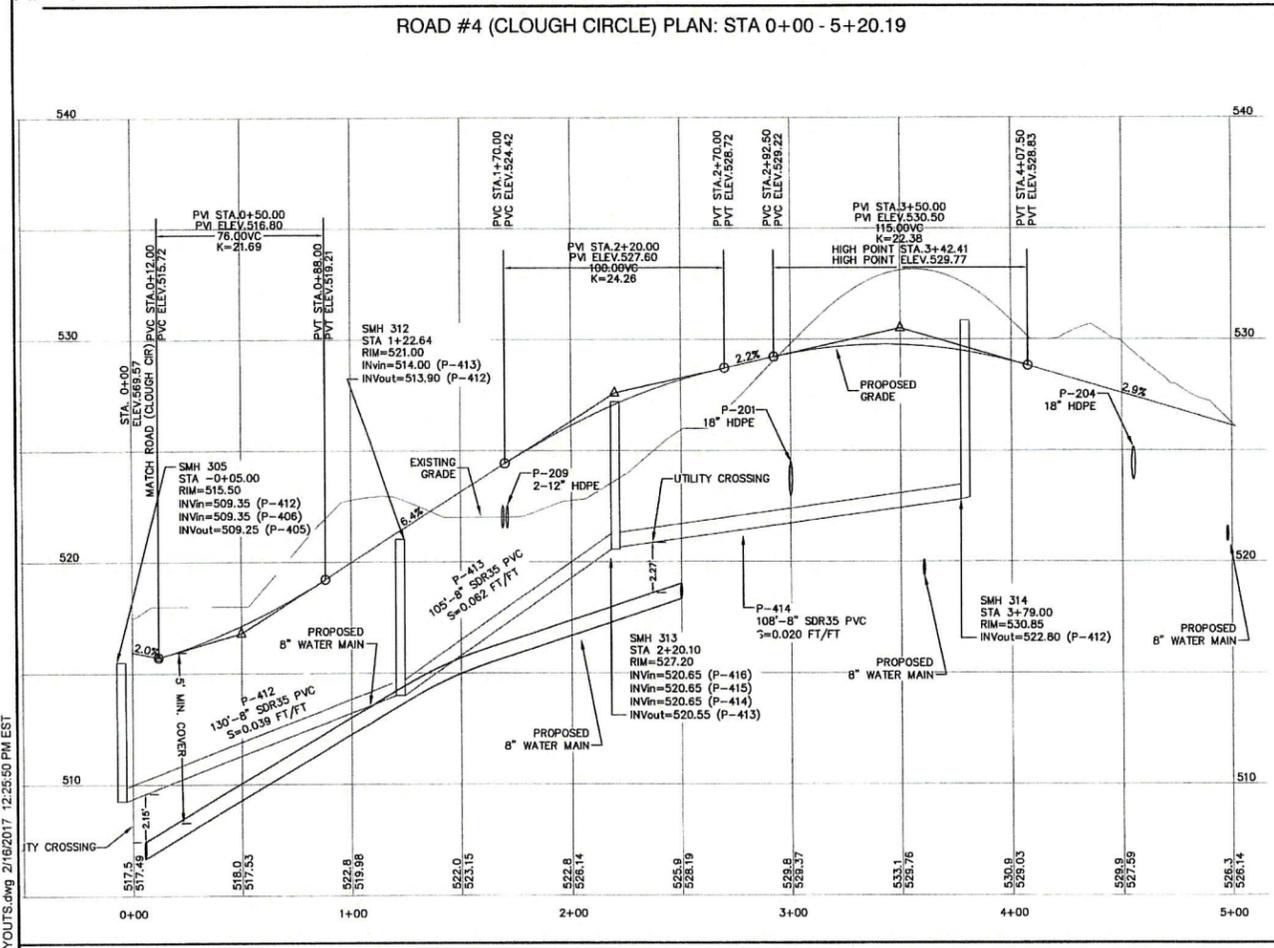
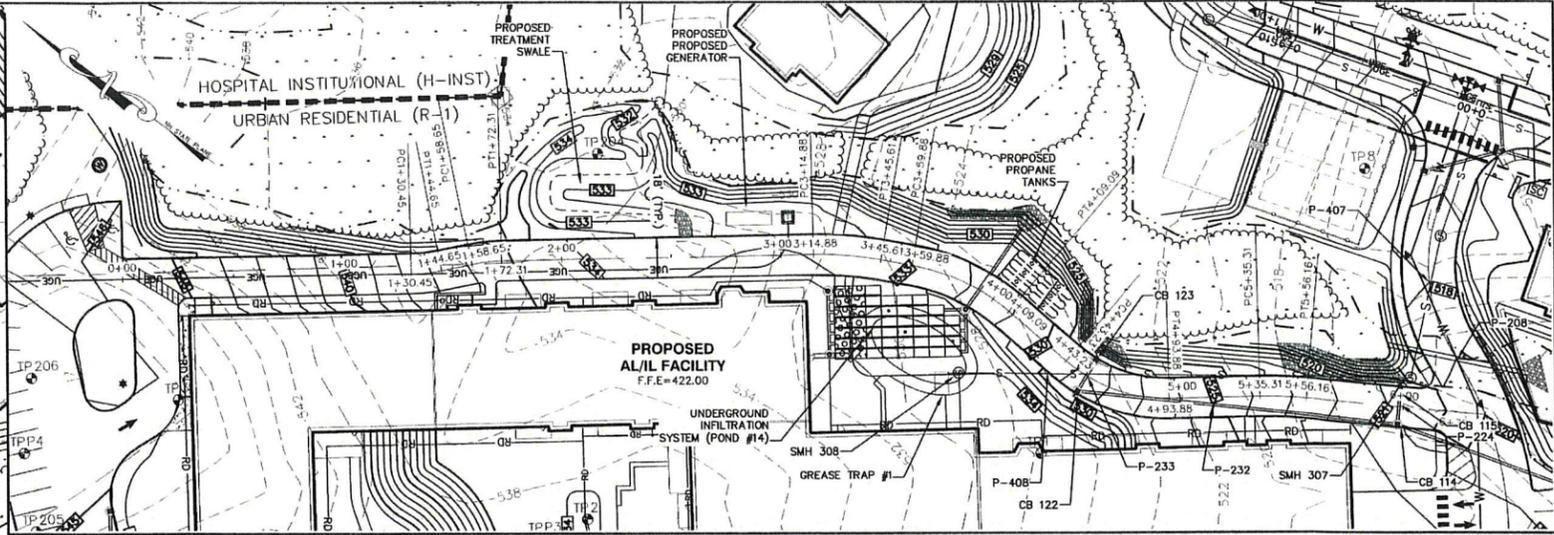
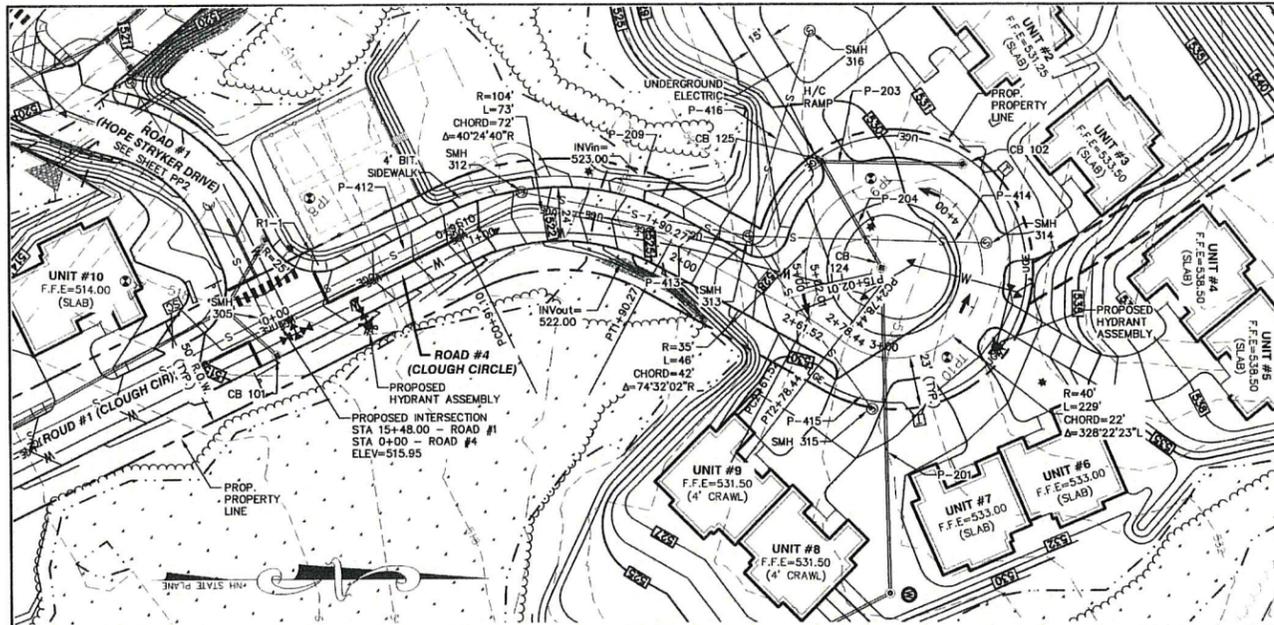
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PP3

SHEET 21 OF 49
JBE PROJECT NO. 17190

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 Checked: WGM Scale: AS NOTED Project No.: 17190
 Drawing Name: 17190-PLAN.dwg
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3	1/22/2019	REVISED PER AOT COMMENTS	EMP

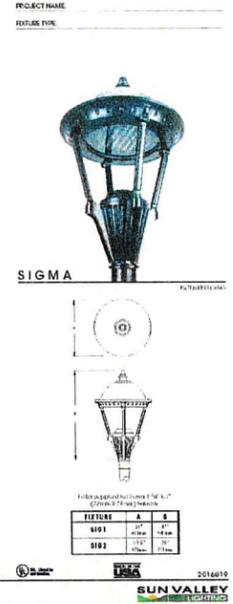
Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03865 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN & PROFILE - ROAD #4 & ROAD #5**
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

TOWN OF NEW LONDON
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PP4
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 JBE PROJECT NO. 17190

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SOLID STATE AREA LIGHTING
SIGMA SERIES-LED
SPECIFICATIONS



PROJECT NAME:
FEATURE TYPE:

FEATURE: SIGMA

DESCRIPTION: The SIGMA series LED luminaire is a modern, lantern-style fixture with a glass globe and a metal frame. It is designed for use in residential and commercial applications. The fixture is available in two finishes: black and white. The black finish is the standard finish, and the white finish is available as an option. The fixture is made of die-cast aluminum and is rated for outdoor use. It has a maximum height of 12 feet and a maximum width of 12 inches. The fixture is designed to be mounted on a wall or a post. It is available in three different sizes: 12 inch, 18 inch, and 24 inch. The 12 inch size is the standard size, and the 18 inch and 24 inch sizes are available as options. The fixture is designed to be compatible with a wide range of LED light sources. It is available with 100-watt, 150-watt, and 200-watt LED light sources. The fixture is designed to be easy to install and maintain. It has a simple, clean design that will complement any outdoor setting. The fixture is made of high-quality materials and is built to last. It is a great choice for anyone looking for a modern, lantern-style outdoor luminaire.

P-FIXTURE

FEATURE	A	B
1001	12"	12"
1002	18"	18"
1003	24"	24"

© 2016 Sun Valley Lighting
Sun Valley Lighting

100' SUNAPEE ELECTRIC & POWER EASEMENT
100' PUBLIC SERVICE CO. OF NH EASEMENT
1' CONSTRUCTION EASEMENT
EX. 401
EX. 201
EX. 202

100' SUNAPEE ELECTRIC & POWER EASEMENT
100' PUBLIC SERVICE CO. OF NH EASEMENT
1' CONSTRUCTION EASEMENT
EX. 401
EX. 201
EX. 202

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EX. 201
EX. 202

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EX. 401
EX. 201
EX. 202

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100' PUBLIC SERVICE CO. OF NH EASEMENT
1' CONSTRUCTION EASEMENT
EX. 401
EX. 201
EX. 202

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100' PUBLIC SERVICE CO. OF NH EASEMENT
1' CONSTRUCTION EASEMENT
EX. 401
EX. 201
EX. 202

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EX. 201
EX. 202

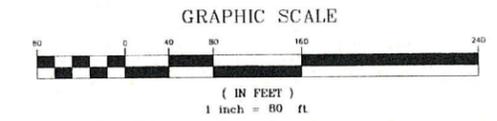
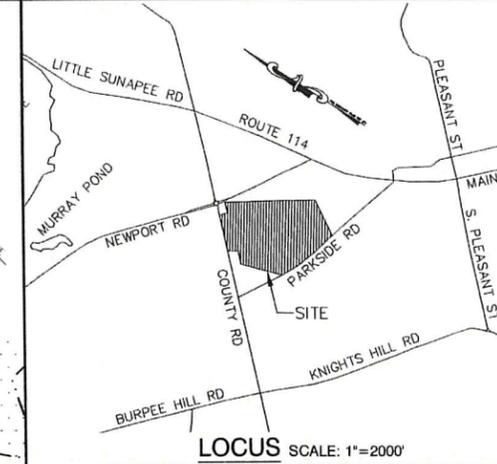
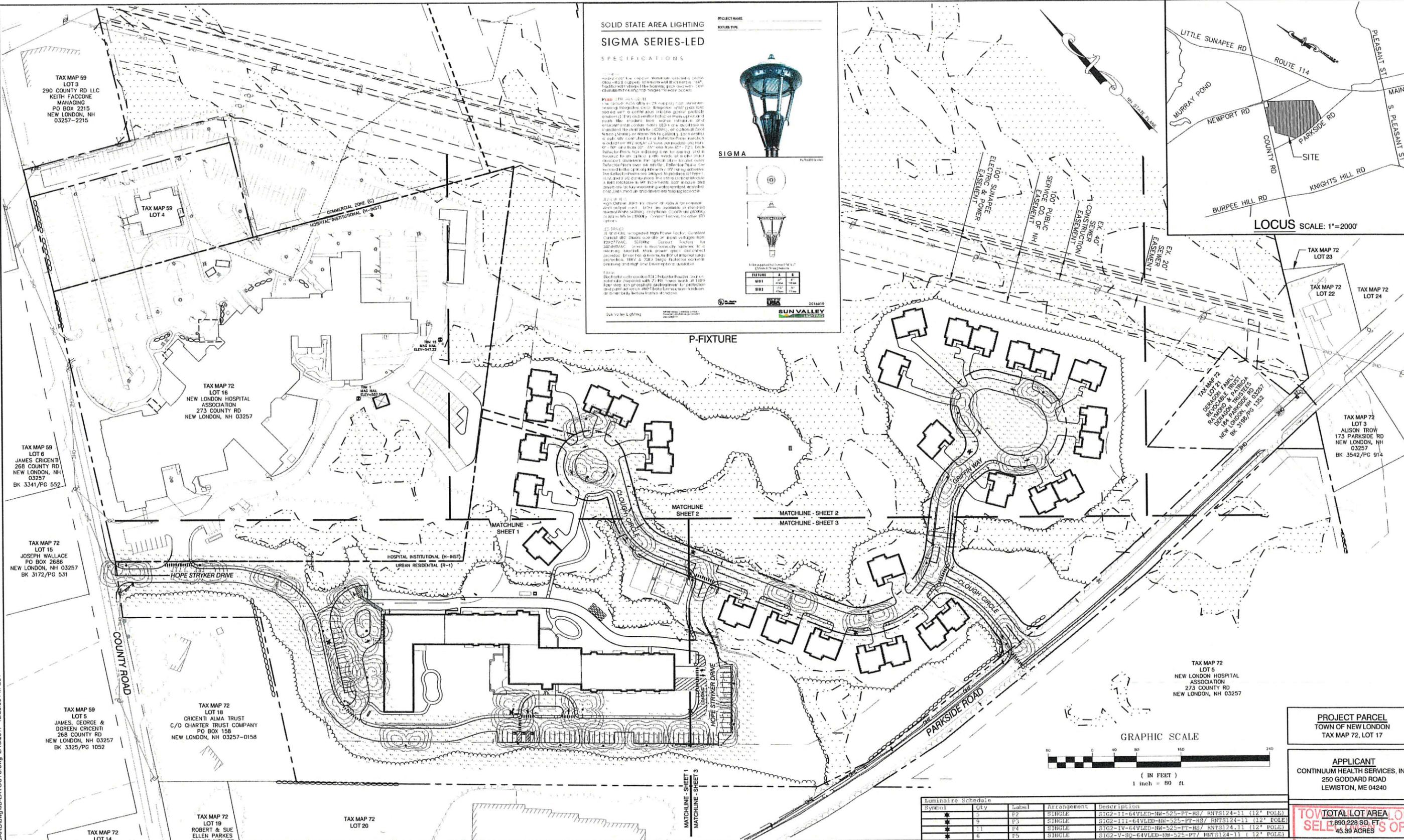
100' SUNAPEE ELECTRIC & POWER EASEMENT
100' PUBLIC SERVICE CO. OF NH EASEMENT
1' CONSTRUCTION EASEMENT
EX. 401
EX. 201
EX. 202

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EX. 202

100' SUNAPEE ELECTRIC & POWER EASEMENT
100' PUBLIC SERVICE CO. OF NH EASEMENT
1' CONSTRUCTION EASEMENT
EX. 401
EX. 201
EX. 202



Symbol	Qty	Label	Arrangement	Description
★	5	P2	SINGLE	SIG2-11-64VLED-NW-525-PT-HS/ RNTS124-11 (12' POLE)
★	9	P3	SINGLE	SIG2-11-64VLED-NW-525-PT-HS/ RNTS124-11 (12' POLE)
★	11	P4	SINGLE	SIG2-1V-64VLED-NW-525-PT-HS/ RNTS124-11 (12' POLE)
★	6	P5	SINGLE	SIG2-V-80-64VLED-NW-525-PT-HS/ RNTS124-11 (12' POLE)

PROJECT PARCEL
TOWN OF NEW LONDON
TAX MAP 72, LOT 17

APPLICANT
CONTINUUM HEALTH SERVICES, INC.
250 GODDARD ROAD
LEWISTON, ME 04240

TOTAL LOT AREA: 45.99 ACRES
TOWN OF NEW LONDON
SELECTION OFFICE

Design: BWG Draft: EMP Date: 7/3/18
Checked: WGM Scale: AS NOTED Project No.: 17190
Drawing Name: 17190-PLAN.dwg
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3	1/22/2019	REVISED PER AOT COMMENTS	EMP

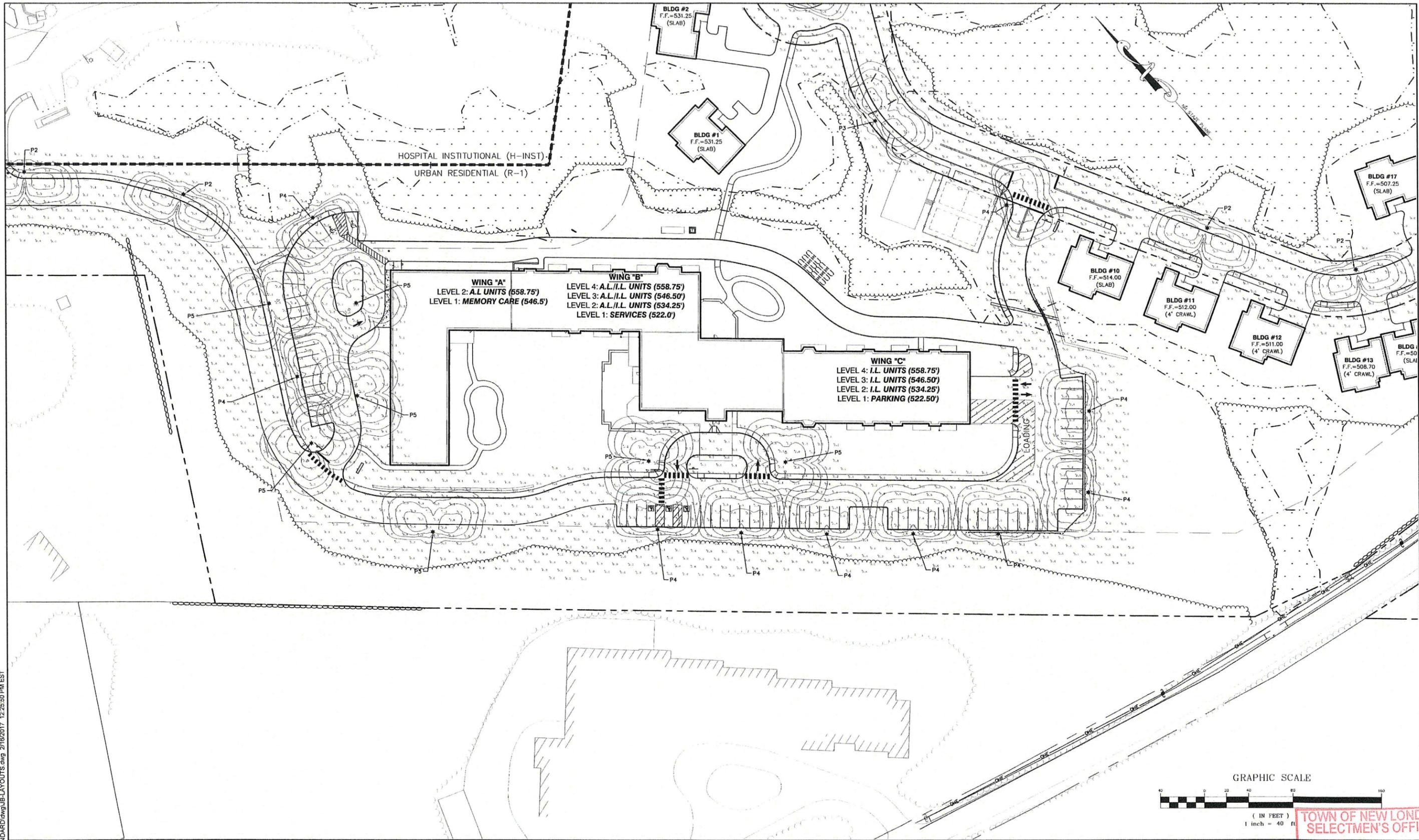
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Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERALL LIGHTING PLAN**
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

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JBE PROJECT NO. 17190

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3	1/22/2019	REVISED PER AOT COMMENTS	EMP

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 Civil Engineering Services

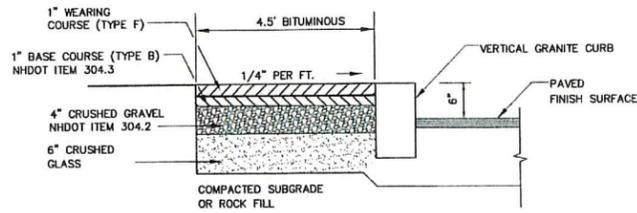
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**
 Project: "NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
 Owner of Record: NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

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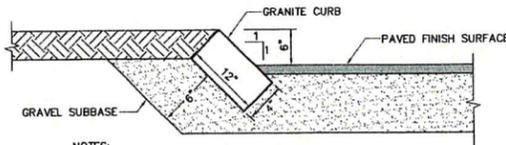
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 DRAWING NO. LP1-1
 SHEET 24 OF 49
 JBE PROJECT NO. 17190

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BIT. SIDEWALK W/ VERTICAL GRANITE CURB

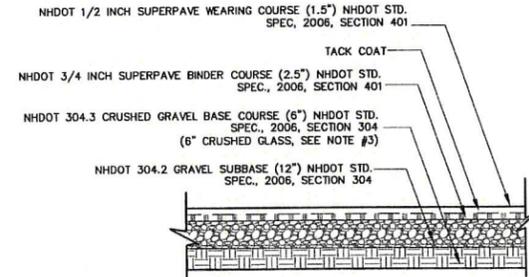
NOT TO SCALE



- NOTES:**
1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
 2. JOINTS BETWEEN STONES SHALL BE MORTARED.
 3. SALVAGE GRANITE CURBS ON-SITE AND RESET TO THE EXTENT POSSIBLE.

SLOPED GRANITE CURB

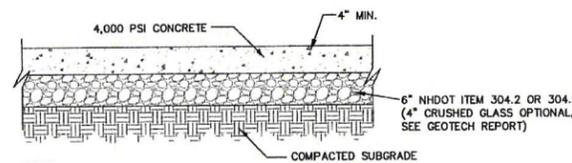
NOT TO SCALE



- NOTES:**
1. PAVEMENT SUBGRADES SHOULD BE PROOF ROLLED IN ORDER TO DENSIFY THE SUBGRADES USING A MINIMUM OF 4 PASSES WITH A 10-TON VIBRATORY DRUM COMPACTOR. THE GRAVEL BORROW SUBGRADE COURSE AND CRUSHED GRAVEL BASE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM-D998).
 2. PAVEMENT SECTION SUBJECT TO CHANGE BASED ON GEOTECHNICAL INVESTIGATION.
 3. 6" CRUSHED GRAVEL BASE CAN BE SUBSTITUTED WITH 6" OF CRUSHED GLASS IF APPROVED BY THE OWNER, SEE GEOTECHNICAL REPORT

STANDARD DUTY ASPHALT PAVEMENT SECTION

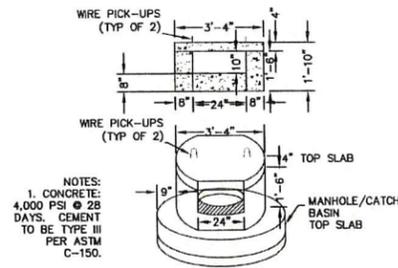
NOT TO SCALE



- NOTES:**
1. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH
 2. EXPANSION JOINTS 24' O/C
 3. ALL JOINTS SEALED PER SPEC
 4. AT ENTRANCE SLABS AND SIDEWALKS, CONTRACTOR TO EXCAVATE 4.5' BELOW TOP OF SLAB AND REPLACE WITH STRUCTURAL FILL. SEE GEOTECHNICAL REPORT.

CONCRETE SIDEWALK DETAIL

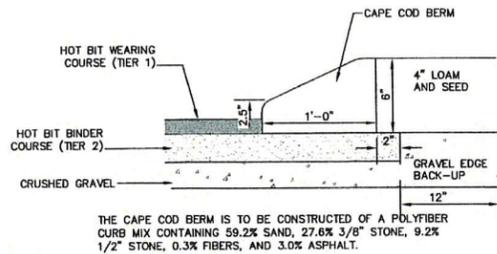
NOT TO SCALE



- NOTES:**
1. CONCRETE: 4,000 PSI @ 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150.

NHDOT CATCH BASIN TYPE "C" THROAT

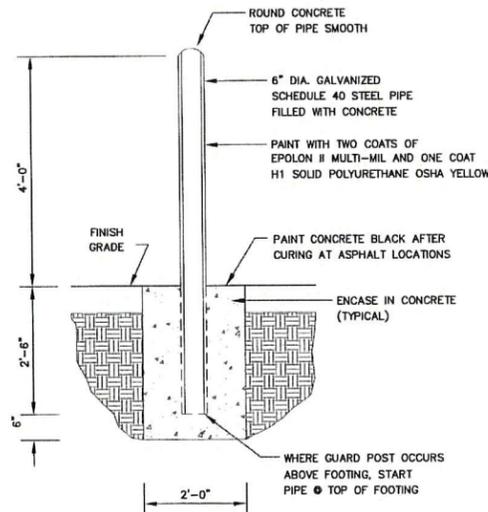
NOT TO SCALE



THE CAPE COD BERM IS TO BE CONSTRUCTED OF A POLYFIBER CURB MIX CONTAINING 59.2% SAND, 27.6% 3/8" STONE, 9.2% 1/2" STONE, 0.3% FIBERS, AND 3.0% ASPHALT.

CAPE COD BERM

NOT TO SCALE

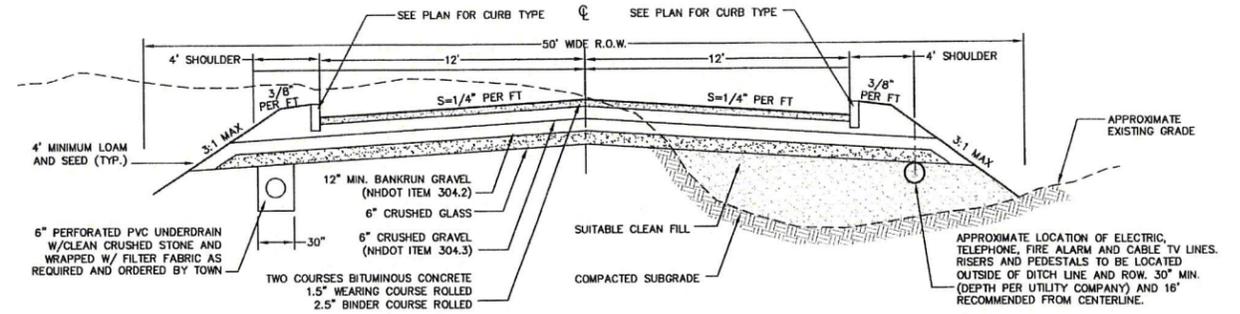


BOLLARD

NOT TO SCALE

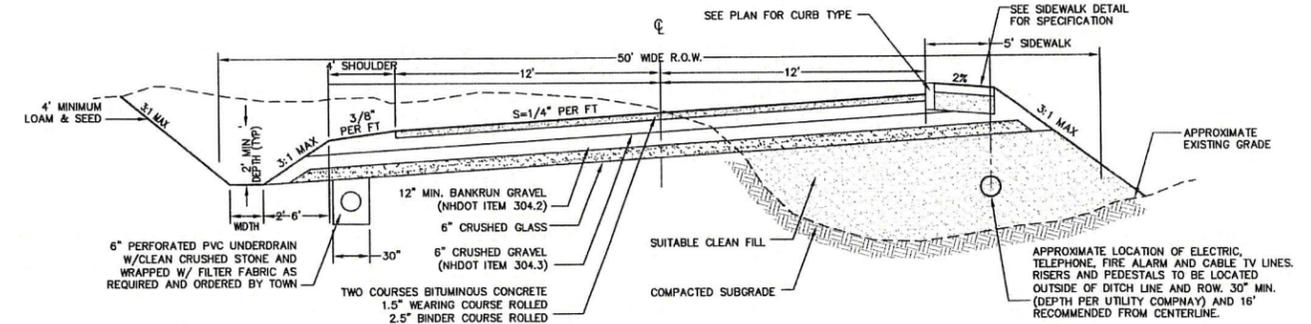
NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
2. ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
3. TOWN MAY REQUIRE UNDERDRAIN, ADDITIONAL GRAVEL AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.
4. WOVEN GEOTEXTILE FABRIC SHALL BE PLACED ABOVE SUBGRADE AT ALL WETLAND CROSSINGS.



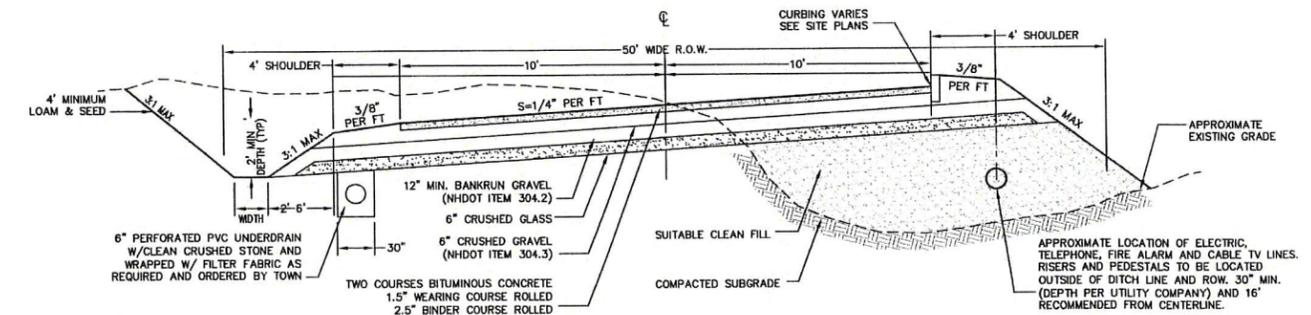
TYPICAL ROADWAY SECTION (24' ROADWAY WITH CURBING)

NOT TO SCALE



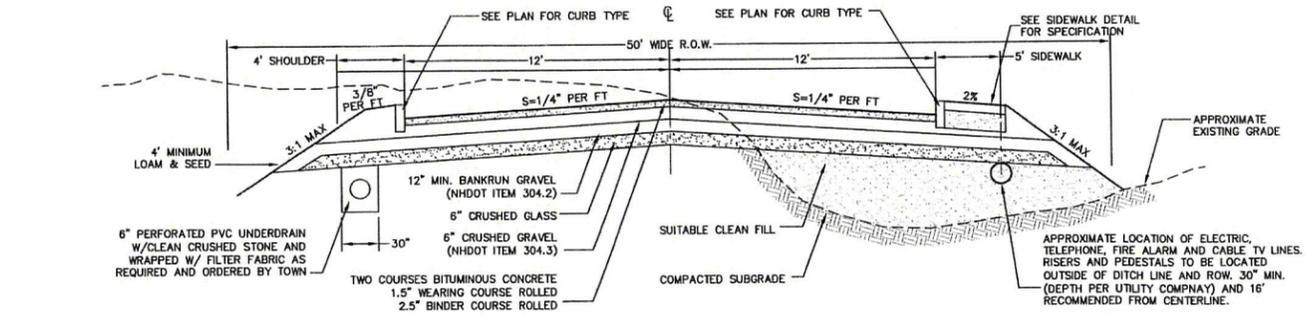
TYPICAL ROADWAY SECTION (24' ROADWAY SUPER-ELEVATED WITH CURBING SIDEWALK ONE SIDE)

NOT TO SCALE



TYPICAL ROADWAY SECTION (20' ROADWAY SUPER-ELEVATED WITH CURBING)

NOT TO SCALE



TYPICAL ROADWAY SECTION (24' ROADWAY WITH CURBING SIDEWALK ONE SIDE)

NOT TO SCALE

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

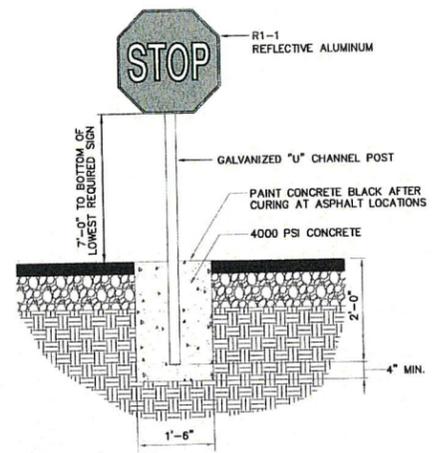
Plan Name: **DETAIL SHEET**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

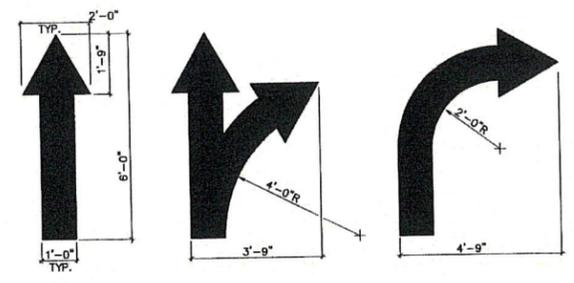
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

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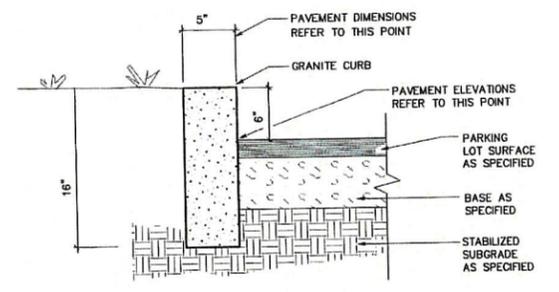
TRAFFIC CONTROL SCHEDULE						
SIGN NUMBER	SIGN	SIZE OF SIGN WIDTH HEIGHT	DESCRIPTION	MOUNT TYPE	MOUNT HEIGHT	REMARKS
R1-1		30" 30"	WHITE ON RED	CHANNEL	7'-0"	REFLECTORIZED SIGN
W11A-2		30" 30"	BLACK ON YELLOW	CHANNEL	7'-0"	REFLECTORIZED SIGN
R5-1		30" 30"	RED / SILVER	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-B		12" 24"	BLUE & GREEN ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN
R7-8A		12" 6"	BLUE & GREEN ON WHITE	CHANNEL	5'-0"	REFLECTORIZED SIGN
R6-1		36" 12"	BLACK ON WHITE	CHANNEL	7'-0"	REFLECTORIZED SIGN



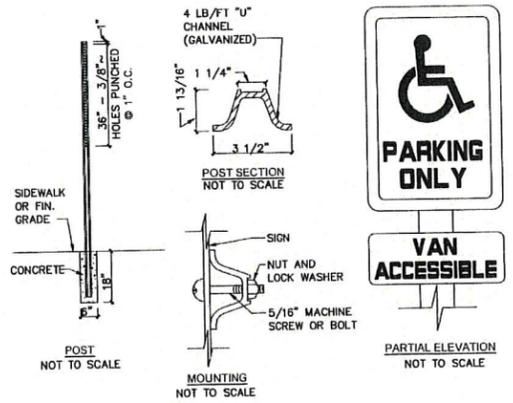
STOP SIGN
NOT TO SCALE



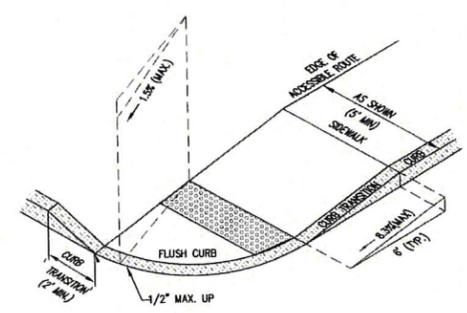
PAINTED TRAFFIC ARROWS
NOT TO SCALE



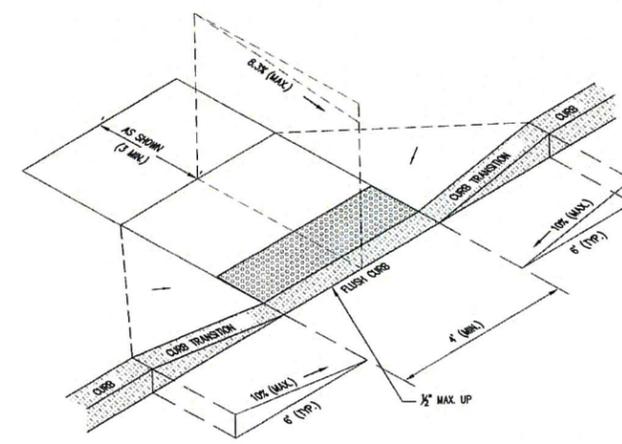
VERTICAL GRANITE CURB
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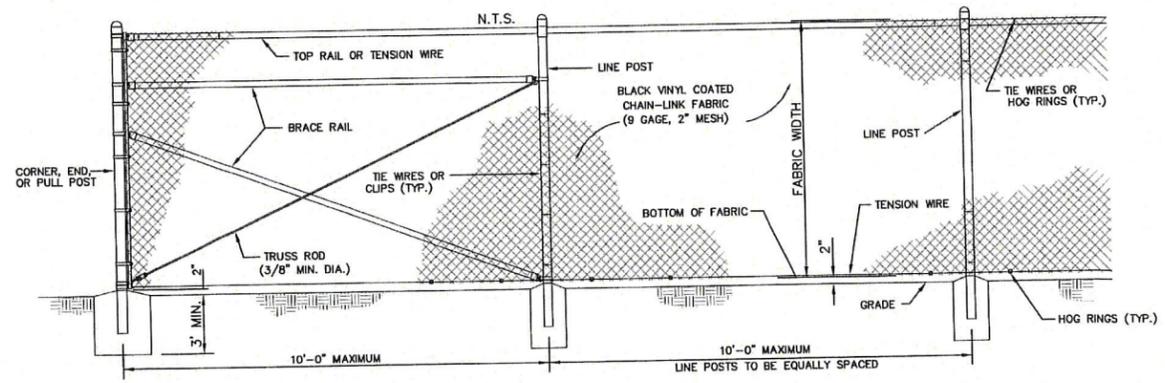
HANDICAP PARKING
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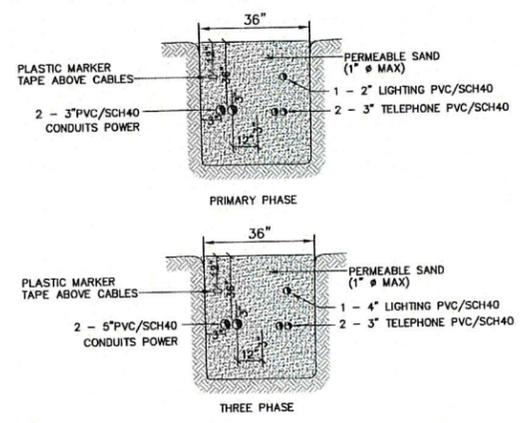
ACCESSIBLE CURB RAMP (TYPE 'B')
NOT TO SCALE



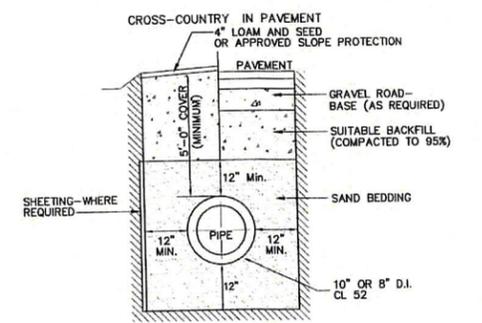
ACCESSIBLE CURB RAMP
NOT TO SCALE



6' HIGH BLACK VINYL CHAIN-LINK FENCE
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE



WATER SYSTEM TRENCH
NOT TO SCALE

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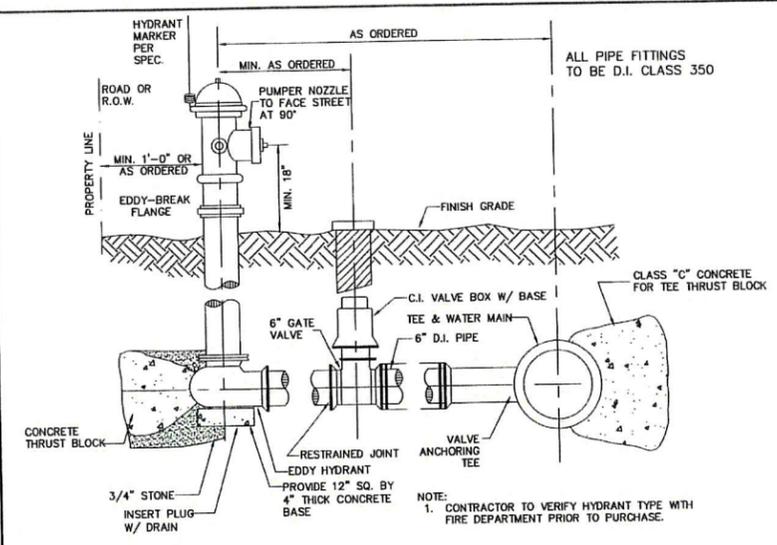
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 Checked: WGM Scale: AS NOTED Project No.: 17190
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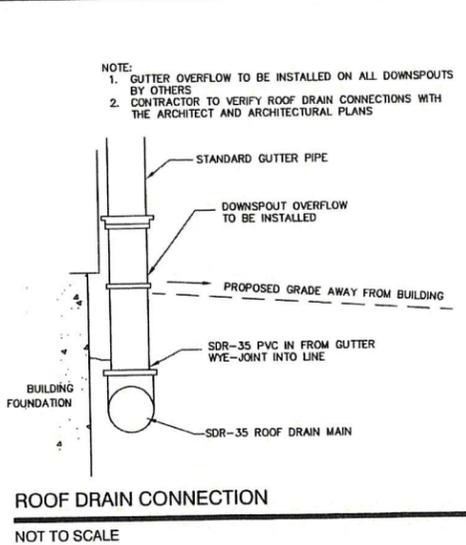
Plan Name: **DETAIL SHEET**
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH.**
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

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 DRAWING No. **D2**
 SHEET 26 OF 49
 JBE PROJECT NO. 17190



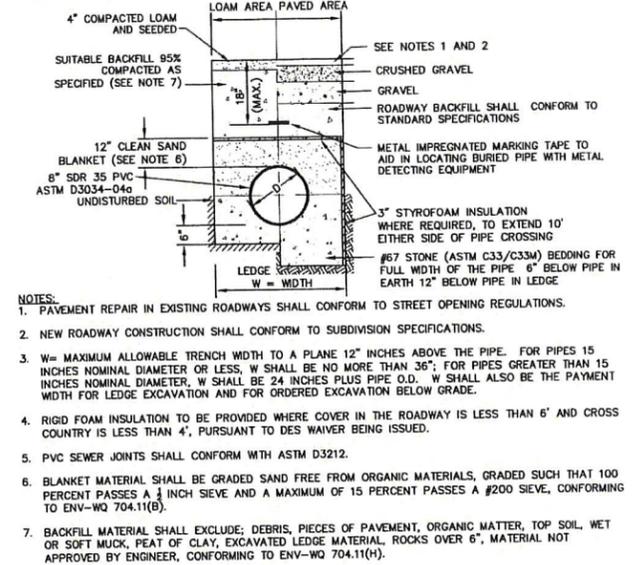
HYDRANT INSTALLATION (NON-DRAINING)

NOT TO SCALE



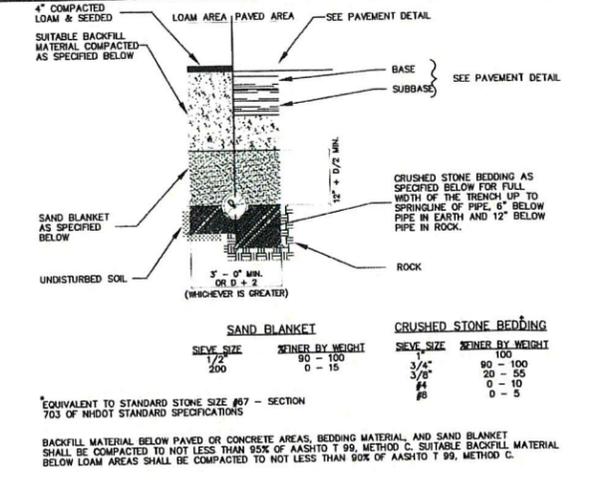
ROOF DRAIN CONNECTION

NOT TO SCALE



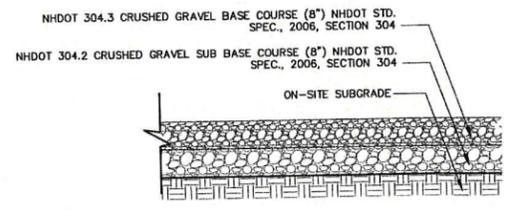
SEWER TRENCH

NOT TO SCALE



DRAINAGE TRENCH

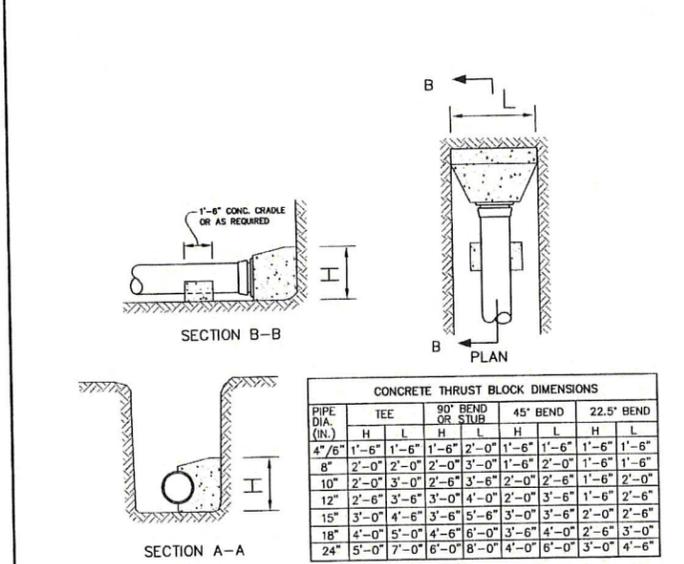
NOT TO SCALE



NOTES:
1. SUBGRADES SHOULD BE PROOF ROLLED IN ORDER TO DENSIFY THE SUBGRADES USING A MINIMUM OF 4 PASSES WITH A 10-TON VIBRATORY DRUM COMPACTOR. THE GRAVEL BORROW SUBGRADE COURSE AND CRUSHED GRAVEL BASE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM-D1557).

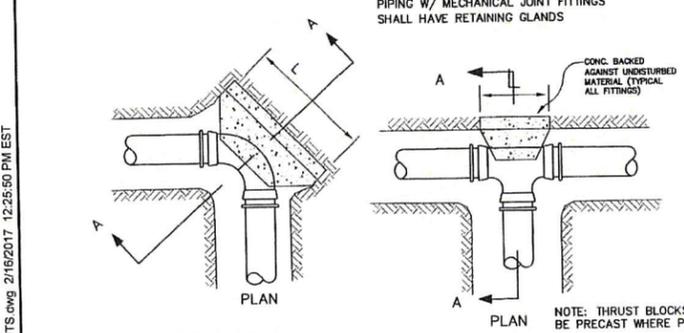
GRAVEL ROAD DETAIL

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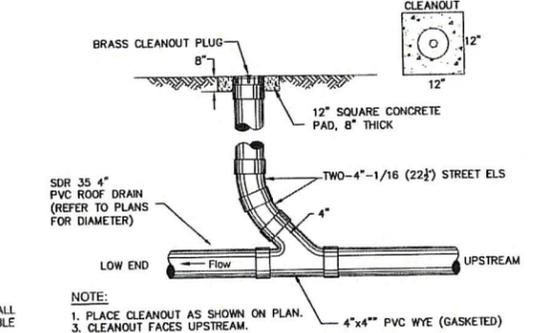
NYLOPLAST DRAIN BASIN WITH DOME DETAIL

NOT TO SCALE



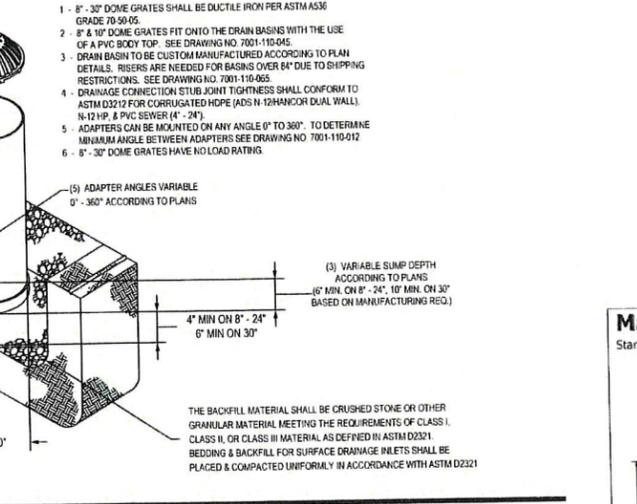
THRUST BLOCK DETAILS

NOT TO SCALE



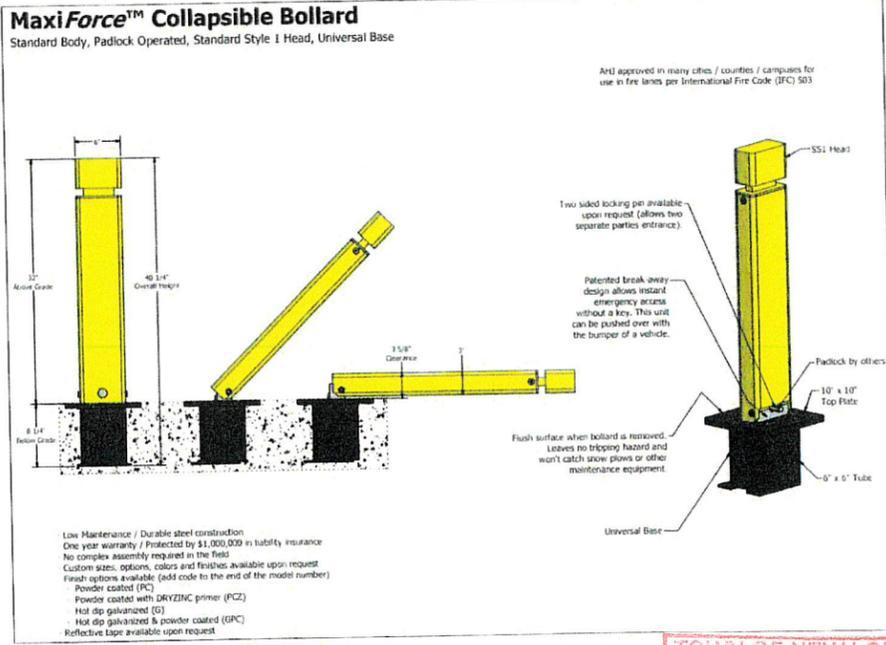
UNDER DRAIN DETAIL

NOT TO SCALE



WATER SERVICE CONNECTION

NOT TO SCALE



COLLAPSIBLE BOLLARD DETAIL

NOT TO SCALE

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Civil Engineering Services

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TOWN OF NEW LONDON
SELECTMEN'S OFFICE

APR 23 2019

D3

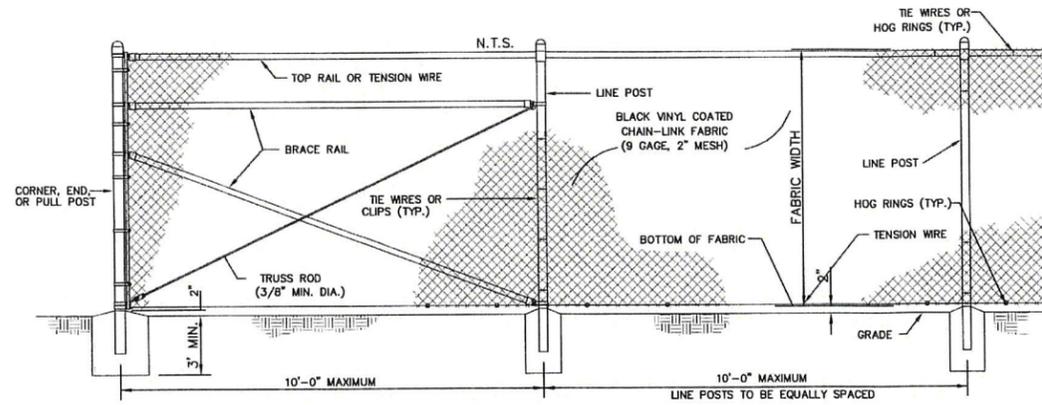
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DRAWING No. 17190

SHEET 27 OF 49

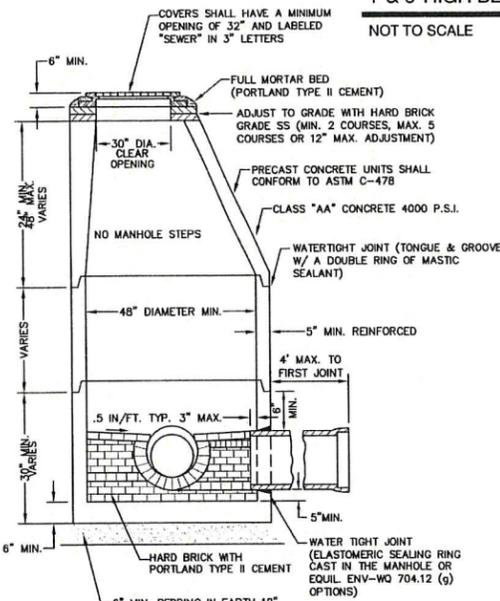
JBE-PROJECT NO. 17190

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4' & 6' HIGH BLACK VINYL CHAIN-LINK FENCE

NOT TO SCALE



- COVERS SHALL HAVE A MINIMUM OPENING OF 32\"/>

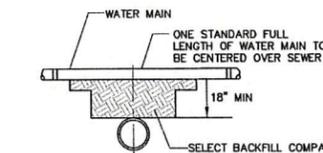
NOTES:

 - PER NHDES ENV-WQ 704.13(C), MORTAR USED IN MANHOLE CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 - MORTAR SHALL BE COMPOSED OF TYPE II PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION
 - PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE PER TABLE 704-4:
 - 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
 - 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME.
 - CEMENT SHALL BE TYPE II PORTLAND CEMENT THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C150/C150M STANDARD IN EFFECT AT THE TIME THE CEMENT WAS MANUFACTURED
 - HYDRATED LIME SHALL BE TYPE S THAT IS CERTIFIED BY ITS MANUFACTURER AS CONFORMING TO THE ASTM C207 STANDARD IN EFFECT AT THE TIME THE HYDRATED LIME WAS PROCESSED
 - SAND SHALL CONSIST OF INERT NATURAL SAND THAT IS CERTIFIED BY ITS SUPPLIER AS CONFORMING TO THE ASTM C33 STANDARD IN EFFECT AT THE TIME THE SAND IS PROCESSED BY STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES
 - CONCRETE FOR DROP SUPPORTS SHALL CONFORM TO THE REQUIREMENT FOR CLASS AAA CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AS AVAILABLE AT:

HTTP://WWW.NH.GOV/DOT/ORG/PROJECTDEVELOPMENT/HIGHWAYDESIGN/SPECIFICATIONS/INDEX.HTM
 - SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (K).
 - ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (a) THROUGH (e).
 - SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48/48M WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (a) (8).
 - ALL PRECAST SECTIONS SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING IN ACCORDANCE WITH ENV-WQ 704.12 (J).
 - ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL PER ENV-WQ 704.12(I).
 - BRICK MASONRY SHALL CONFORM TO ASTM C32 (ENV-WQ 704.12(a)(9))

SEWER MANHOLE

NOT TO SCALE

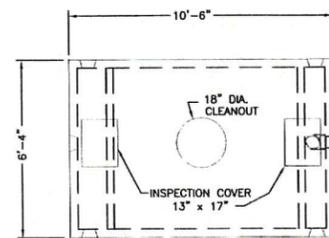


SEPARATION NOTES:

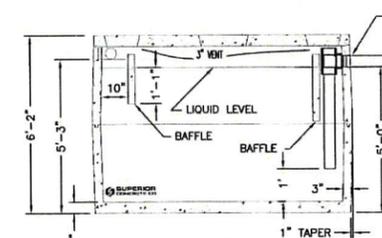
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN PIPES. SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
- SEPARATION REQUIREMENTS SHALL PERTAIN TO ALL SEWER LINES INCLUDING SERVICES.

TYPICAL WATER / SEWER SEPARATION

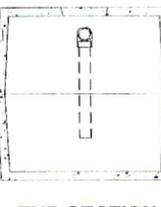
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PLAN VIEW



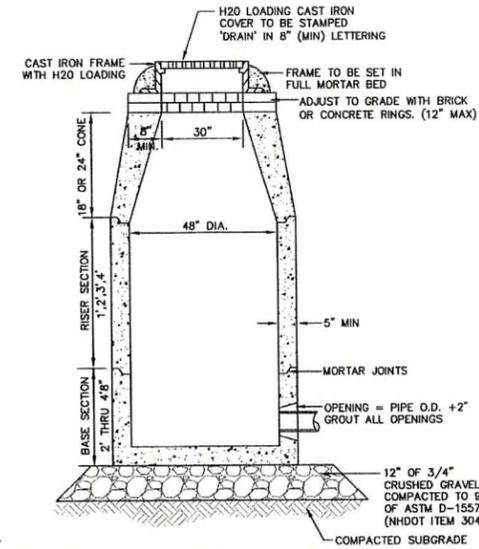
SECTION VIEW



END SECTION

5,000 GAL GREASE TANK

NOT TO SCALE

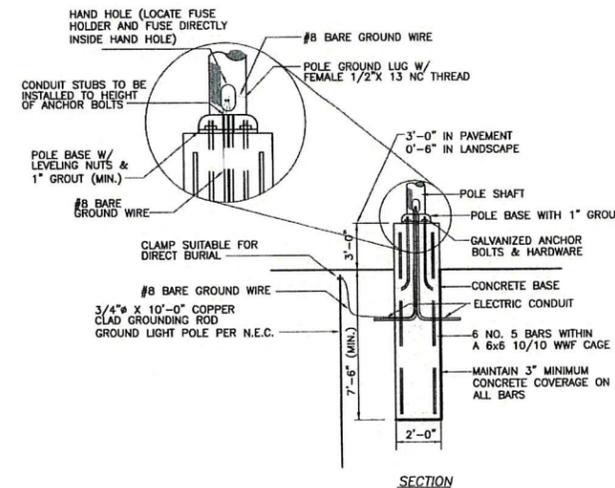


NOTES:

- BASE SECTION SHALL BE MONOLITHIC WITH 48\"/>

DRAIN MANHOLE

NOT TO SCALE

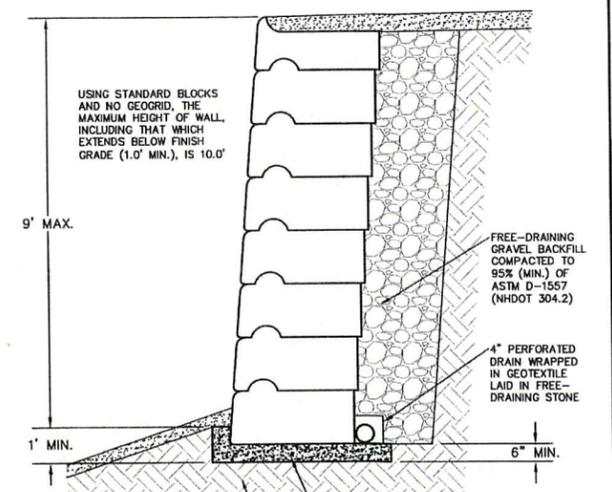


NOTES:

- SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES & DRAINAGE BEFORE DRILLING POLE BASES (TYP).
- CONTRACTOR TO TAKE SPECIAL CARE TO ENSURE CONCRETE POLE BASES ARE SET ABSOLUTELY VERTICAL AND LEVEL.
- SHAFT CAP, ARMS, BASE, FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION, HARDWARE, BOLT COVERS, HAND- HOLD COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.

LIGHT POLE BASE DETAIL

NOT TO SCALE



- USING STANDARD BLOCKS AND NO GEOGRID, THE MAXIMUM HEIGHT OF WALL, INCLUDING THAT WHICH EXTENDS BELOW FINISH GRADE (1.0' MIN.), IS 10.0'
- FREE-DRAINING GRAVEL BACKFILL COMPACTED TO 95% (MIN.) OF ASTM D-1557 (NHDOT 304.2)
- 4\"/>

FOOTING TO BE 6\"/>

1. PRE-FABRICATED WALL UNITS SHALL BE REDI-ROCK INTERNATIONAL AS PRODUCED BY A LICENSED MANUFACTURER, OR AN EQUIVALENT APPROVED IN WRITING BY THE CIVIL ENGINEER OF RECORD (JONES & BEACH ENGINEERS, INC.).

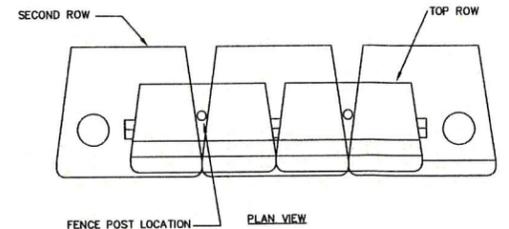
2. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A LICENSED STRUCTURAL ENGINEER TO DESIGN ANY WALL THAT HAS A HEIGHT OVER 4.0'. JONES & BEACH ENGINEERS, INC. DOES NOT ACCEPT ANY LIABILITY FOR THE STRUCTURAL DESIGN AND/OR INSTALLATION OF ANY RETAINING WALL OF ANY TYPE ABOVE THIS HEIGHT. THIS DETAIL IS INTENDED TO PROVIDE AN EXAMPLE OF THE RETAINING WALL FOR PLANNING PURPOSES ONLY AND IS SPECIFICALLY NOT INTENDED FOR USE BY THE CONTRACTOR IN ANY CONSTRUCTION-RELATED ACTIVITY.

3. CONSTRUCTION OF THE RETAINING WALL(S) SHOULD FOLLOW THE SPECIFICATIONS OF REDI-ROCK INTERNATIONAL AND THE STRUCTURAL ENGINEER OF RECORD.

4. RETAINING WALL-RELATED CORRESPONDENCE SHOULD BE DIRECTED TO:

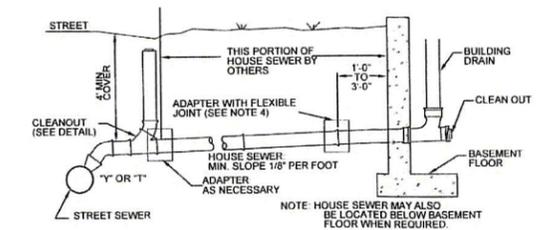
REDI-ROCK INTERNATIONAL
05481 SOUTH U.S. 31
CHARLEVOIX, MICHIGAN 49720

T#: (231) 237-9500
F#: (231) 237-9521
www.redi-rock.com



REDI-ROCK INTERNATIONAL RETAINING WALL DETAIL (STANDARD BLOCKS W/ NO GEOGRID)

NOT TO SCALE



SEWER SERVICE CONNECTION

NOT TO SCALE

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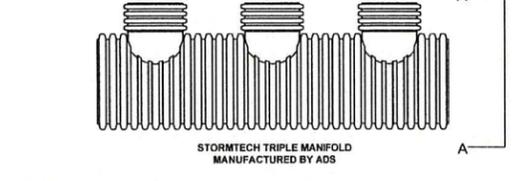
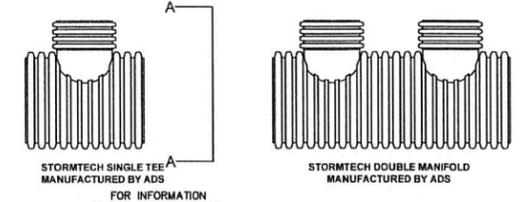
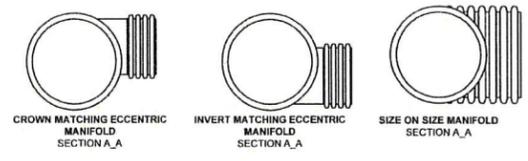
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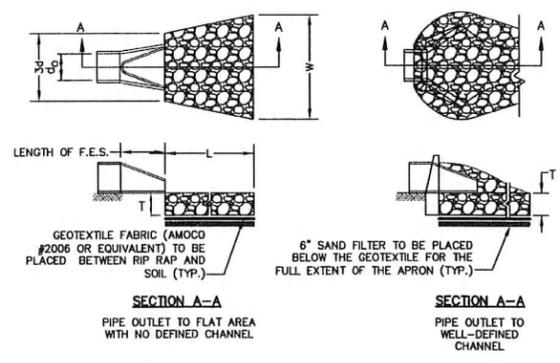
TOWN OF NEW LONDON
SELECTMEN'S OFFICE

DRAWING No.
APR 23 2019
D4
SHEET 28 OF 49
JBE PROJECT NO. 17190



STUB SIZE	HEADER PIPE SIZES											
	48"	42"	36"	30"	24"	18"	15"	12"	10"	8"	6"	6"
12"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL
10"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL
8"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL
6"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL

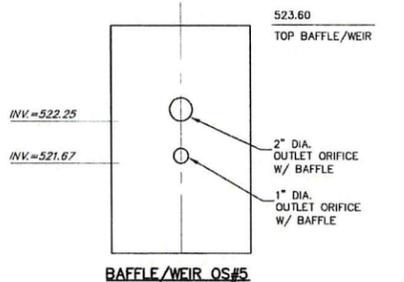
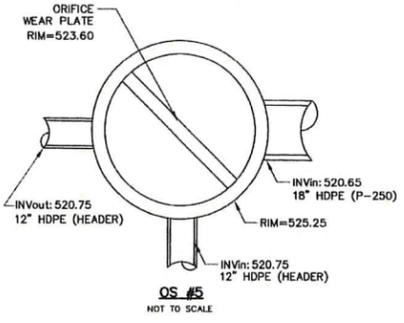
STORMTECH MANIFOLD
NOT TO SCALE



- NOTES:**
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 - OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 - MAINTENANCE:** THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.
 - SPECIFIC RIP RAP APRON SIZING FOR EACH INDIVIDUAL LOCATION ARE SHOWN ON THE GRADING AND DRAINAGE PLANS.

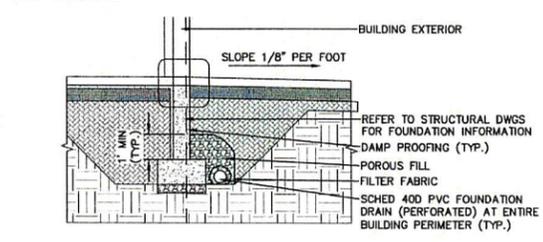
RIP RAP OUTLET PROTECTION APRON
NOT TO SCALE

Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
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POND #7 - OUTLET STRUCTURE (OS #5)
NOT TO SCALE

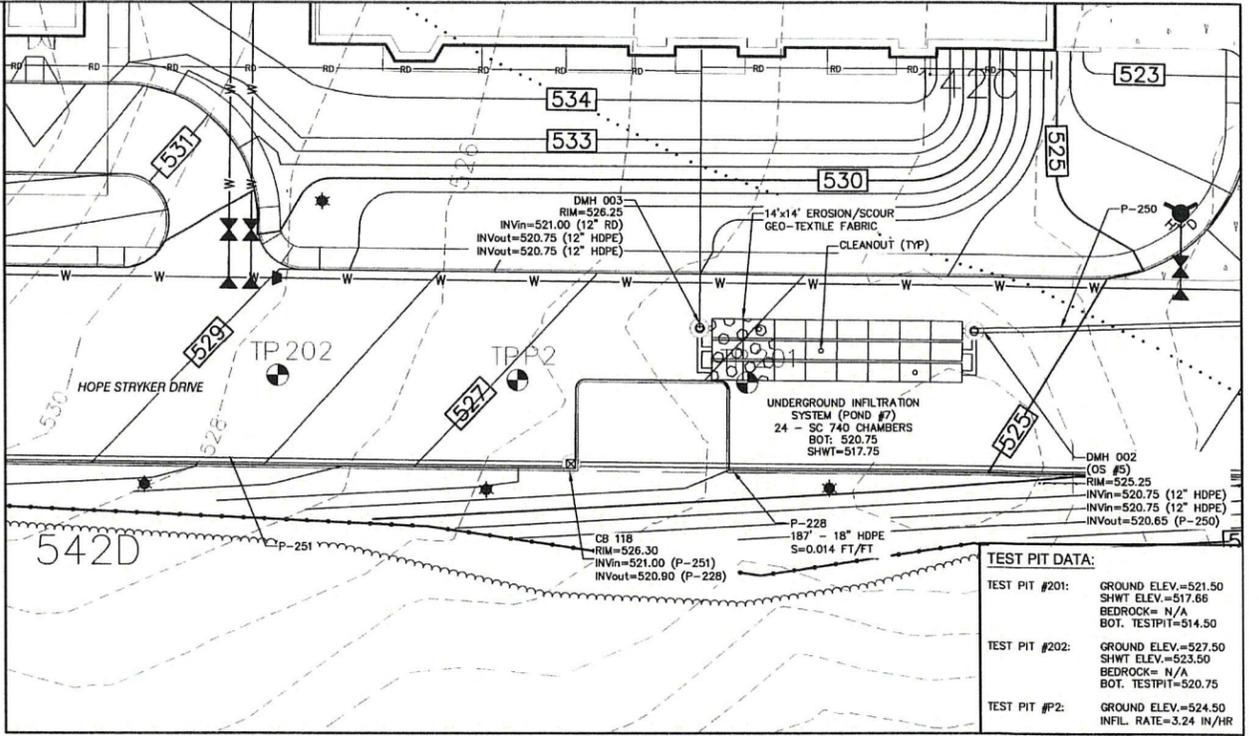
LEVEL SPREADER DETAIL
NOT TO SCALE



FOUNDATION DRAIN
NOT TO SCALE

STORMTECH GENERAL NOTES

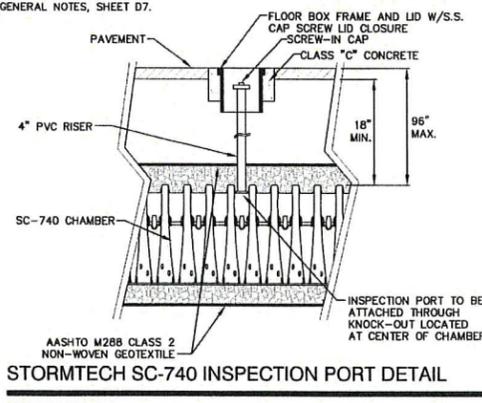
- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- STORMTECH OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICE DEPARTMENT OR LOCAL STORMTECH REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 860-529-8188 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.) MINIMUM COVER IS 24 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 6.5 FEET INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 6.5 FEET.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMTECH SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
- STORMTECH PRODUCT WARRANTY IS LIMITED. CONTACT STORMTECH FOR WARRANTY INFORMATION.
- SEE ALSO INFILTRATION GENERAL NOTES, SHEET D7.



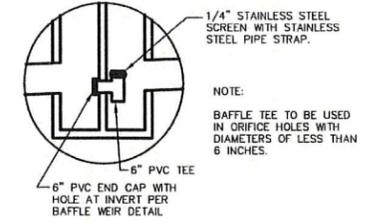
UNDERGROUND INFILTRATION SYSTEM (POND #7) - DETAIL PLAN
SCALE: 1"=20'

TEST PIT DATA:

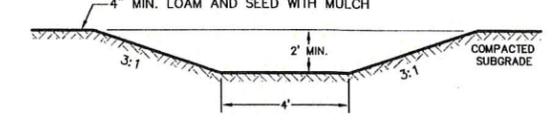
TEST PIT #201:	GROUND ELEV.=521.50 SHWT ELEV.=517.66 BEDROCK= N/A BOT. TESTPIT=514.50
TEST PIT #202:	GROUND ELEV.=527.50 SHWT ELEV.=523.50 BEDROCK= N/A BOT. TESTPIT=520.75
TEST PIT #P2:	GROUND ELEV.=524.50 INFL. RATE=3.24 IN/HR



STORMTECH SC-740 INSPECTION PORT DETAIL
NOT TO SCALE



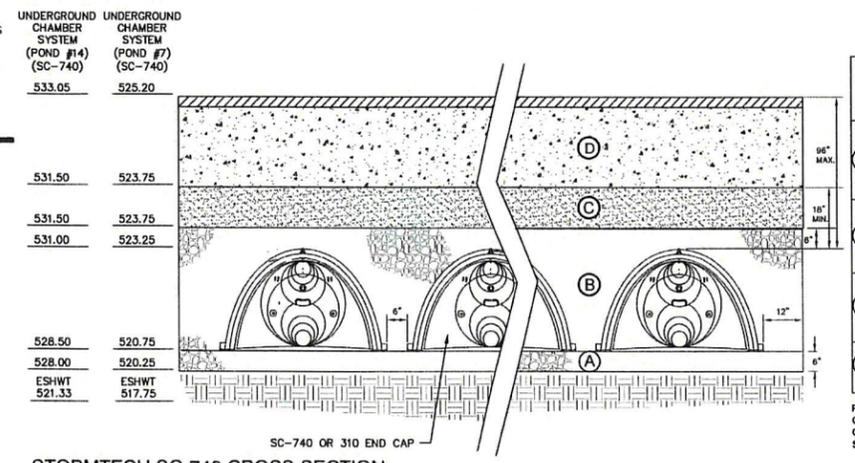
BAFFLE TEE DETAIL
NOT TO SCALE



VEGETATED PRE-TREATMENT SWALE
NOT TO SCALE

REACH	LENGTH	WIDTH	SLOPE
40R	154'	4'	.008

NOTE:
1. ALL VEGETATED TREATMENT SWALES ARE TO BE STABILIZED WITH NORTH AMERICAN GREEN "BIO-NET" SERIES C125BN EROSION CONTROL BLANKET SECURED WITH BIODEGRADABLE "BIO" OR "ECO-STAKES".



STORMTECH SC-740 CROSS-SECTION
NOT TO SCALE

ACCEPTABLE FILL MATERIALS
STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(D) PAVEMENT SUBGRADE DEPTHS PER SPECIFICATIONS	PAVEMENT SUBGRADE, MATERIALS PER SPECIFICATIONS	N/A	N/A	PREPARE PER SPECIFICATIONS AND PLANS. PAVED INSTALLATIONS HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS
(C) FILL MATERIAL FROM 6" ABOVE CHAMBERS TO BOTTOM OF PAVEMENT SUBGRADE	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES <35% FINES	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1, A-2, A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
(B) EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
(A) 6" FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED, CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

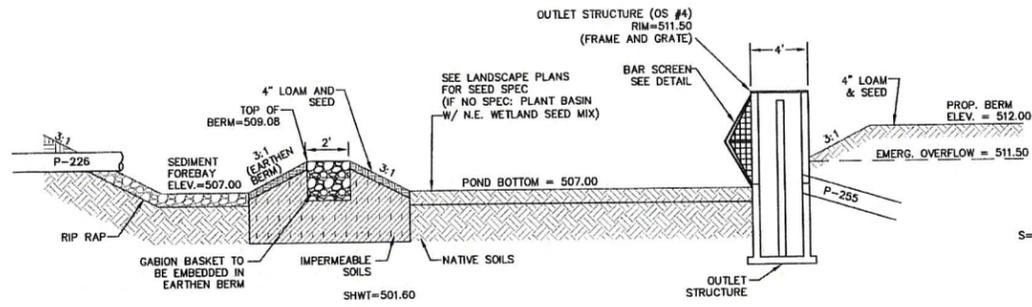
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

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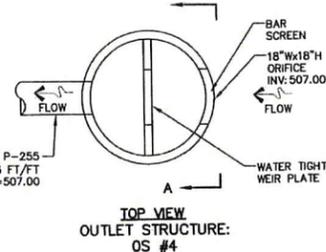
DRAWING No. **APR 23 2019**
D5
SHEET 28 OF 49
JBE PROJECT NO. 17190

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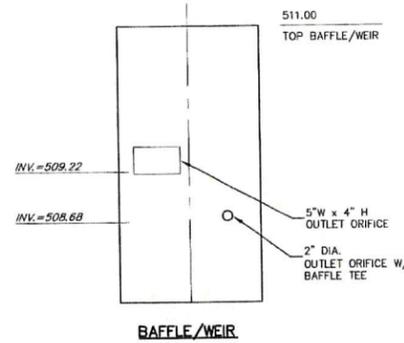


INFILTRATION BASIN (POND #6)

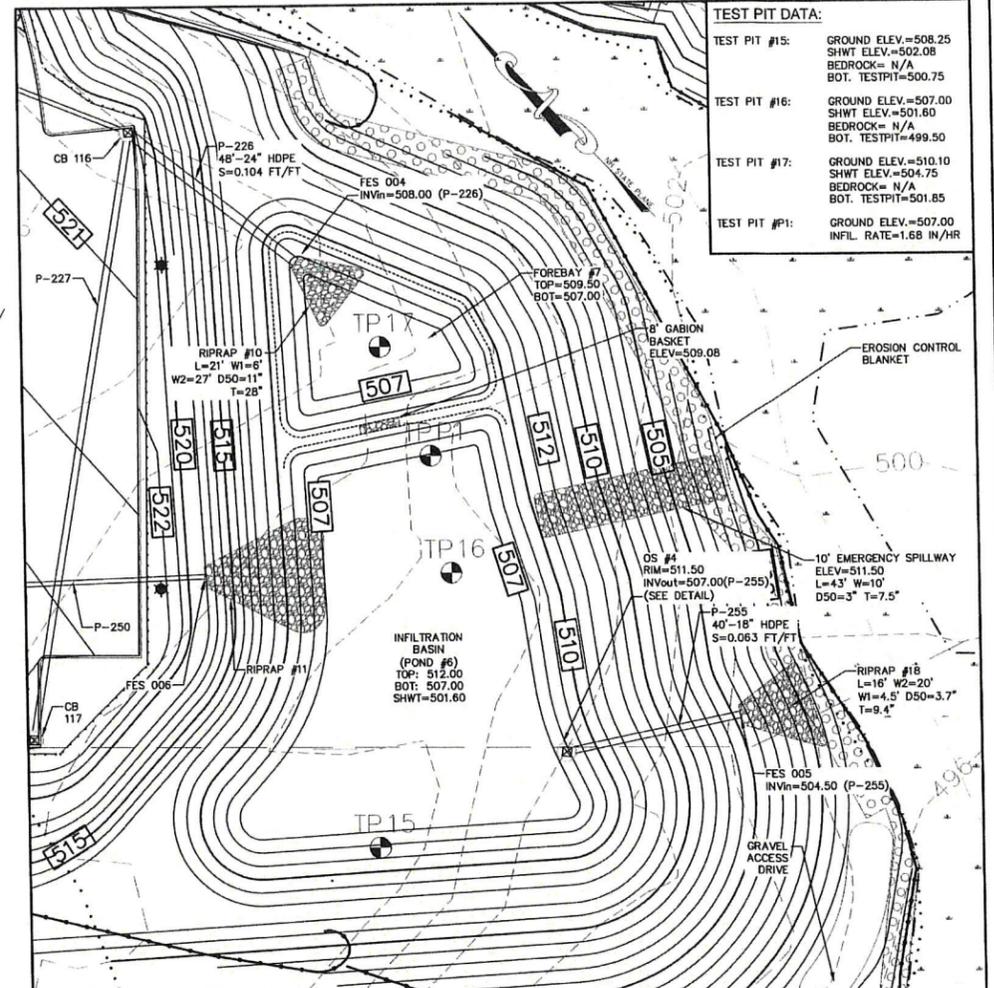
NOT TO SCALE



**TOP VIEW
OUTLET STRUCTURE:
OS #4**



BAFFLE/WEIR

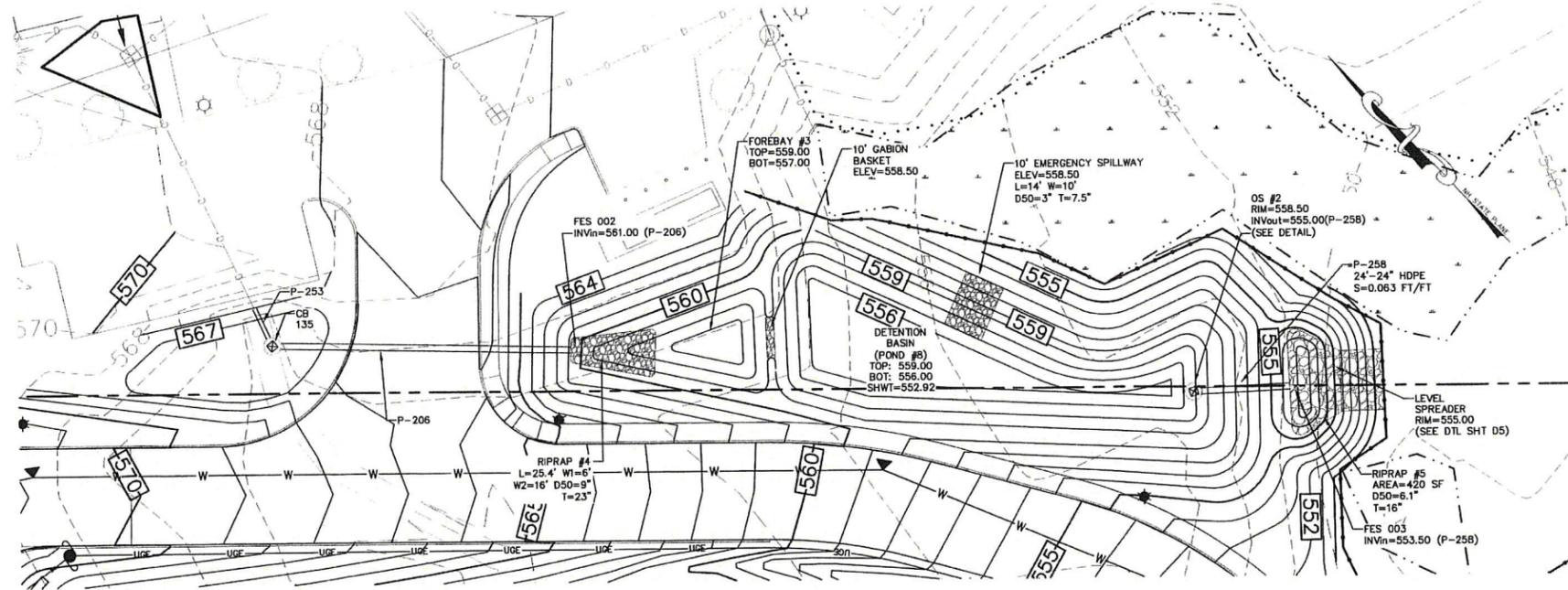


INFILTRATION BASIN (POND #6) - DETAIL PLAN

SCALE: 1"=20'

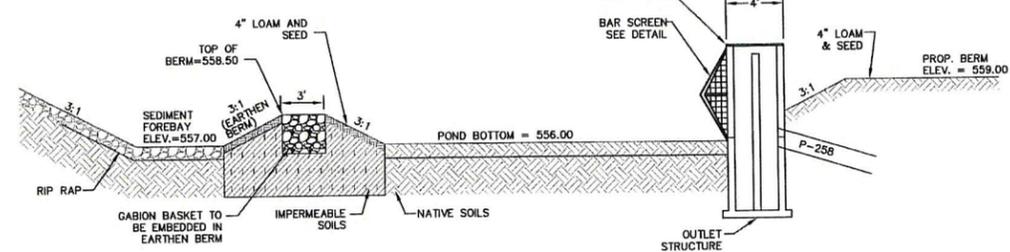
TEST PIT DATA:

TEST PIT #15:	GROUND ELEV.=508.25 SHWT ELEV.=502.08 BEDROCK= N/A BOT. TESTPIT=500.75
TEST PIT #16:	GROUND ELEV.=507.00 SHWT ELEV.=501.60 BEDROCK= N/A BOT. TESTPIT=499.50
TEST PIT #17:	GROUND ELEV.=510.10 SHWT ELEV.=504.75 BEDROCK= N/A BOT. TESTPIT=501.85
TEST PIT #18:	GROUND ELEV.=507.00 INFIL. RATE=1.68 IN/HR



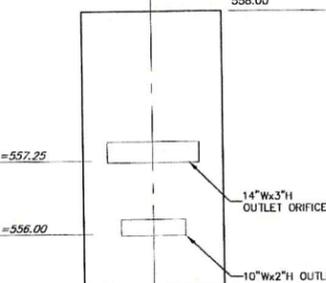
DETENTION BASIN (POND #8) - DETAIL PLAN

SCALE: 1"=20'

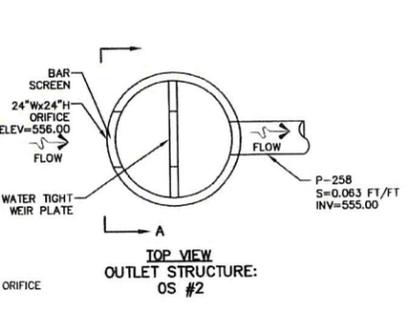


DETENTION BASIN (POND #8)

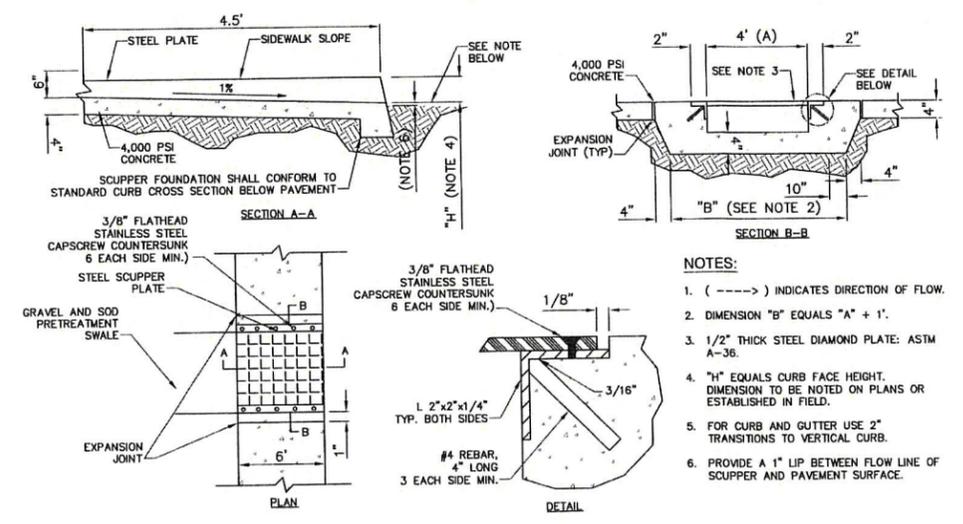
NOT TO SCALE



**TOP VIEW
OUTLET STRUCTURE:
OS #2**



BAFFLE/WEIR



SIDEWALK SCUPPER PLATE DETAIL

NOT TO SCALE

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
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Designed and Produced in NH

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Civil Engineering Services

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FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

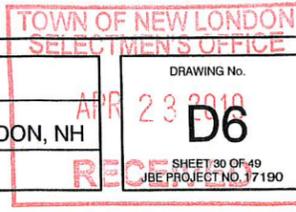
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

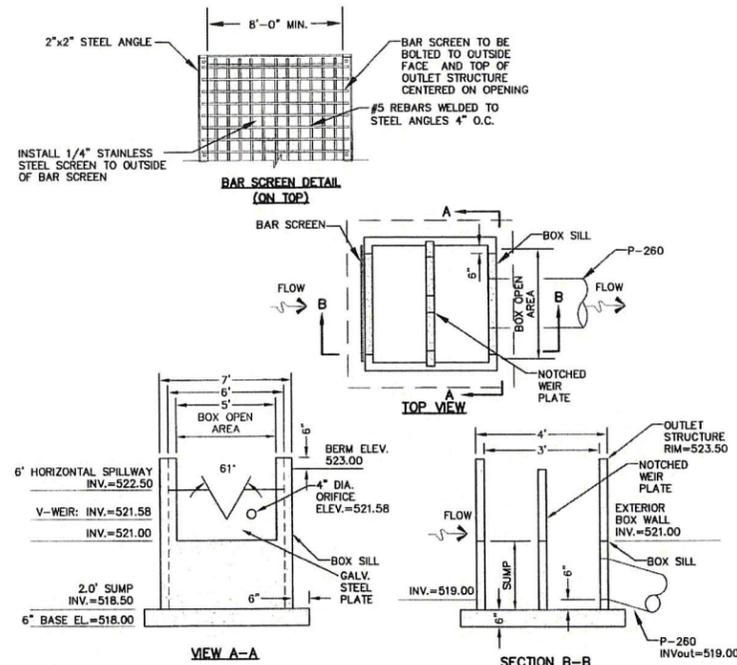
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

Drawing No. **D6**

DATE: **APR 23 2019**

SHEET 30 OF 49
JBE PROJECT NO. 17190

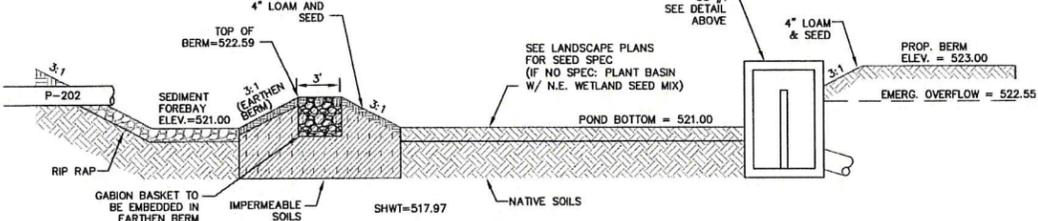




- NOTES:**
1. ALL OPENINGS TO BE FITTED WITH TRASH RACKS TO ENGINEER'S SPECIFICATIONS.
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW AND APPROVAL.
 3. STRUCTURE IS TO BE SET WITHIN THE EMBANKMENT.
 4. TOP OF STRUCTURE BOX TO BE SET 6" ABOVE BERM ELEVATION.

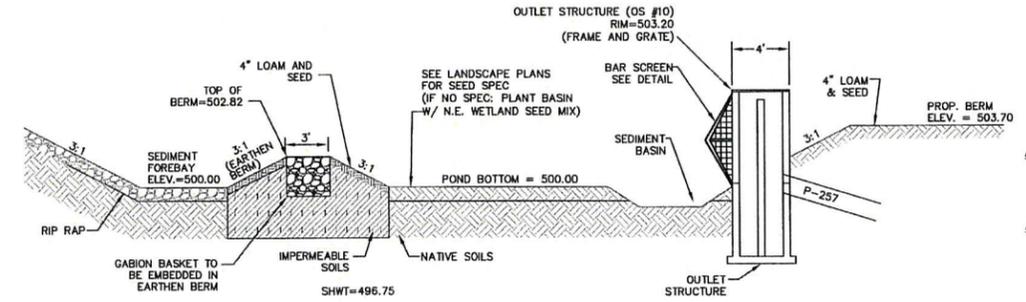
OUTLET STRUCTURE #1 (OS #1)

NOT TO SCALE



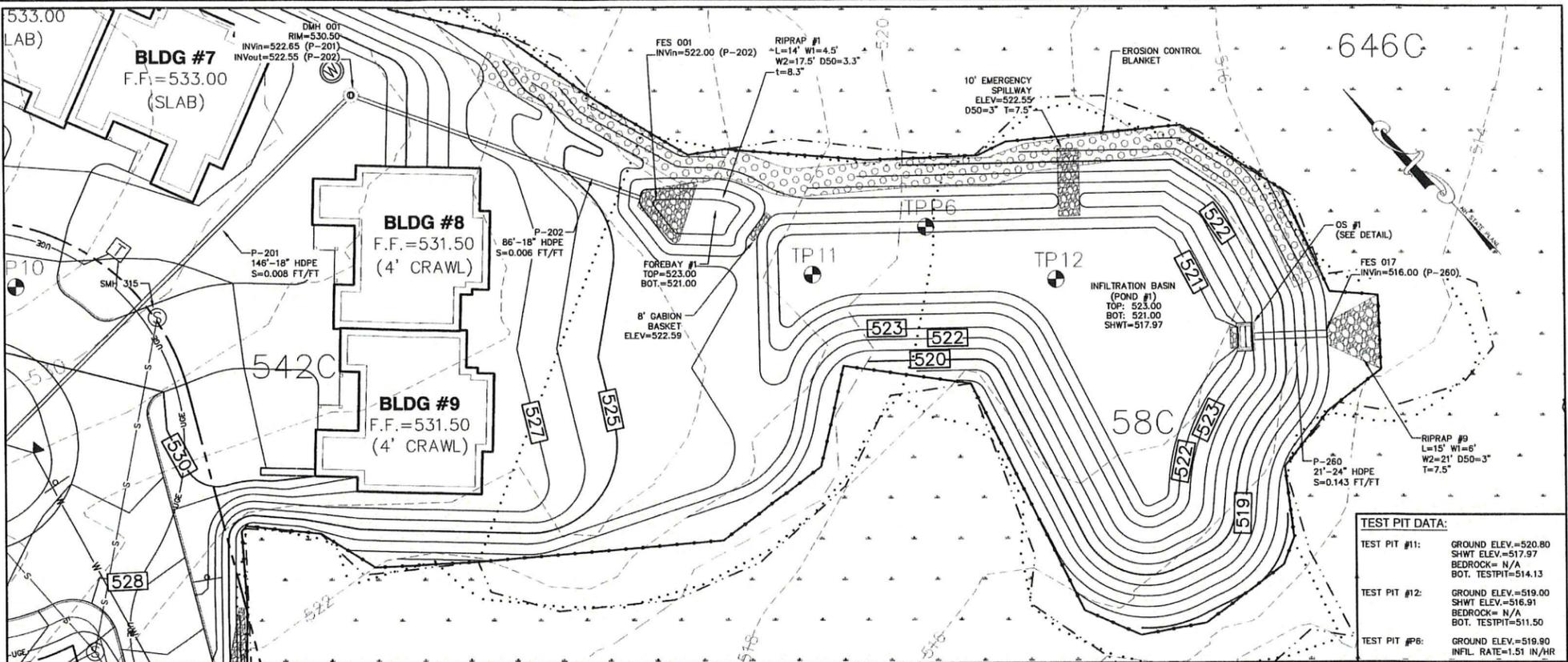
INFILTRATION BASIN (POND #1)

NOT TO SCALE



INFILTRATION BASIN (POND #4)

NOT TO SCALE



INFILTRATION BASIN (POND #1) - DETAIL PLAN

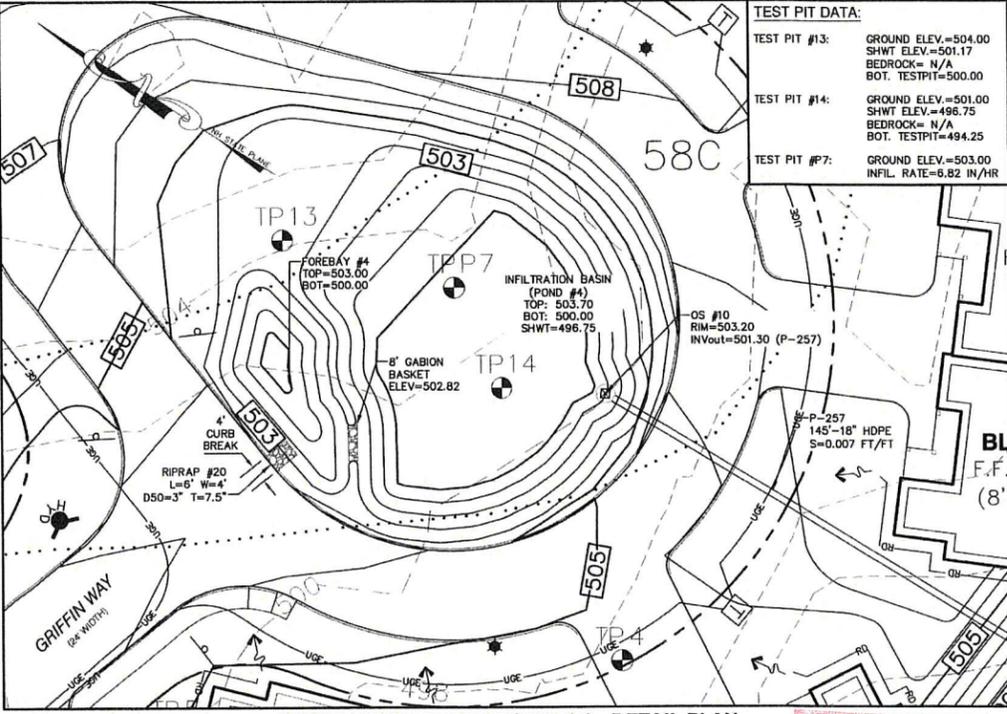
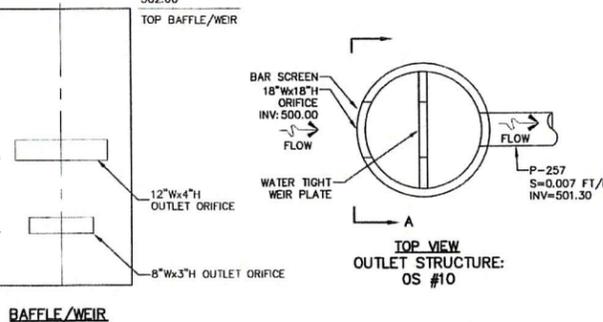
SCALE: 1"=20'

SOIL MODIFICATION NOTES (POND #4)

- THE CONTRACTOR SHALL ADHERE TO THE FOLLOWING PROCEDURE IN REGARDS TO SOIL TO BE PLACED BENEATH THE PROPOSED INFILTRATION SYSTEMS (SOIL PLACED BENEATH SYSTEMS MUST HAVE AN INFILTRATION RATE IN THE RANGE OF 8-10 INCHES/HOUR):
- a. CONTRACTOR SHALL PROVIDE SOIL SAMPLES OF IN-SITU AND PROPOSED SOIL ADD-MIX TO THE PROJECT'S GEOTECHNICAL ENGINEER FOR TESTING PRIOR TO CONSTRUCTION.
 - b. CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER TO CREATE AN ENGINEERED MIX DESIGN UTILIZING IMPORTED CLAY/SILT MATERIAL AND ON-SITE SOILS TO CREATE A SOIL DESIGN WITH AN INFILTRATION RATE IN THE RANGE OF 8-10 INCHES/HOUR.
 - c. CONTRACTOR SHALL CONSULT WITH THE GEOTECHNICAL ENGINEER TO DETERMINE AN APPROPRIATE THICKNESS OF ENGINEERED, MIXED MATERIAL (MIN. 24") TO BE PLACED BENEATH EACH STORMWATER SYSTEM.
 - d. AFTER INSTALLATION AND PRIOR TO THE INSTALLATION OF PIPES, CONTRACTOR TO COORDINATE ON-SITE INFILTRATION TEST WITH THE GEOTECHNICAL ENGINEER TO CONFIRM THE SOIL INFILTRATION RATE IS EQUAL TO OR LESS THAN 10 INCHES/HOUR.
 - e. RESULTS OF THE INFILTRATION TESTING IS TO BE SUBMITTED TO DES WITHIN 7 DAYS OF PERFORMING THE TEST.

INFILTRATION GENERAL NOTES

1. DO NOT TRAFFIC DIRECTLY ON EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT DIRECTLY ON INFILTRATION BASIN FLOOR AREA. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
2. AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
3. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



INFILTRATION BASIN (POND #4) - DETAIL PLAN

SCALE: 1"=20'

TEST PIT DATA:

TEST PIT #11:	GROUND ELEV.=520.80 SHWT ELEV.=517.97 BEDROCK= N/A BOT. TESTPIT=514.13
TEST PIT #12:	GROUND ELEV.=519.00 SHWT ELEV.=516.91 BEDROCK= N/A BOT. TESTPIT=511.50
TEST PIT #6:	GROUND ELEV.=519.90 INFIL. RATE=1.51 IN/HR

TEST PIT DATA:

TEST PIT #13:	GROUND ELEV.=504.00 SHWT ELEV.=501.17 BEDROCK= N/A BOT. TESTPIT=500.00
TEST PIT #14:	GROUND ELEV.=501.00 SHWT ELEV.=496.75 BEDROCK= N/A BOT. TESTPIT=494.25
TEST PIT #7:	GROUND ELEV.=503.00 INFIL. RATE=6.82 IN/HR

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Design: BWG Draft: EMP Date: 7/3/18
 Checked: WGM Scale: AS NOTED Project No.: 17190
 Drawing Name: 17190-PLAN.dwg
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 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
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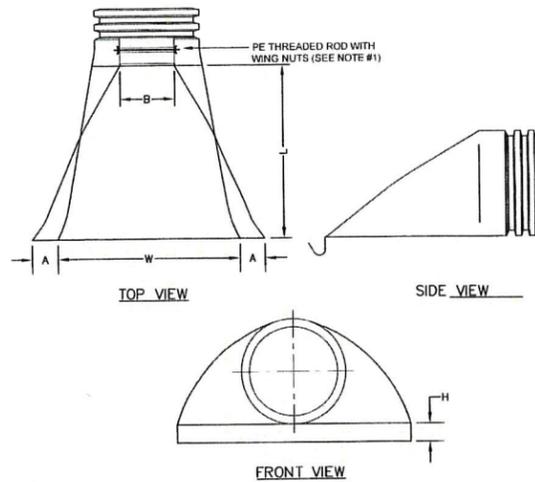
Plan Name: **DETAIL SHEET**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

TOWN OF NEW LONDON
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DRAWING No. **APR 23 2019**
D7
 SHEET 31 OF 49
 JBE PROJECT NO. 17190

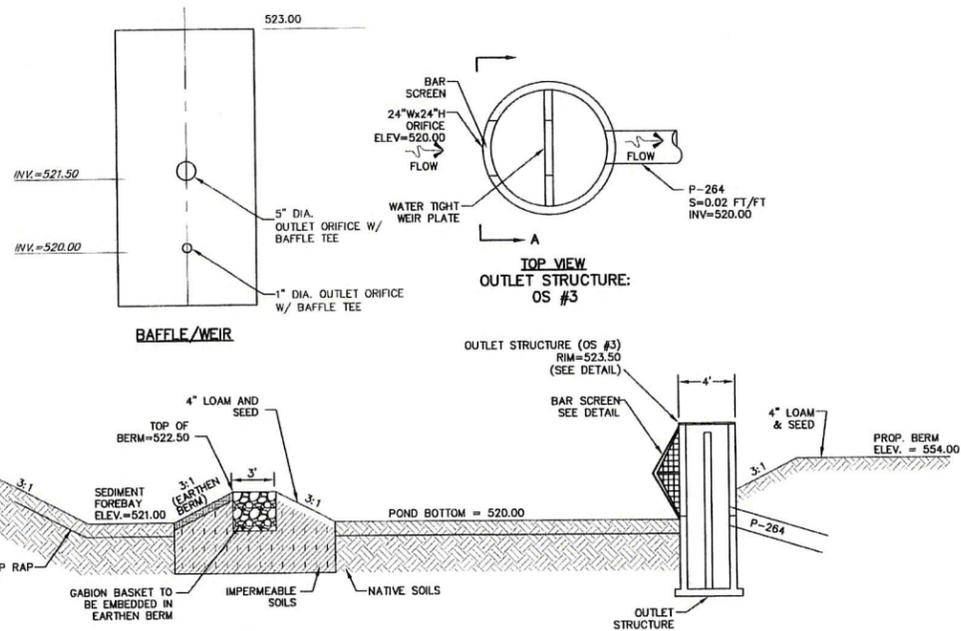


PART NO.	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

- NOTES:**
1. PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" AND 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.
 2. ALL DIMENSIONS ARE NOMINAL.

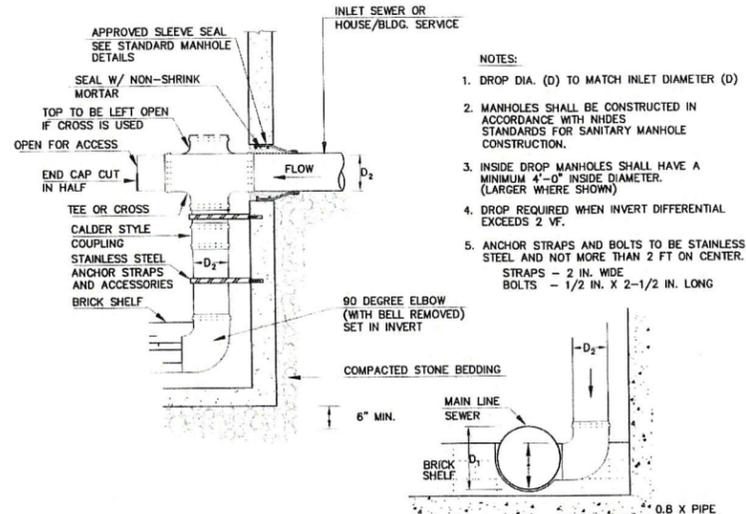
ADS N-12 FLARED END SECTION

NOT TO SCALE



DETENTION BASIN (POND #15)

NOT TO SCALE



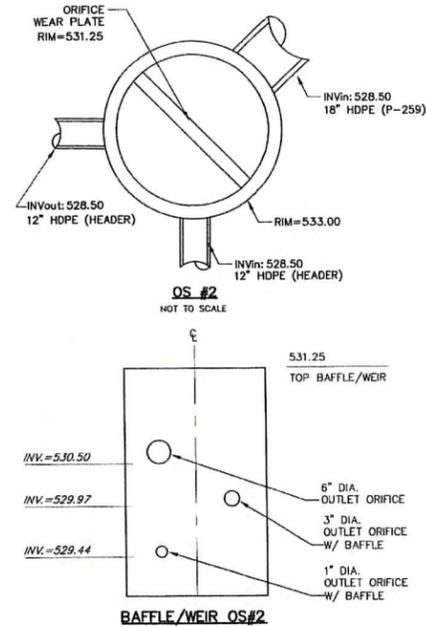
- NOTES:**
1. DROP DIA. (D) TO MATCH INLET DIAMETER (D)
 2. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NHDES STANDARDS FOR SANITARY MANHOLE CONSTRUCTION.
 3. INSIDE DROP MANHOLES SHALL HAVE A MINIMUM 4"-0" INSIDE DIAMETER. (LARGER WHERE SHOWN)
 4. DROP REQUIRED WHEN INVERT DIFFERENTIAL EXCEEDS 2 VF.
 5. ANCHOR STRAPS AND BOLTS TO BE STAINLESS STEEL AND NOT MORE THAN 2 FT ON CENTER. STRAPS - 2 IN. WIDE BOLTS - 1/2 IN. X 2-1/2 IN. LONG

INVERT DETAIL AT SIDE DROPS

- NOTES:**
1. THE MANHOLE, INCLUDING ALL COMPONENT PARTS, SHALL HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE REQUIREMENTS AND CONFIGURATIONS. SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
 2. INVERTS AND SHELVES. MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW. AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
 3. SHALLOW MANHOLE. IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER SHALL BE USED, WHERE INDICATED, HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS. SEE MISCELLANEOUS DETAILS-SEWERS.

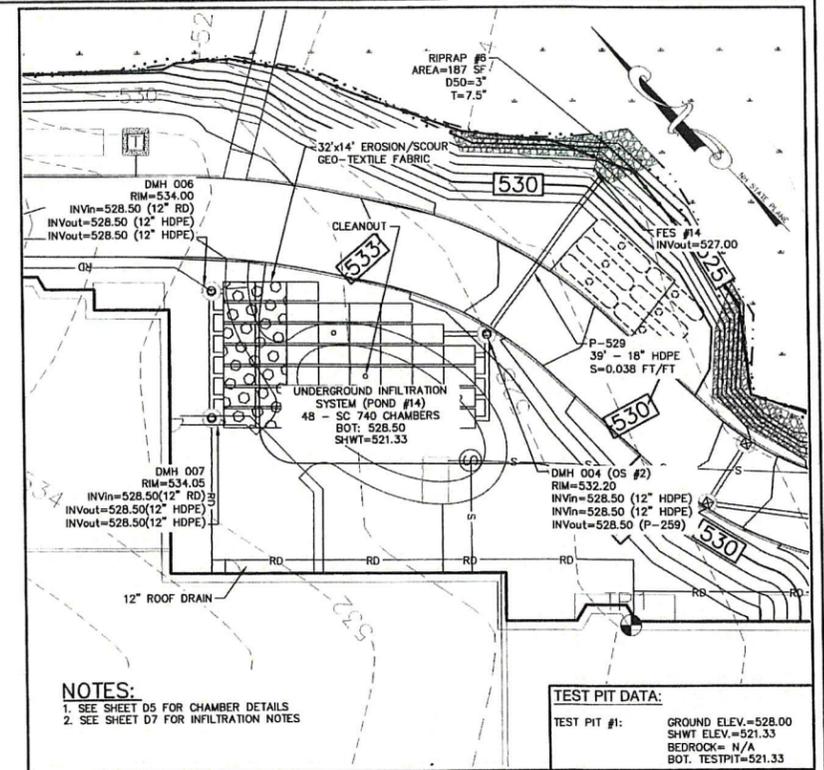
SEWER MANHOLE - INTERNAL DROP DETAIL

NOT TO SCALE



POND #14 - OUTLET STRUCTURE (OS #2)

NOT TO SCALE



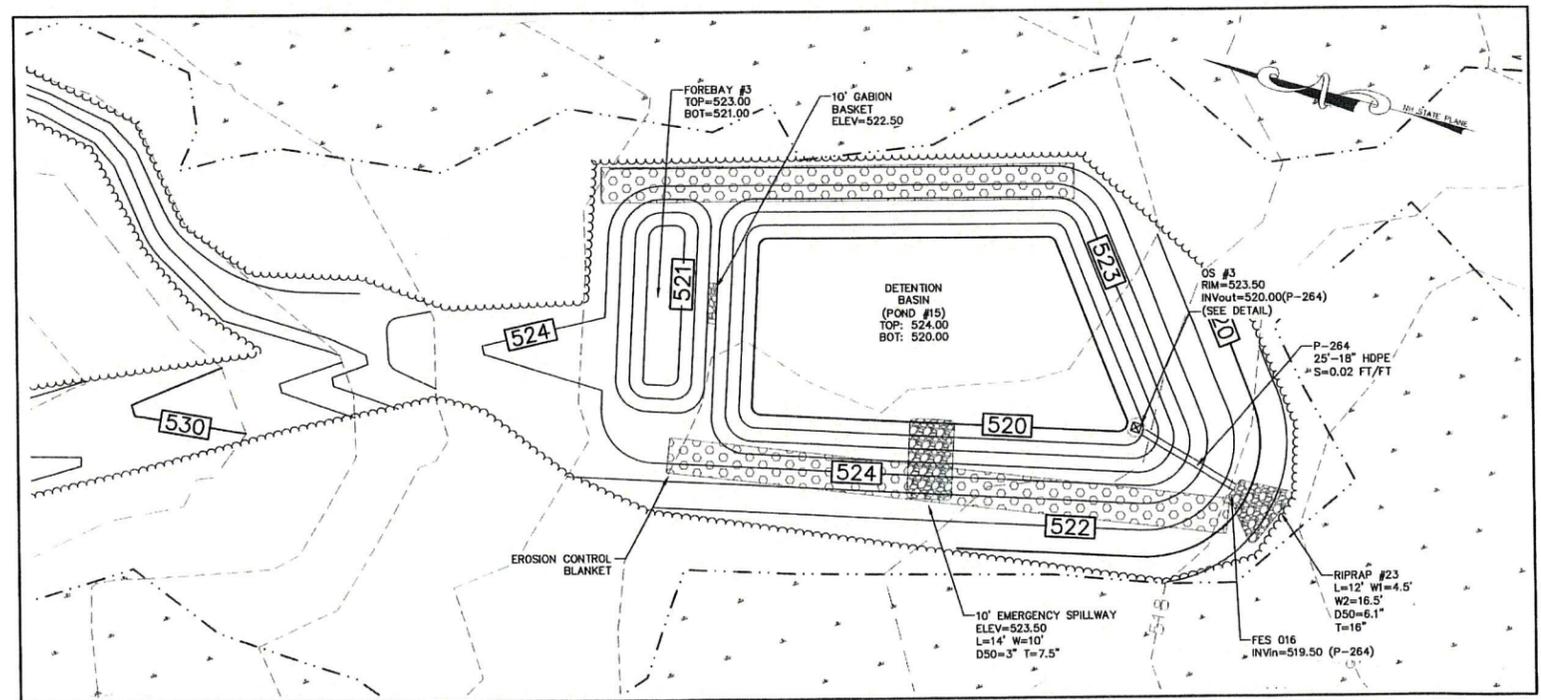
- NOTES:**
1. SEE SHEET 05 FOR CHAMBER DETAILS
 2. SEE SHEET D7 FOR INFILTRATION NOTES

TEST PIT DATA:

TEST PIT #1:	GROUND ELEV.=528.00
	SHWT ELEV.=521.33
	BEDROCK= N/A
	BOT. TESTPIT=521.33

UNDERGROUND INFILTRATION (POND #14) - DETAIL PLAN

SCALE: 1"=20'



DETENTION BASIN (POND #15) - DETAIL PLAN

SCALE: 1"=20'

Design: BWG Draft: EMP Date: 7/3/18
 Checked: WGM Scale: AS NOTED Project No.: 17190
 Drawing Name: 17190-PLAN.dwg
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3	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
2	1/22/2019	REVISED PER AOT COMMENTS	EMP
1		REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

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 P.O. Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**

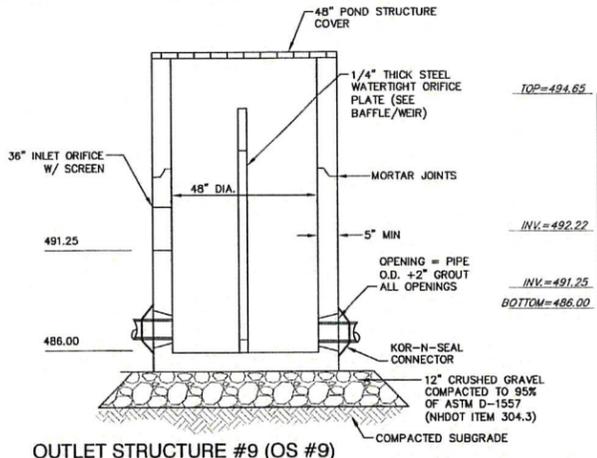
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

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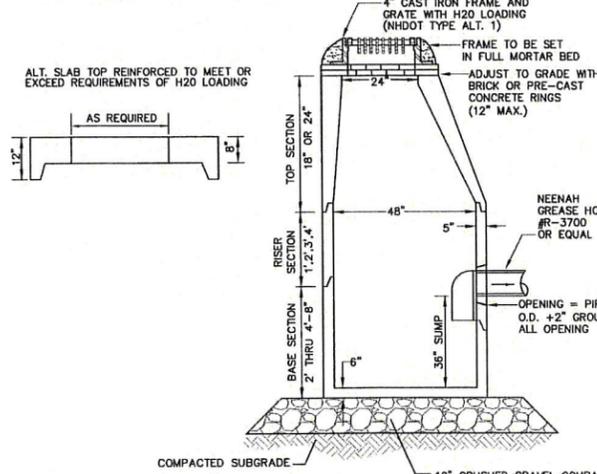
DRAWING No. **17190**
APR 23 2019
D8
 SHEET 32 OF 49
 JBE PROJECT NO. 17190

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OUTLET STRUCTURE #9 (OS #9)

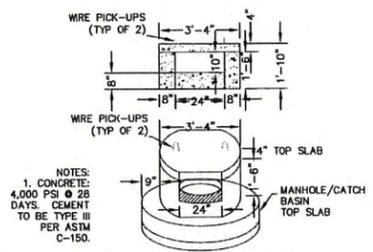
NOT TO SCALE



- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING
 5. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
 9. ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

CATCH BASIN WITH GREASE HOOD

NOT TO SCALE

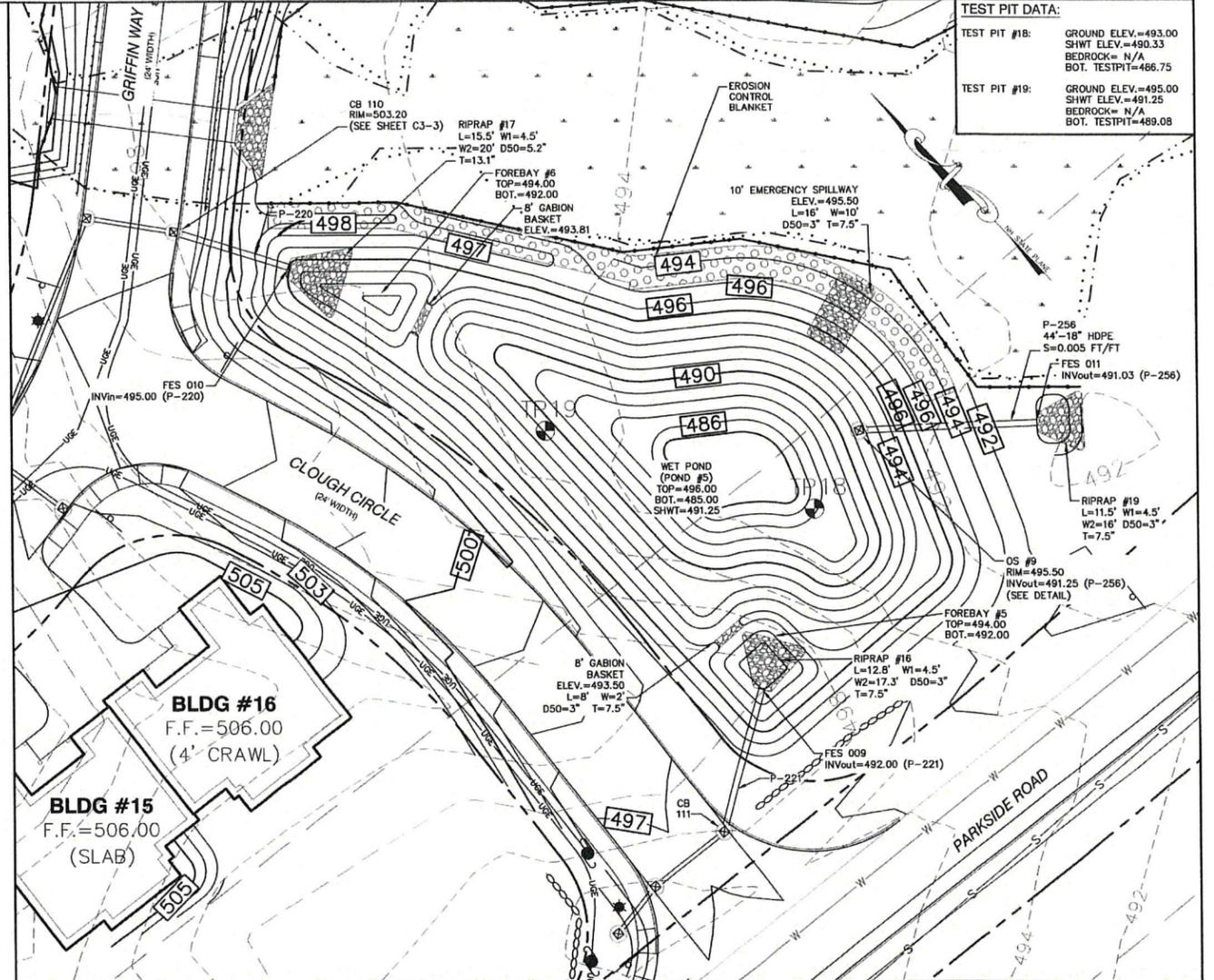


NHDOT CATCH BASIN TYPE "C" THROAT

NOT TO SCALE

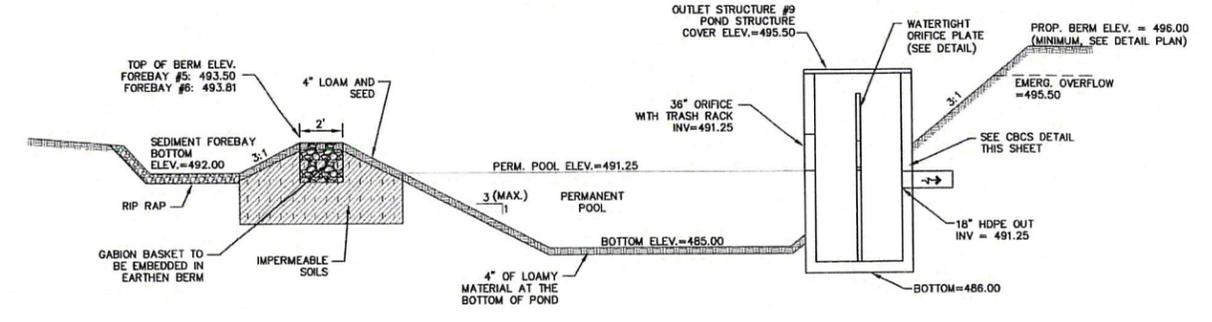
WET POND CONSTRUCTION CRITERIA

1. CONSTRUCTION OF WET PONDS TO BE WITNESSED BY THE DESIGNER (OR HIS/HER REPRESENTATIVE), AT COMPLETION OF CONSTRUCTION DESIGNER SHALL PROVIDE LETTER TO THE TOWN INDICATING THE CONSTRUCTION WAS IN CONFORMANCE WITH THE DESIGN INTENT.
2. FOUNDATION PREPARATION -- THE FOUNDATION AREA SHALL BE CLEARED OF TREES LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOO, AND RUBBISH; IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOO SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL. EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FILL PLACEMENT -- THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOO, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATTER. THE ENTIRE EMBANKMENT AREA OF THE DETENTION POND SHALL BE EXCAVATED A MINIMUM 2' BELOW THE POND BOTTOM, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 92% OF ASTM D-1557, AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED FOR ANY REASON.
3. EMBANKMENT MATERIAL SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100%, #4 SIEVE 40-90%, #40 SIEVE 50-80%, #100 SIEVE 25-40%, #200 SIEVE 15-30% (OF THE TOTAL SAMPLE).
4. SELECTED BACK FILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS AND ANTI SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES, TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
5. MOISTURE CONTROL -- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
6. COMPACTION -- CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
7. PROTECTION -- A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS SUCH AS MULCHES OR GRAVEL MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
8. SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.
9. CONCRETE -- THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAPMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUB GRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
10. BERMS AND WEIRS SEPARATING THE FOREBAY AND BASIN SHOULD BE CONSTRUCTED WITH CLAY, OR NON-CONDUCTIVE SOILS, AND/OR A FINE GEOTEXTILE, OR SOME COMBINATION THEREOF, TO AVOID WATER SEEPAGE AND SOIL PIPING THROUGH THESE EARTHEN DIVIDERS.



WET POND (POND #5) - DETAIL PLAN

SCALE: 1"=20'



WET POND #5 SECTION

NOT TO SCALE

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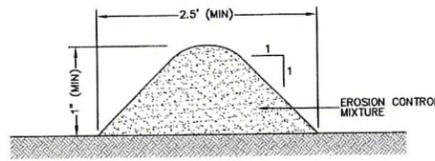
J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

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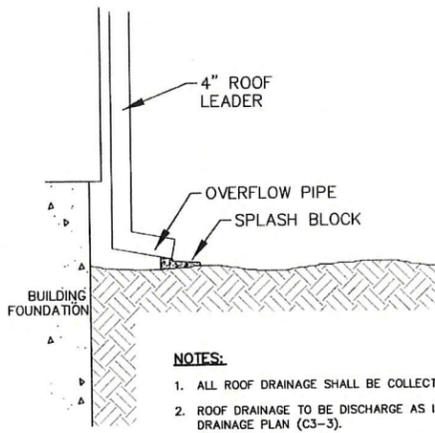
DRAWING No.
APR 23 2019
D9
SHEET 33 OF 49
JBE PROJECT NO. 17190



- NOTES:**
- ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
 - THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
 - THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
 - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
 - THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
 - LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
 - SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
 - THE pH SHALL BE BETWEEN 5.0 AND 8.0.
 - ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
 - ON SLOPES LESS THAN 5%, OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
 - FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
 - STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

ORGANIC FILTER BERM

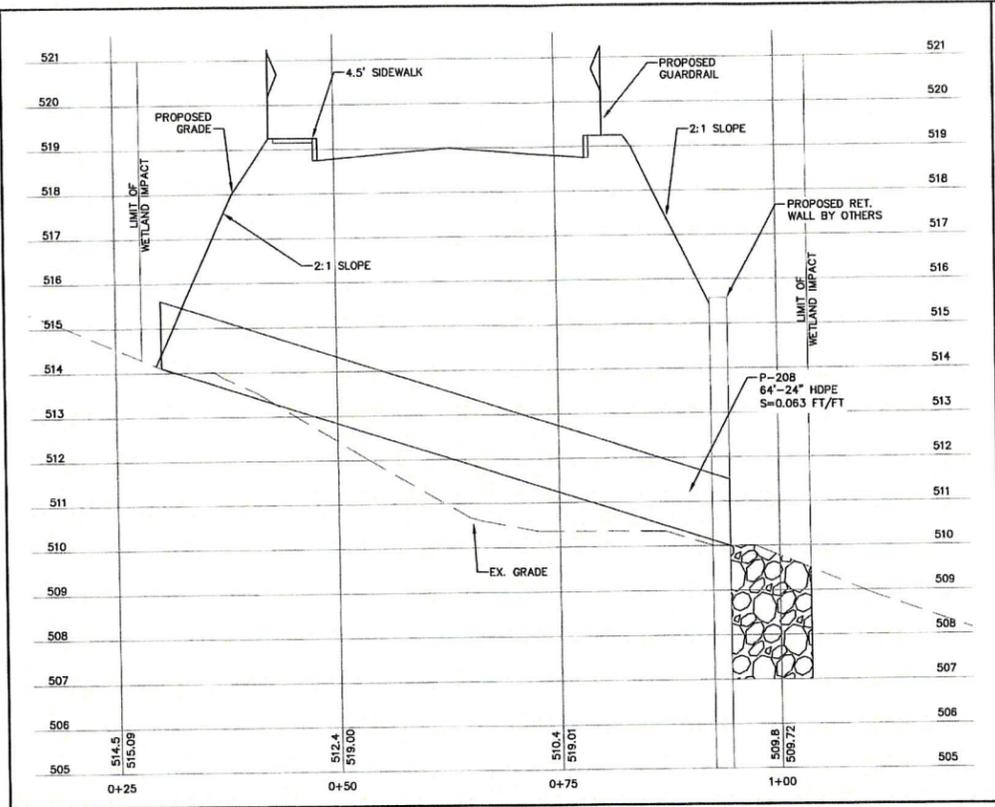
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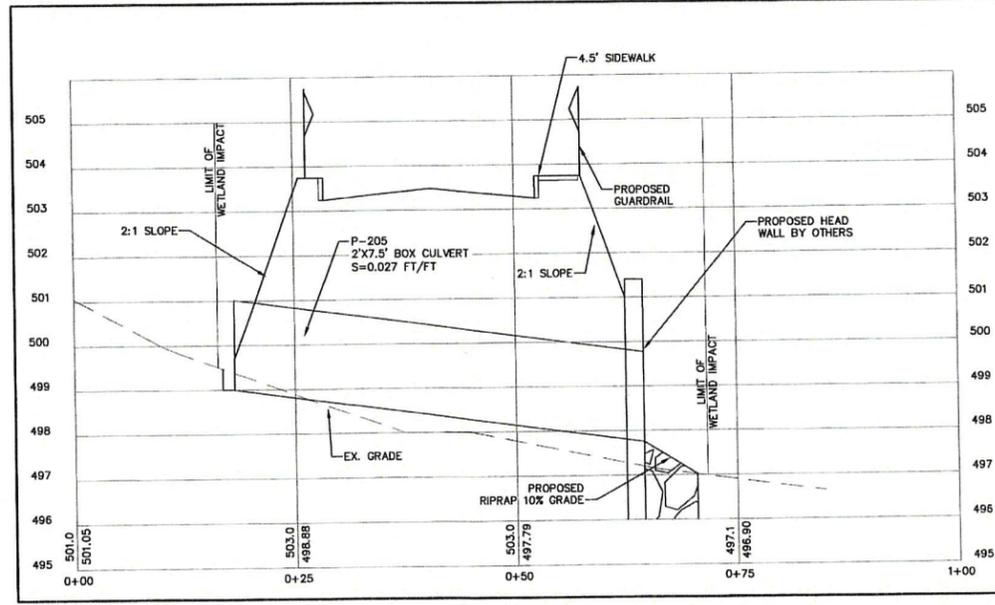
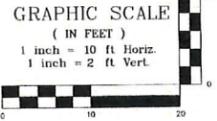
- NOTES:**
- ALL ROOF DRAINAGE SHALL BE COLLECTED WITHIN A GUTTER SYSTEM.
 - ROOF DRAINAGE TO BE DISCHARGE AS INDICATED ON GRADING AND DRAINAGE PLAN (C3-3).
 - SPLASH BLOCKS SHALL BE INSTALLED AT ALL GUTTER DISCHARGES. IF EROSION OCCURS AT DISCHARGE, ADDITIONAL EROSION CONTROL MEASURES SUCH AS RIP-RAP OR EROSION CONTROL FABRIC SHALL BE INSTALLED.

ROOF / GUTTER DRAINAGE OUTLET

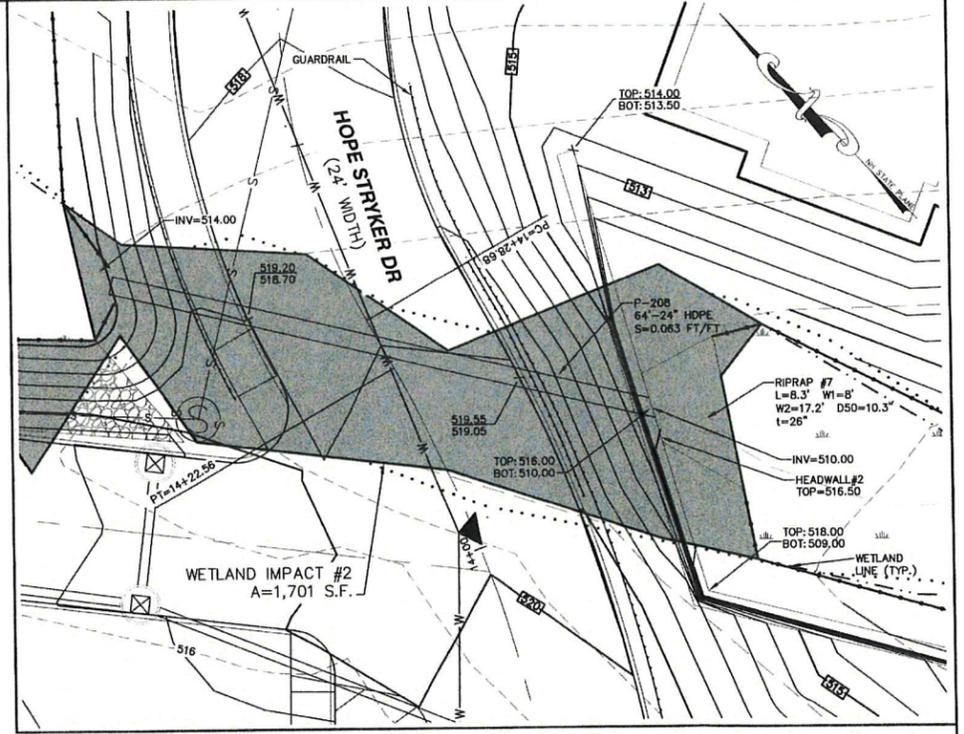
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WETLAND CROSS SECTION (WET IMPACT #2)

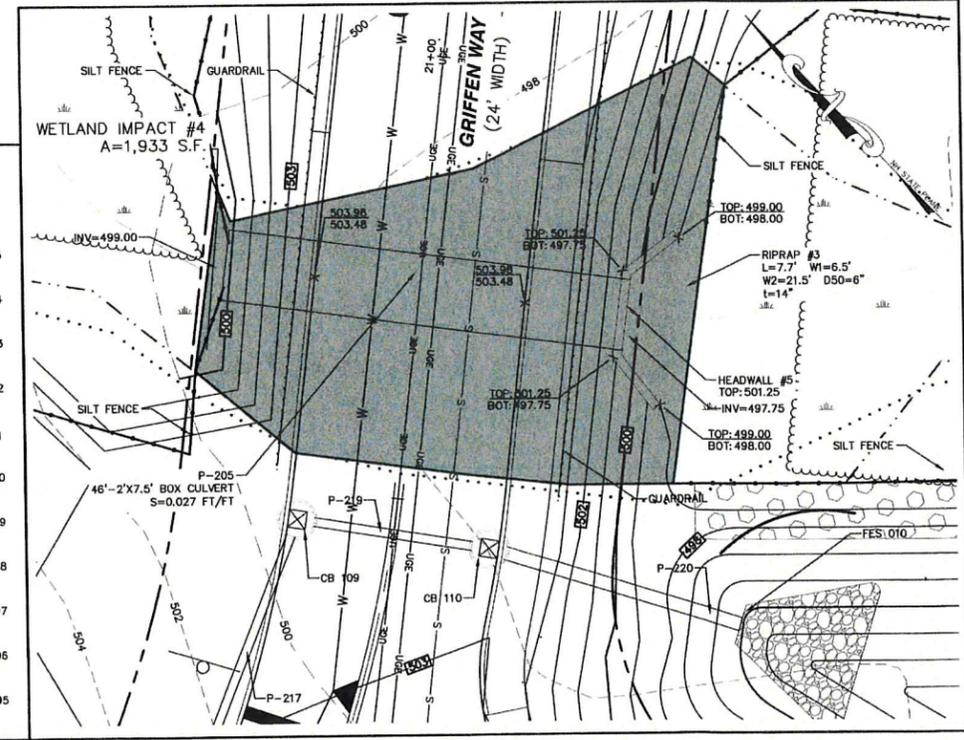


WETLAND CROSS SECTION (WET IMPACT #4)



WETLAND CROSSING - DETAIL PLAN (WET IMPACT #2)

SCALE: 1"=10'



WETLAND CROSSING - DETAIL PLAN (WET IMPACT #4)

SCALE: 1"=10'

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Design: BWG	Draft: EMP	Date: 7/3/18
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Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

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SHEET 34 OF 49
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TEMPORARY EROSION CONTROL NOTES

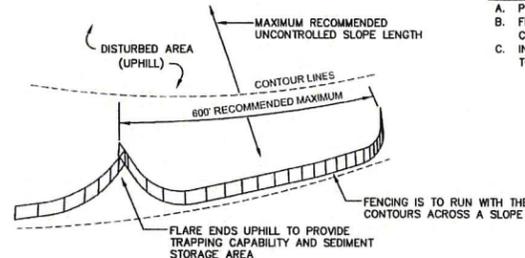
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.25" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF EARTH MOVING ACTIVITIES UNTIL THE SITE IS STABLE.
 - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 0.25 INCH OR GREATER RAIN EVENT (I.E. 0.25 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
 - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17.
- DEWATERING OF PROPOSED SITE FEATURES SHALL BE ACCOMPLISHED THROUGH THE USE OF GRAVITY FLOW OR VIA MECHANICAL PUMPS.
 - SEDIMENT LADEN WATERS FROM DEWATERING PROCEDURES SHALL BE DIRECTED TO A SEDIMENT TRAP OR A SEDIMENT BAG TO REMOVE SEDIMENT PRIOR TO DISCHARGE TO SURFACE WATERS.
 - SEE SEDIMENT TRAP DETAIL DEPICTED ON SHEET E2 FOR FURTHER GUIDANCE ON SEDIMENT TRAP CONSTRUCTION AND OPERATION.
- SEDIMENT CONTROLS SHALL BE INSTALLED UP-GRADE OF WETLAND BOUNDARIES, PARALLEL TO CONTOURS.
- SOIL STOCKPILES SHALL BE PROTECTED FROM STORMWATER RUN-ON WITH TEMPORARY PERIMETER MEASURES AND HAVE SEDIMENT BARRIERS TO PREVENT THE MIGRATION OF MATERIAL.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR		
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOLI	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/2	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/2 FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES



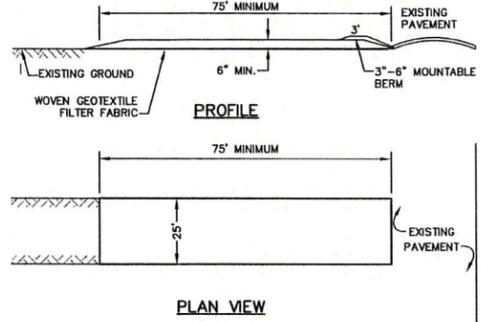
7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING SPECIFICATIONS

- GRADING AND SHAPING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT, TREFOLI AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDS ARE ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - SALT MARSH HAY, STRAW, OR OTHER APPROVED MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. SALT MARSH HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ON-SITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

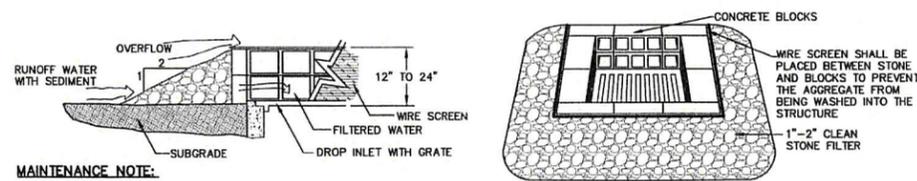


NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



MAINTENANCE NOTE:

- ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINFALL AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED IN A SUITABLE UPLAND AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURE OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.

TEMPORARY CATCH BASIN INLET PROTECTION

(Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE

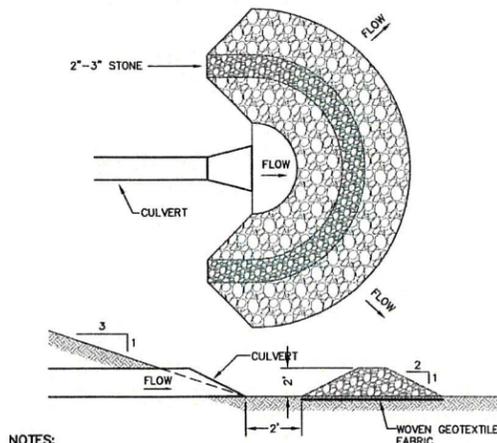
CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, SALT MARSH HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM. DEWATERING AND WETLAND FILL TO FOLLOW DEWATERING PHASE PLANS EA1-EA3.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED* WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

*STABILIZED: IN A CONDITION IN WHICH THE SOILS ON THE SITE WILL NOT ERODE UNDER THE CONDITIONS OF A 10-YEAR STORM. (NHAOT ENV-EQ 1502.54)

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.



NOTES:

- TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURE SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH THE PROPOSED RIP RAP FIELD. AREAS OUTSIDE THE RIP RAP FIELD ARE TO BE VEGETATED AND SMOOTHED.

TEMPORARY CULVERT OUTLET PROTECTION CHECK DAM

NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 6" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE

Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		

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REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP
		REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

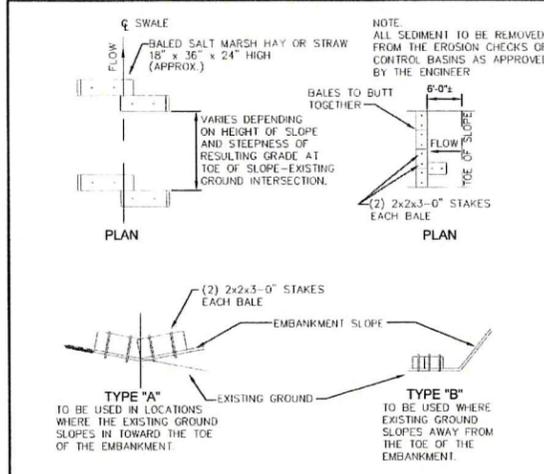
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

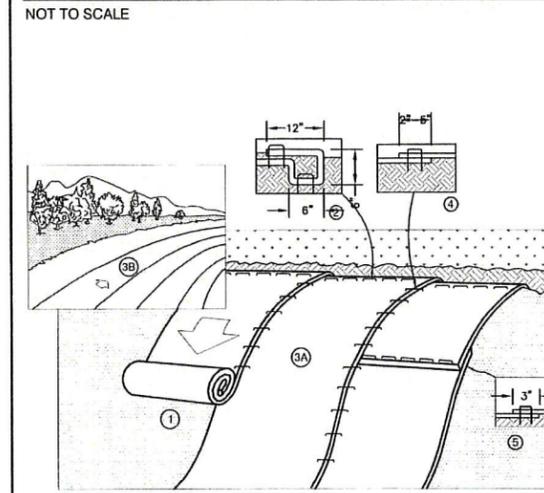
TOWN OF NEW LONDON
SELECTMEN'S OFFICE

DRAWING No.
APR 23 2019
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SHEET 35 OF 49
JBE PROJECT NO. 17190

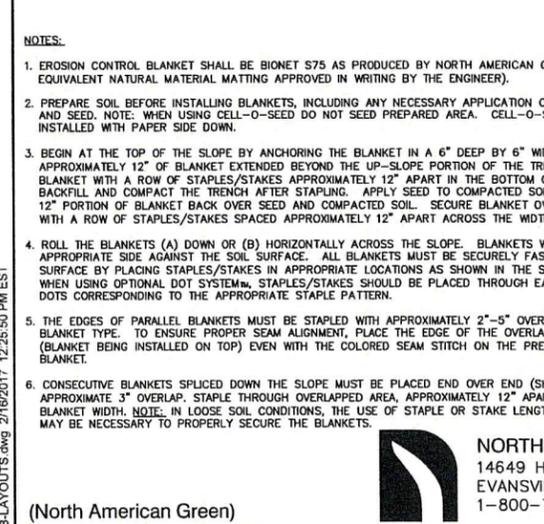
F:\CADDMASTER\STANDARD\DWG\JOB-LAYOUTS.dwg 2/15/2017 12:25:50 PM EST



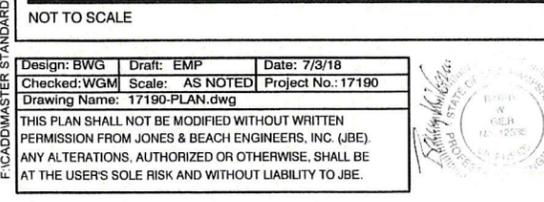
BALED HAY OR STRAW EROSION CHECK DETAIL
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EROSION CONTROL BLANKET SLOPE INSTALLATION
NOT TO SCALE



STONE CHECK DAM
NOT TO SCALE



FILTREXX® SILT SOXX™
NOT TO SCALE

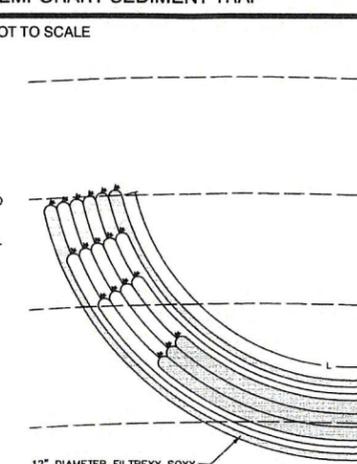
BEST MANAGEMENT PRACTICES FOR BLASTING.

- ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING:
 - PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDLING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURE; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.
 - LOADING PRACTICES. THE FOLLOWING BASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
 - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
 - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
 - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
 - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
 - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
 - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
 - EXPLOSIVE SELECTION. THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
 - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
 - PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
 - MUCK PILE MANAGEMENT. MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
 - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
 - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
 - SPILL PREVENTION MEASURES AND SPILL MITIGATION. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
 - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
 - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
 - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
 - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
 - INSPECT STORAGE AREAS WEEKLY.
 - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
 - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
 - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
 - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
 - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
 - PLACE DRIP PANS UNDER SPOIGTS, VALVES, AND PUMPS.
 - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
 - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
 - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
 - THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
 - FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES [NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD/DWGB/22.6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT OR ITS SUCCESSOR DOCUMENT.

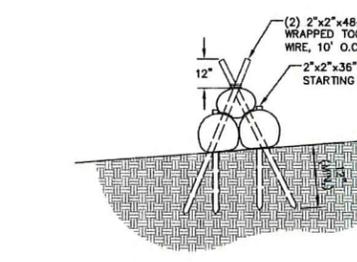
TEMPORARY SEDIMENT TRAP

- MAINTENANCE NOTES:**
- SEDIMENT TRAPS MUST BE INSPECTED AND MUST BE CLEANED WHEN THE ORIGINAL CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR LESS, AS REQUIRED BY THE GOVERNING AGENCY.
 - ALL MATERIAL EXCAVATED FROM BEHIND SEDIMENT BARRIERS OR FROM TRAPS SHALL BE INCORPORATED INTO ON-SITE SOILS OR SPREAD OUT ON AN UPLAND PORTION OF THE SITE AND STABILIZED.
 - VERIFY THAT NO EROSION IS OCCURRING AT DISCHARGE POINTS TO AND FROM IMPOUNDMENTS AND VERIFY THAT TRAP SIDE SLOPES ARE STABILIZED AND SHOW NO SIGNS OF EROSION.
 - THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
 - TRAP TO BE CLEANED WHEN 50% OF ORIGINAL VOLUME IS FILLED.
 - THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

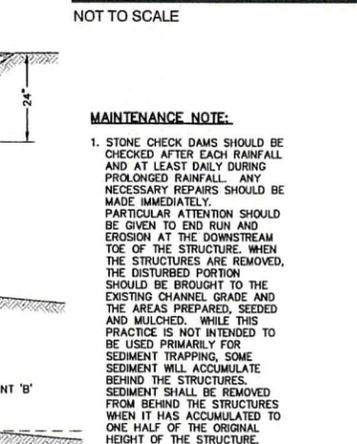
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NOT TO SCALE



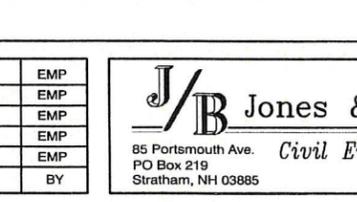
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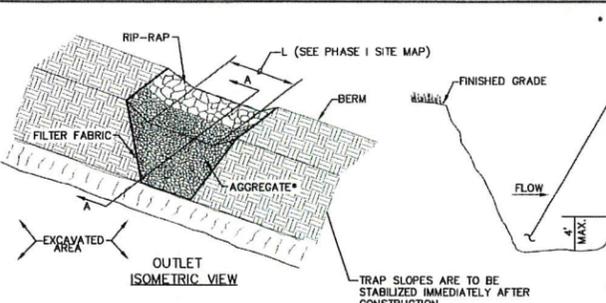
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NOT TO SCALE



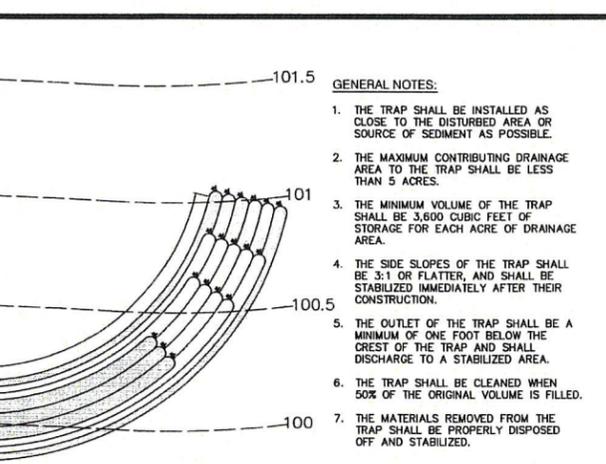
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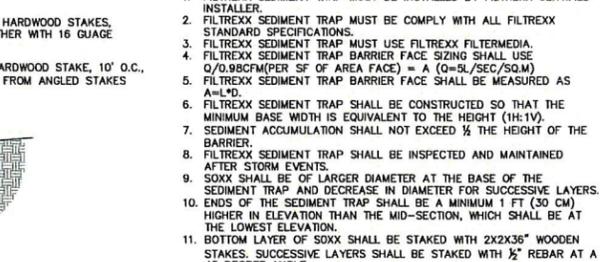
FILTREXX® SILT SOXX™
NOT TO SCALE



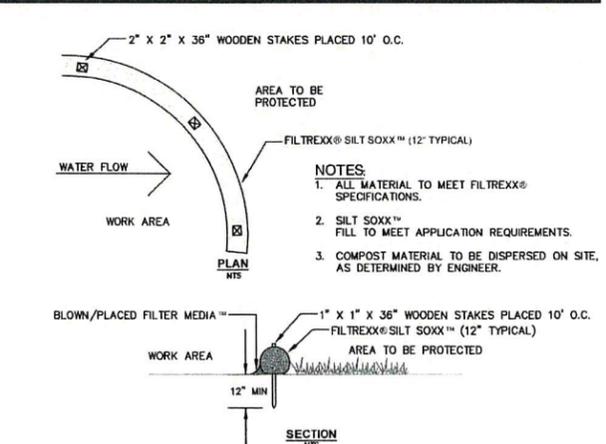
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TEMPORARY SEDIMENT TRAP
NOT TO SCALE



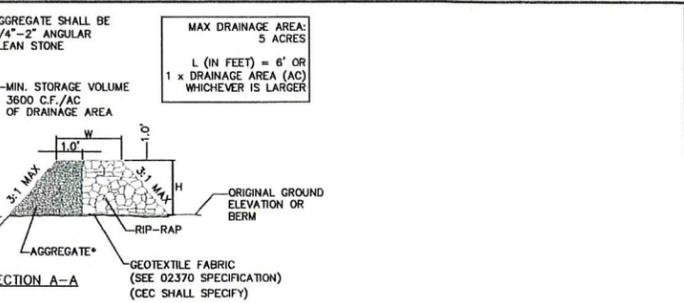
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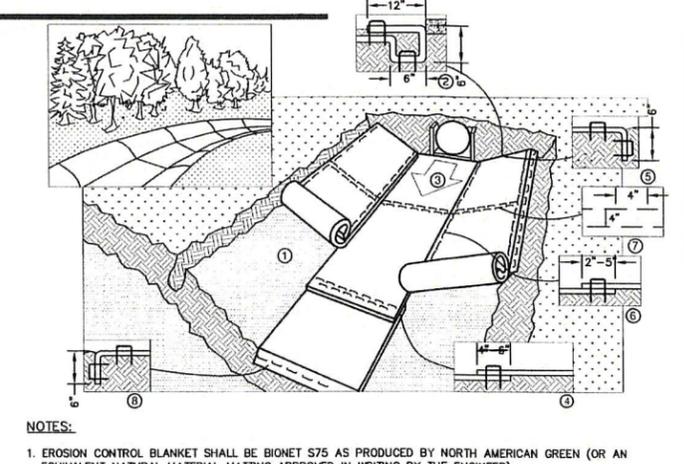
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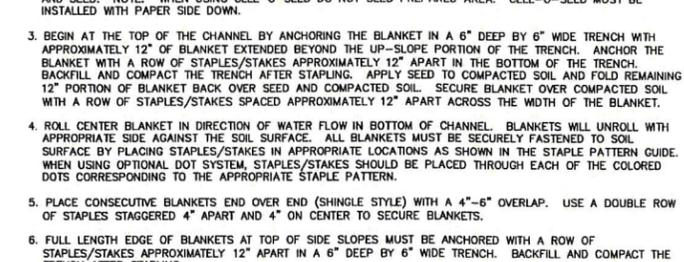
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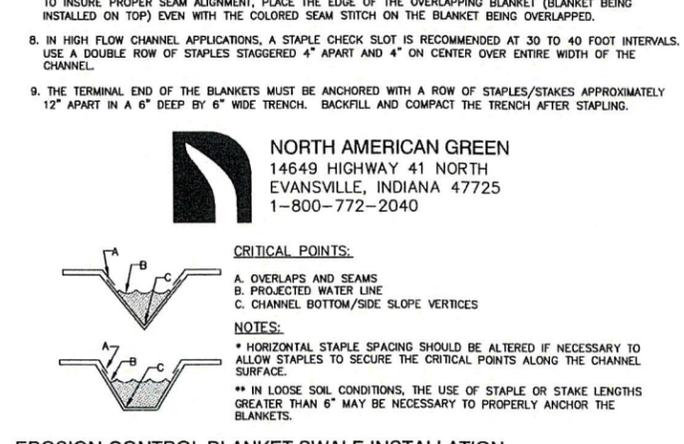
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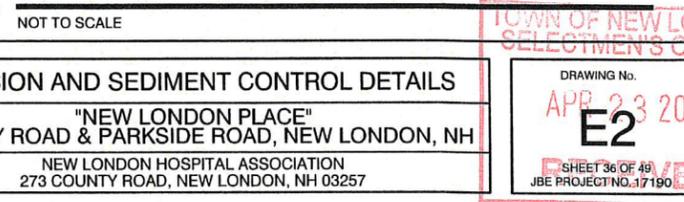
TEMPORARY SEDIMENT TRAP
NOT TO SCALE



FILTREXX SEDIMENT TRAP DETAIL
NOT TO SCALE



STONE CHECK DAM
NOT TO SCALE



FILTREXX® SILT SOXX™
NOT TO SCALE

NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

CRITICAL POINTS:

- OVERLAPS AND SEAMS
- PROJECTED WATER LINE
- CHANNEL BOTTOM/SIDE SLOPE VERTICES

NOTES:

- HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
- IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

EROSION CONTROL BLANKET SWALE INSTALLATION
(North American Green)
NOT TO SCALE

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
6	4/22/2019	ISSUED FOR CONSTRUCTION	EMP
6	3/12/2019	REVISED PER AOT COMMENTS	EMP
5	2/26/2019	REVISED PER AOT COMMENTS	EMP
4	1/30/2019	REVISED PER NHDES SEWER COMMENTS	EMP
3	1/22/2019	REVISED PER AOT COMMENTS	EMP

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

TOWN OF NEW LONDON
SELECTMEN'S OFFICE

DRAWING No.
APR 23 2019
E2
SHEET 36 OF 49
JBE PROJECT NO. 17190

Do not heavily prune the tree at planting. Prune only cross-over limbs, co-terminal leaders, and broken or dead branches. Some interior limbs and lateral branches may be pruned; however, do NOT remove the terminal buds of branches that extend to the crown.

Trees less than 3" in caliper shall be staked with three stakes per tree, spaced evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used at attachment to trees. Each wire shall be flagged with a visual marker. 24" stakes or metal drive sections shall be used to anchor the guy wires. Stakes/Anchors shall be driven 12" min. outside the edge of the planting pit into stable soil. Remove all staking NO LATER than the end of the first growing season after planting.

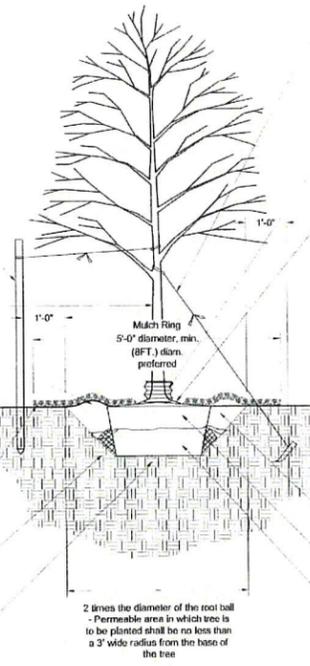
Mark the north side of the tree in the nursery. Rotate the tree to face north at the site whenever possible.

4 in. high earth saucer beyond edge of root ball

2 in. max. Mulch. Do NOT place mulch in contact with tree trunk. Maintain the mulch wood-free for a minimum of three years after planting.

Tamp soil around root ball base firmly with foot pressure so that root ball does not shift.

Place root ball on unexcavated or lamped soil.



Trees greater than 3" in caliper shall be guyed with three guy wires, spaced evenly around the trunk with 12 gauge wire. Plastic hose sections shall be used at attachment to trees. Each guy wire shall be flagged with a visual marker. 24" stakes or metal drive sections shall be used to anchor the guy wires. Stakes/Anchors shall be driven 12" min. outside the edge of the planting pit into stable soil. Remove all guying NO LATER than the end of the first growing season after planting.

6" Corrugated PVC tree sock

Each tree must be planted such that the original trunk flare is visible at the top of the root ball. Trees where the original trunk flare is not visible may be rejected. Do NOT cover the top of the root ball with soil. Before planting Contractor shall inspect the rootball for the location of the original root flare. If the original root flare is not visible at the top of the root ball then the Contractor shall then gently remove from the top of the root ball any excess soil from nursery operations that may be covering the original root flare. All secondary and girdling roots shall be removed prior to planting. Trees with 4" or more of extraneous soil and/or adventitious roots greater than 1/8" shall be rejected. The tree shall be planted with the original root flare at or slightly (2-3") above surrounding finished grade.

Backfill with existing soil. In sandy and heavy clay soils add 20% max. by volume composted organic material to the existing soil.

Remove all twine, rope, wire, and burp. If plant is shipped with a wire basket around the root ball, prior to planting, the contractor shall cut away the bottom of the wire basket, leaving the sides in place. Once the tree is placed and tamped, the contractor shall remove the remainder of the wire basket and backfill the planting pit as noted above.

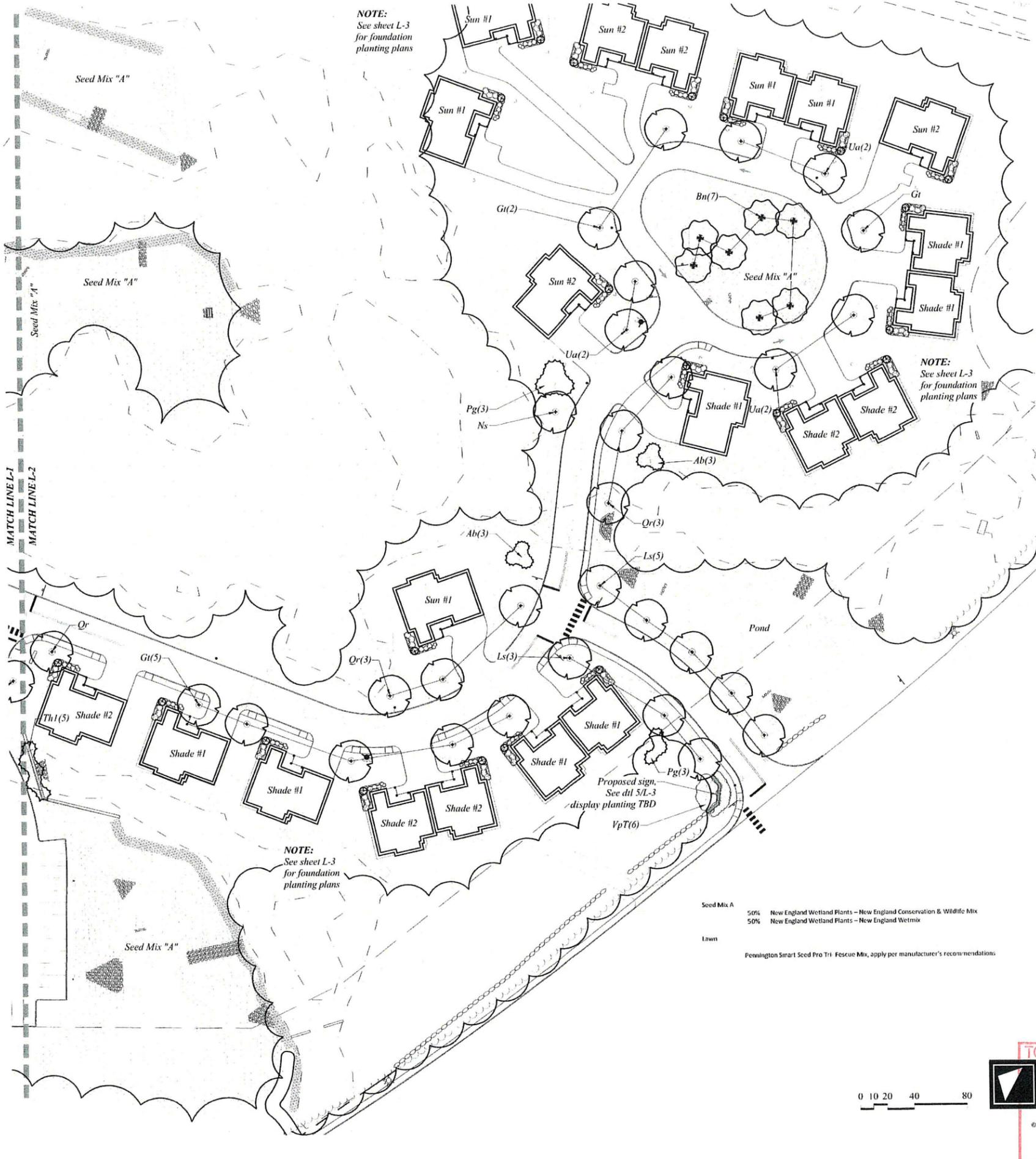
Tree Planting Detail

Plant List

TREES	Symbol	Botanical Name	Common Name	Quantity	Size	Comments
	Ab	<i>Abies balsamea</i>	Balsam Fir	6	7-8' ht.	BB
	Ak	<i>Korean Fir</i>	Korean Fir	2	7-8' ht.	BB
	An	<i>Autumn Brilliance Serviceberry</i>	Autumn Brilliance Serviceberry	7	8-10' ht.	BB Multi-stemmed
	Ar	<i>Acer rubrum 'October Glory'</i>	October Glory Red Maple	3	2-2.5' cal	BB
	As	<i>Acer saccharum 'Green Mountain'</i>	Green Mountain Sugar Maple	7	2-2.5' cal	BB
	Bn	<i>Betula nigra 'Tristis'</i>	Heritage River Birch	1	8-10'	BB Multi-stemmed
	Cc	<i>Cercis canadensis</i>	Eastern Redbud	1	8-10'	BB Multi-stemmed
	CF	<i>Carpinus betulus 'Frans Fontaine'</i>	Frans Fontaine Hornbeam	1	2-2.5' cal	BB
	Ck	<i>Cornus kousa</i>	Kousa Dogwood	1	2-2.5' cal	BB
	Gl	<i>Gleditsia inaequalis 'nana'</i>	Halka Thornless Honeylocust	8	2-2.5' cal	BB
	Ham	<i>Hammamelis v. intermedia 'Arnold Promise'</i>	Arnold Promise Witchhazel	1	7-8' ht.	BB Multi-stemmed
	Jm	<i>Juniperus chinensis 'Moundfallen'</i>	Moundfallen Juniper	0	7-8' ht.	BB
	Ls	<i>Liquidambar styraciflua</i>	American Sweetgum	13	2-2.5' cal.	BB
	Li	<i>Liriodendron tulipifera</i>	Tulip tree	6	2-2.5' cal.	BB
	Mg	<i>Magnolia stellata 'Centennial'</i>	Centennial Star Magnolia	1	8-10' ht.	BB
	Mal	<i>Malus 'Sugar Tyme'</i>	Sugar Tyme Crabapple	2	2-2.5' cal.	BB
	Ns	<i>Nyssa sylvatica</i>	Black Tupelo	4	2-2.5' cal.	BB
	Pa	<i>Picea abies</i>	Norway Spruce	33	8-10' ht.	BB
	Pg	<i>Picea glauca</i>	White Spruce	28	7-8' ht.	BB
	PvG	<i>Picea orientalis 'Gowdy'</i>	Gowdy Oriental Spruce	2	7-8' ht.	BB
	Qa	<i>Quercus rubra</i>	Red Oak	13	2-2.5' cal.	BB
	Si	<i>Syringa reticulata 'Ivory Silk'</i>	Ivory Silk Japanese Tree Lilac	3	2-2.5' cal.	BB
	St	<i>Stewartia sinensis</i>	Japanese Stewartia	3	2-2.5' cal.	BB
	Tc	<i>Taxus canadensis</i>	Canadian Hemlock	10	8-10' ht.	BB
	Th	<i>Thuja plicata 'Green Giant'</i>	Green Giant Arborvitae	26	8-10' ht.	BB
	Th	<i>Thuja plicata 'Teechy'</i>	Teechy Arborvitae	16	10-12' ht.	BB
	Th	<i>Thuja occidentalis 'Teechy'</i>	Teechy Arborvitae	16	5-6' ht.	BB
	Ua	<i>Ulmus americana 'Princeston'</i>	Princeton American Elm	11	2-2.5' cal.	BB

SHRUBS	Symbol	Botanical Name	Common Name	Quantity	Size	Min Height	Min Width	Comments
	Az1	<i>Azalea ilianthemum 'Red Pink'</i>	Red Pink Azalea	0	2-3' gal	12"	12"	BB
	Ch1	<i>Cornus alba 'Ivory Halo'</i>	Ivory Halo Dogwood	8	2-2.5' ht.			BB
	Ci	<i>Celastrus scandens</i>	Hummingbird Compact Summerweet	26	3 gal			BB
	Fo1	<i>Forsythia v. intermedia 'Gold Tied'</i>	Deer Forsythia	112	3 gal	12"	18"	BB
	Hy1	<i>Hydrangea paniculata 'Little Lime'</i>	Little Lime Hydrangea	17	5 gal	24"	24"	BB
	Hy2	<i>Hydrangea serrata 'Blue Sailor'</i>	Blue Sailor Rose-of-Sharon	3	5-6' ht.			BB - Fruit
	HyA	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	21	5 gal	24"	24"	BB
	HyB	<i>Hydrangea paniculata 'Bobo'</i>	Bobo Hydrangea	26	3 gal	24"	24"	BB
	HyE	<i>Hydrangea macrophylla 'Endless Summer'</i>	Endless Summer Hydrangea	0	3 gal	24"	24"	BB
	HyQ	<i>Hydrangea quercifolia 'Snow Queen'</i>	Snow Queen Oakleaf Hydrangea	17	5 gal	24"	24"	BB
	Ig5	<i>Ilex glabra 'Shamrock'</i>	Shamrock Holly	23	3 gal	18"	18"	Fruit to base of plant
	ImCB	<i>Ilex meservee 'China Girl'</i>	China Girl Holly	0	2-2.5' ht.			BB
	ImCB	<i>Ilex meservee 'China Boy'</i>	China Boy Holly	0	2-2.5' ht.	18"	18"	BB
	ImR	<i>Ilex verticillata 'Red Sprite'</i>	Red Sprite Winterberry	12	3 gal	24"	24"	BB
	Jc1	<i>Juniperus chinensis 'Sargentii'</i>	Sargent's Juniper	18	3 gal	18"	18"	BB
	Jc3	<i>Juniperus chinensis 'Sargentii'</i>	Sargent's Juniper	3	3 gal	18"	18"	BB
	Md	<i>Microbiota decussata</i>	Rumicyp Cypress	37	3 gal	18"	18"	BB
	Leu	<i>Leucophaea anthera</i>	Cherry Laurel	5	3 gal	18"	18"	BB
	PvG	<i>Picea pungens 'Gauca Globosa'</i>	Blue Glob Spruce	1	3 gal	18"	18"	BB
	Rh1	<i>Rhododendron 'Chionides'</i>	Chionides Rhododendron	0	2-2.5' ht.			BB
	Rh2	<i>Rhododendron 'Nova Zembla'</i>	Nova Zembla Rhododendron	0	2-2.5' ht.			BB
	Rh	<i>Rhododendron 'Nova Zembla'</i>	Nova Zembla Rhododendron	149	3 gal	12"	18"	BB
	RoaK	<i>Rosa 'Knockout'</i>	Knockout Double Red Rose	39	3 gal	12"	18"	BB
	RoaK	<i>Rosa 'Knockout'</i>	Knockout Double Red Rose	8	3 gal	12"	18"	BB
	RhS	<i>Rhododendron 'Scintillation'</i>	Scintillation Rhododendron	19	3 gal	10"	18"	BB
	Sp	<i>Spiraea x bumalda 'Anthony Waterer'</i>	Anthony Waterer Spiraea	18	3 gal	10"	18"	BB
	SPG	<i>Spiraea x bumalda 'Goldflame'</i>	Goldflame Spiraea	17	3 gal	10"	18"	BB
	SyB	<i>Syringa Bloomerang</i>	Bloomerang Lilac	0	2-2.5' ht.			BB
	Sy	<i>Syringa 'Charles Joly'</i>	Charles Joly Lilac	31	5-6' ht.			BB
	TaE	<i>Taxus media 'Ever-Low'</i>	Ever-Low Yew	50	2-2.5' ht.	7'	2.5'	BB
	Ti	<i>Taxus media 'Tauntoni'</i>	Taunton Yew	52	2-2.5' ht.	7'	2.5'	BB
	VpT	<i>Viburnum plicatum f. tomentosum 'Maries'</i>	Marie's Doublefile Viburnum	15	3-4' ht.			BB

PERENNIALS, GROUNDCOVERS, VINES and ANNUALS	Symbol	Botanical Name	Common Name	Quantity	Size	Comments
	AkH	<i>Achillea millefolium</i>	Lady's Mantle	8	1 gal	
	An	<i>Arenaria 'Pamina'</i>	Pamina Anemone	12	1 gal	
	As1	<i>Asilbe 'Fana'</i>	Rubryed Asilbe	49	1 gal	
	Bsp	<i>Baptisia australis</i>	False Blue Indigo	6	1 gal	
	Cal	<i>Calamagrostis scutellata 'Karl Foerster'</i>	Feather Reed Grass	24	1 gal	
	Cor	<i>Coreopsis 'Crème Brulee'</i>	Crème Brulee Coreopsis	28	1 gal	
	Daff	<i>Narcissus 'Ice Ballies'</i>	King Alfred Daffodi	0	1 gal	
	Daff	<i>Narcissus 'King Alfred'</i>	King Alfred Daffodi	0	1 gal	
	Daff	<i>Narcissus 'Mount Hood'</i>	Mount Hood Daffodi	0	1 gal	
	Day1	<i>Heimerocallis 'Dig Time Happy'</i>	Big Time Happy Daylily	20	1 gal	
	Day2	<i>Heimerocallis 'Chicago Apache'</i>	Chicago Apache Daylily	20	1 gal	
	Day3	<i>Heimerocallis 'Country Melody'</i>	Country Melody Daylily	20	1 gal	
	Eup	<i>Eupatorium maculatum</i>	Joe-pye Weed	3	1 gal	
	F	<i>Fern 'scortchii'</i>	Hay-scented Fern	0	1 gal	
	Ger	<i>Geranium 'New Hampshire Purple'</i>	New Hampshire Purple Geranium	15	1 gal	
	H1	<i>Hosta sieboldiana 'Elegans'</i>	Elegans Hosta	20	1 gal	
	H2	<i>Hosta 'Sugar Daddy'</i>	Sugar Daddy Hosta	8	1 gal	
	H3	<i>Hosta 'Stained Glass'</i>	Stained Glass Hosta	6	1 gal	
	Hak	<i>Hakonechloa macro 'Aureola'</i>	Yellow Hakone Grass	18	1 gal	
	Ir	<i>Iris sibirica 'Butter and Sugar'</i>	Yellow and White Siberian Iris	8	1 gal	
	Ir	<i>Iris sibirica 'Cresson's Brother'</i>	Dark Flaxy Purple Siberian Iris	8	1 gal	
	Mt	<i>Matricaria stramonium</i>	Ostrich Fern	23	1 gal	
	Nep	<i>Nepeta 'Six Hills Giant'</i>	Six Hills Giant Catmint	32	1 gal	
	Pe1	<i>Paeonia 'Felix Crousse'</i>	Felix Crousse Peony	5	1 gal	
	Pe2	<i>Paeonia 'Raspberry Sundae'</i>	Raspberry Sundae Peony	5	1 gal	
	Rud	<i>Rudbeckia fulgida 'Goldsturm'</i>	Black-Eyed Susan	56	1 gal	
	Sag	<i>Salvia nemorosa 'Caradonna'</i>	Caradonna Sage	20	1 gal	
	Sid	<i>Sidua 'Misture Joy'</i>	Autumn Joy Sedum	4	1 gal	
	Tia	<i>Tiarella cordifolia 'Elizabeth Oliver'</i>	Elizabeth Oliver Fearnflower	20	1 gal	
	Vm	<i>Vinca minor 'Bonnie's'</i>	Bonnie's Periwinkle	1827	2 pots	



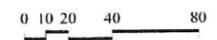
NOTE: See sheet L-3 for foundation planting plans

NOTE: See sheet L-3 for foundation planting plans

NOTE: See sheet L-3 for foundation planting plans

Seed Mix A
50% New England Wetland Plants - New England Conservation & Wildlife Mix
50% New England Wetland Plants - New England Wetmix

Lawn
Pennington Smart Seed Pro Tri Fescue Mix, apply per manufacturer's recommendations.



TOWN OF NEW LONDON
SELECTMEN'S OFFICE

L-2

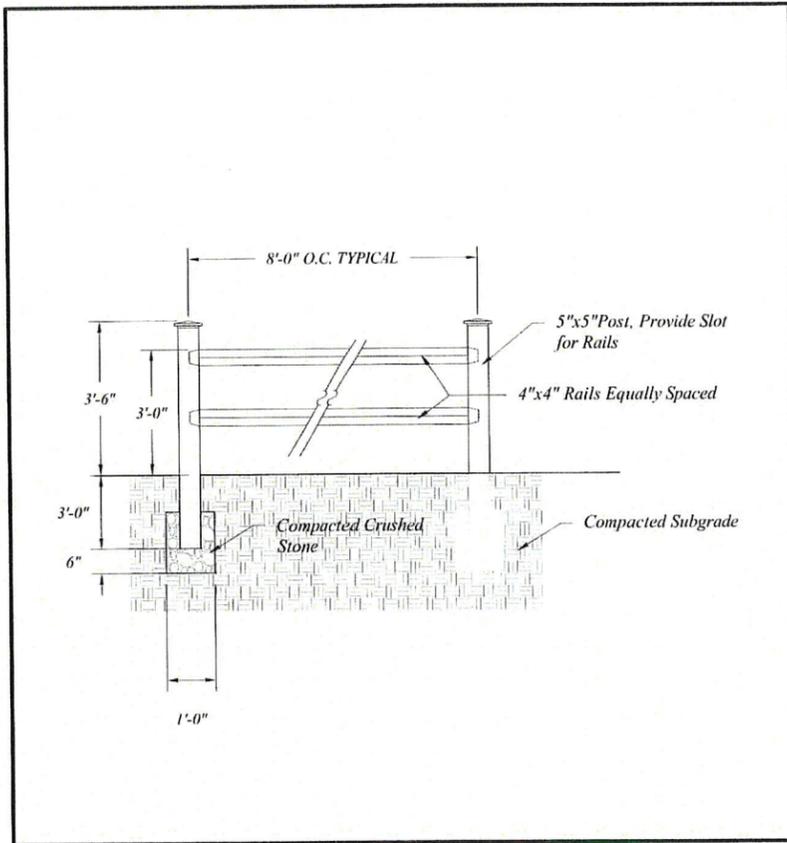
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Sheet 37 of 49

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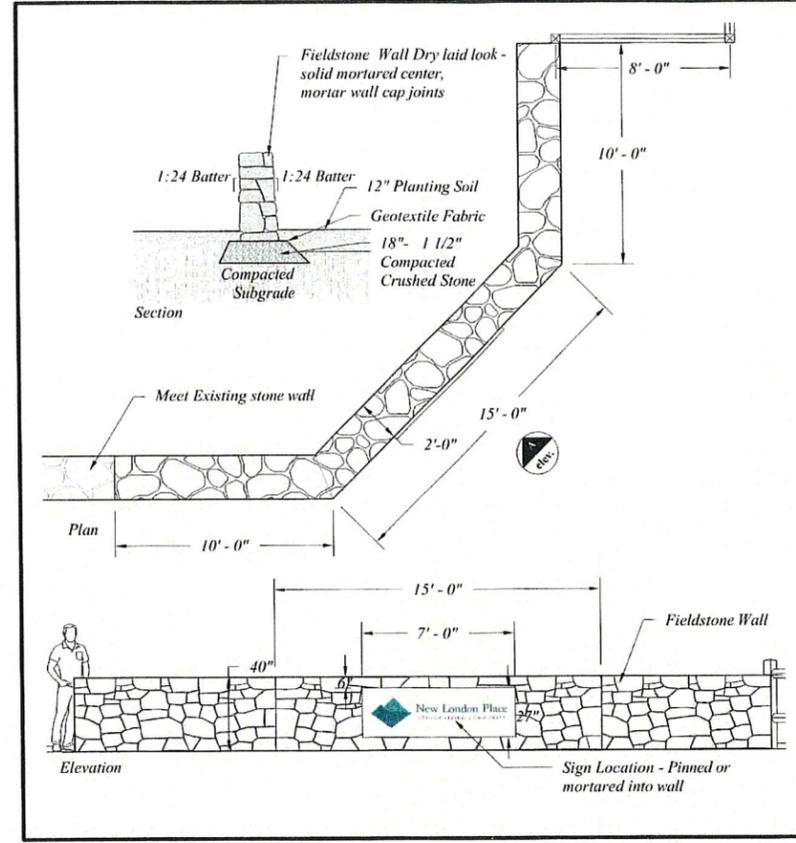
woodburn & company
LANDSCAPE ARCHITECTURE
103 Kent Place, New Hampshire Phone: 603.659.5949

New London Place
LANDSCAPE PLAN - SOUTH
County Road & Parkside Road New London, NH

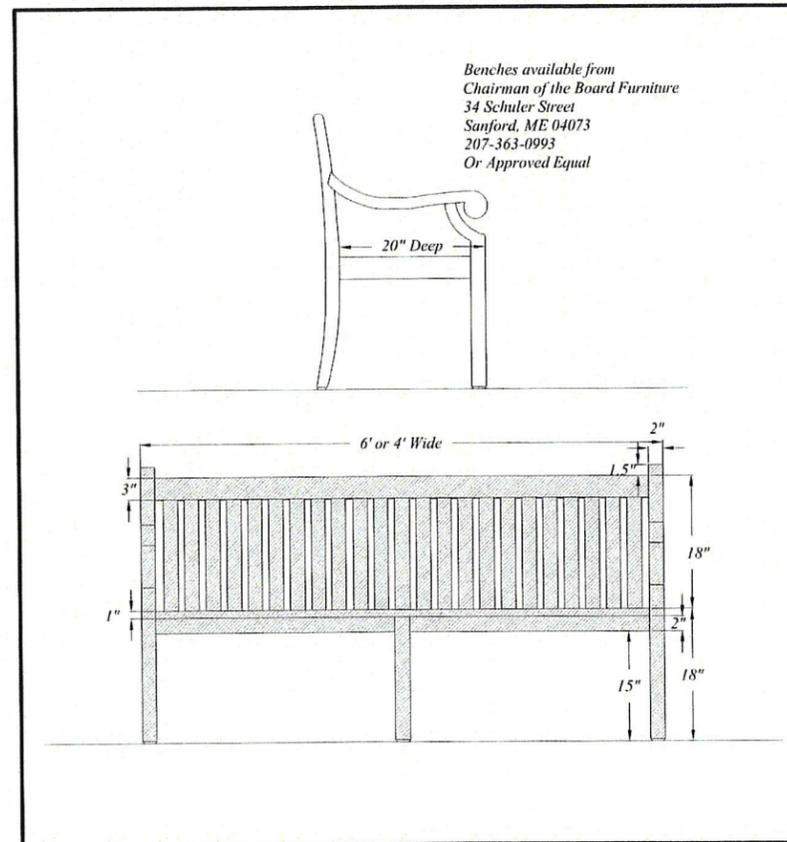
Drawn By: VM
Checked By: RW
Scale: 1" = 40' - 0"
Date: July 3, 2018
Revisions:
November 20, 2018
January 31, 2019
April 15, 2019



1 2 RAIL DIAMOND RAIL CEDAR FENCE
Scale: 1/2" = 1'-0"



5 ENTRY WALL WITH SIGN
Scale: 1/4" = 1'-0"



4 BENCH
Scale: 1" = 1'-0"

COTTAGES - Plant List

Symbol	Botanical Name	Common Name	Quantity per unit	Number of Units	Total	Size	Comments
SHADE UNIT #1							
A	<i>Enkianthus campanulatus</i>	Redvein Enkianthus	1	9	9	4-5' H.	BB
B	<i>Rhododendron 'Aglo'</i>	Aglo Rhododendron	3	9	27	2-2.5' HT	BB
C	<i>Pieris japonica 'Cavatine'</i>	Cavatine Andromeda	3	9	27	18 - 24" HT	BB
D	<i>Azalea kiusianum 'Best Pink'</i>	Best Pink Azalea	4	9	36	3 GAL	
Vm	<i>Vinca minor 'Bowles'</i>	Bowles Periwinkle	70	9	630	TRAYS	100 PER TRAY
SHADE UNIT #2							
A	<i>Hamamelis x intermedia 'Arnold promise'</i>	Arnold Promise Witchhazel	1	7	7	6-7 HT.	BB
B	<i>Rhododendron 'Scintillation'</i>	Scintillation Rhododendron	3	7	21	2-2.5' HT.	BB
C	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	3	7	21	18-24"	BB
D	<i>Hosta 'Frances Williams'</i>	Frances Williams Hosta	4	7	28	1 GAL	
Vm	<i>Vinca minor 'Bowles'</i>	Bowles Periwinkle	70	7	490	TRAYS	100 PER TRAY
SUN UNIT #1							
A	<i>Fibiscus synnacus 'Ardens'</i>	Double Blue Rose-of-Sharon	3	8	24	4-5' H.	BB
B	<i>Hydrangea macrophylla 'Endless Summer'</i>	Endless Summer Hydrangea	3	8	24	2-2.5' HT	BB
C	<i>Rhododendron myrtifolium</i>	Myrtifolium Rhododendron	4	8	32	18 - 24" HT	BB
D	<i>Rosa 'Knock-out'</i>	Double Red Knockout Rose	4	8	32	3 GAL	
Vm	<i>Vinca minor 'Bowles'</i>	Bowles Periwinkle	70	8	560	TRAYS	100 PER TRAY
SUN UNIT #2							
A	<i>Syringa 'President Lincoln'</i>	President Lincoln Lilac	1	6	6	4-5' H.	BB
B	<i>Hydrangea 'Invincible'</i>	Invincible Hydrangea	3	6	18	2-2.5' HT	BB
C	<i>Rhododendron 'Mary Fleming'</i>	Mary Fleming Rhododendron	3	6	18	18 - 24" HT	BB
D	<i>Spirea japonica 'Magic Carpet'</i>	Magic Carpet Spirea	4	6	24	3 GAL	
Vm	<i>Vinca minor 'Bowles'</i>	Bowles Periwinkle	70	6	420	TRAYS	100 PER TRAY

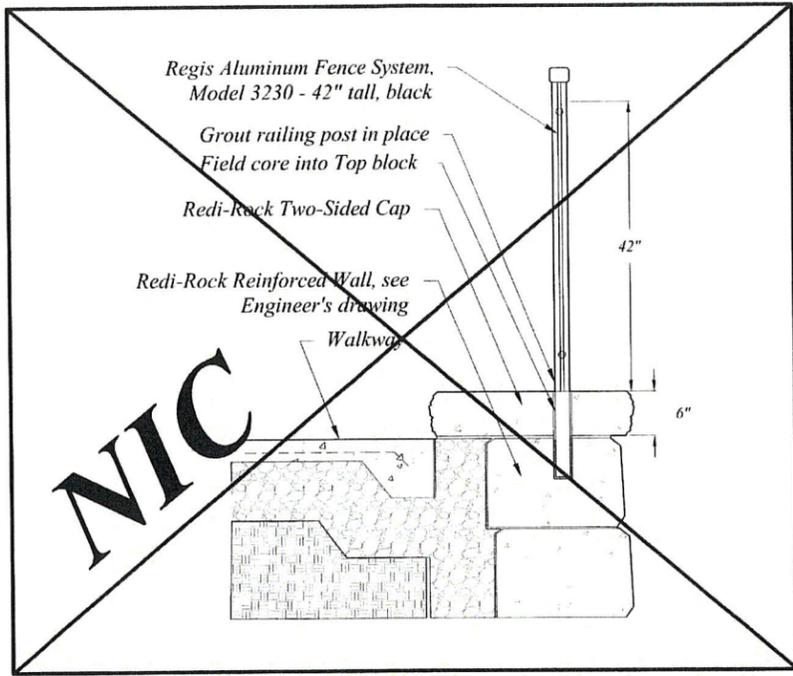
6 COTTAGE PLANTING PLAN, Typical
Scale: 1/4" = 1'-0"

woodburn & company
LANDSCAPE ARCHITECTURE
103 Kent Place, Newmarket, New Hampshire Phone: 603.658.3949

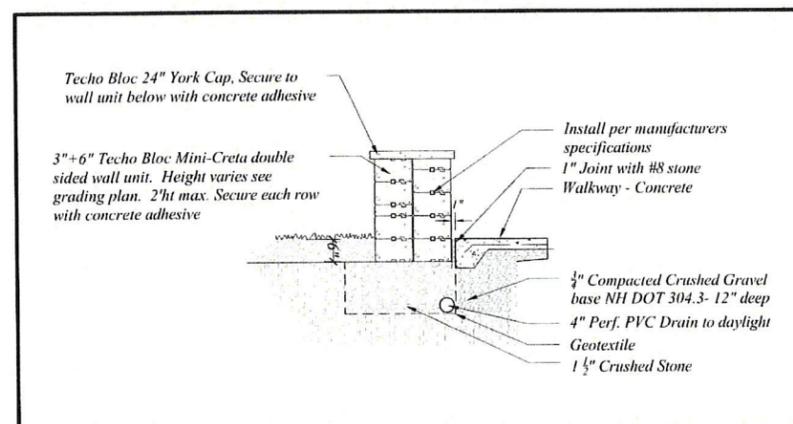
New London Place
LANDSCAPE DETAILS
County Road & Parkside Road New London, NH

Drawn By: VM
Checked By: RW
Scale: as shown
Date: July 3, 2018
Revisions:
November 20, 2018
January 31, 2019
April 15, 2019

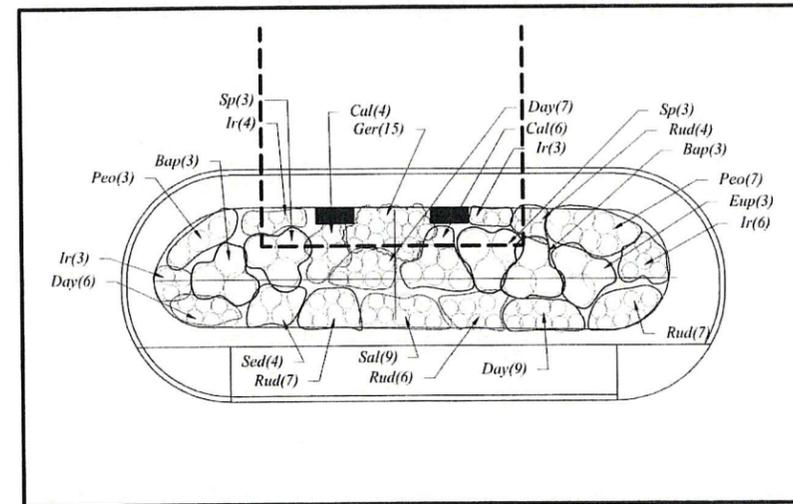
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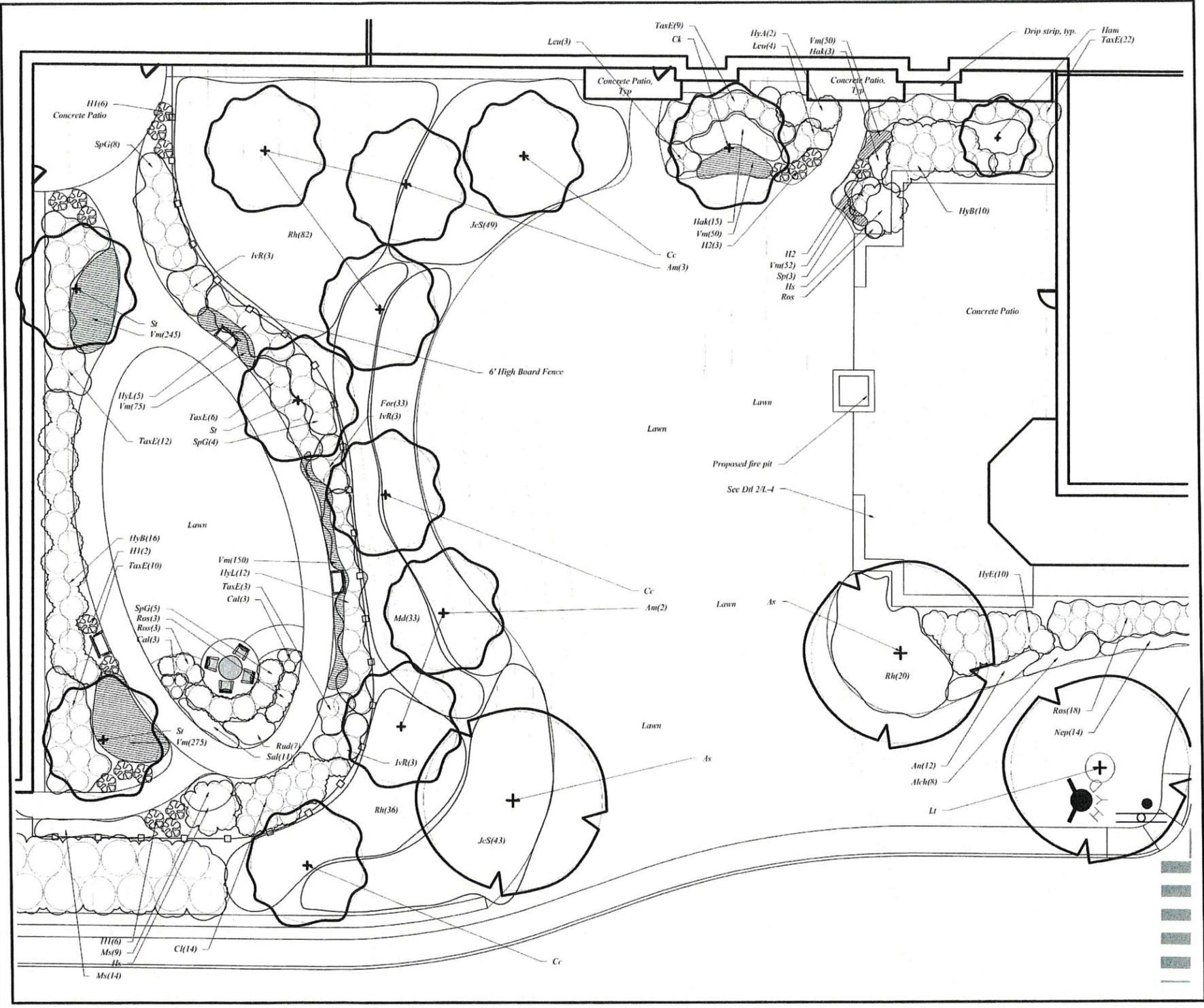
1 ALUMINUM PICKET FENCE RAILING
Scale: 1" = 1'-0"



2 Two Sided Mini Creta Wall with York Caps
Scale: 3/4" = 1' - 0"



3 PLANTING AT WING "B" / "C" ENTRY
Scale: 1/4" = 1' - 0"



4 MEMORY GARDEN AND CAFE AREA PLANTING PLAN
Scale: 1" = 10'-0"

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LANDSCAPE ARCHITECTURE
108 Kent Place, Newmarket, New Hampshire Phone: 603.659.5519

New London Place
LANDSCAPE DETAILS
County Road & Parkside Road New London, NH

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