

APPENDIX E  
APPLICATION FOR SITE PLAN REVIEW  
MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES

PLANNING BOARD  
NEW LONDON, NH

DATE APPLICATION FILED: \_\_\_\_\_

APPLICATION FOR:

- Phase I: Concept Site Plan Review  
 Phase II: Preliminary Site Plan Review  
 Phase III: Final Site Plan Review

NAME OF APPLICANT: BENJAMIN K. BANTON

ADDRESS: 52 MAIN ST. PO Box 154

DAYTIME PHONE NUMBER: 603-748-0528 FAX: 603-526-8677

NAME OF PROPERTY OWNER: \_\_\_\_\_  
(If other than applicant)

ADDRESS: AS ABOVE

DAYTIME PHONE NUMBER: \_\_\_\_\_ FAX: \_\_\_\_\_

LOCATION OF PROPERTY: SAME

TAX MAP/Lot: \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ ZONE DISTRICT: \_\_\_\_\_

DESCRIPTION OF USE(S) OF BUILDINGS & LAND: ADD A 2 STORY  
FRAME GARAGE - 2+ CAR GARAGE

WATER SERVICE:  New London/Springfield Water Precinct  On-site Water Well  
Other: \_\_\_\_\_

SEWER SERVICE:  New London Wastewater  On-site Septic System

ROAD(S) PROVIDING ACCESS: Town Road MAIN ST.  
State Highway ROUTE 114

The Zoning Administrator or Land Use Coordinator can assist applicants to identify whether the following natural resource areas will be affected and in which sub-watershed the property is located.

SHORELAND OR SHORELAND BUFFER IMPACTED?  Yes  No

WETLAND OR WETLAND BUFFER IMPACTED?  Yes  No



STEEP SLOPE AREA IMPACTED?      \_\_\_ Yes       No

PROTECTED STREAM(S) OR STREAM BUFFER(S) IMPACTED?      \_\_\_ Yes       No

LOCATED OVER AN AQUIFER?      \_\_\_ Yes       No

CURRENT USE:  
Does the proposed Site Plan affect land held in Current Use?      \_\_\_ Yes       No

CONSERVATION EASEMENT:  
Does the Site Plan affect land held in a Conservation Easement?      \_\_\_ Yes       No

SURFACE WATER B SUB-WATERSHED:

<input type="checkbox"/> Pleasant Lake - Blackwater River	<input type="checkbox"/> Lake Sunapee
<input type="checkbox"/> Little Lake Sunapee/Murray Pond	<input type="checkbox"/> Lyon Brook/Kezar Lake
<input type="checkbox"/> Goose Hole Pond	<input type="checkbox"/> Messer Pond/Clark Pond/Kezar Lake
<input type="checkbox"/> Otter Pond	

#### CERTIFICATION BY APPLICANT

I certify that this Site Plan Review Application, including the supporting plan and documents, has been completed in accordance with the Site Plan Review Regulations of the Town of New London.

I certify that this Site Plan Review Application, including the supporting plan and documents, complies with the standards specified in the New London Site Plan Review Regulations, unless a specific waiver has been applied for and granted by the Planning Board.

I certify that I will continue to comply with the standards specified in the New London Site Plan Review Regulations on an on-going basis.

I understand and agree that if I propose to change the use or layout of the site from the approved site plan that I will contact the Planning Board, or its designee, to see if a new application for an amended Site Plan Review is required.

I agree to obtain all the subsequent Town permits needed for this Site Plan Review Application including the required Certificate of Occupancy Permit before the property can be used.

Further, I agree to comply with all required inspections during construction and to pay for all required inspection services.

In making this application, I agree to permit the members of the Planning Board and its agents to enter upon the subject property for the purpose of inspecting the property for the application.

DATE: 5/13/2019

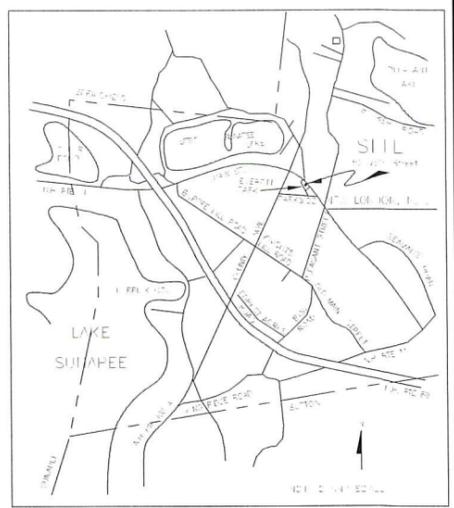
SIGNATURE OF PROPERTY OWNER



SIGNATURE OF AGENT FOR PROPERTY OWNER



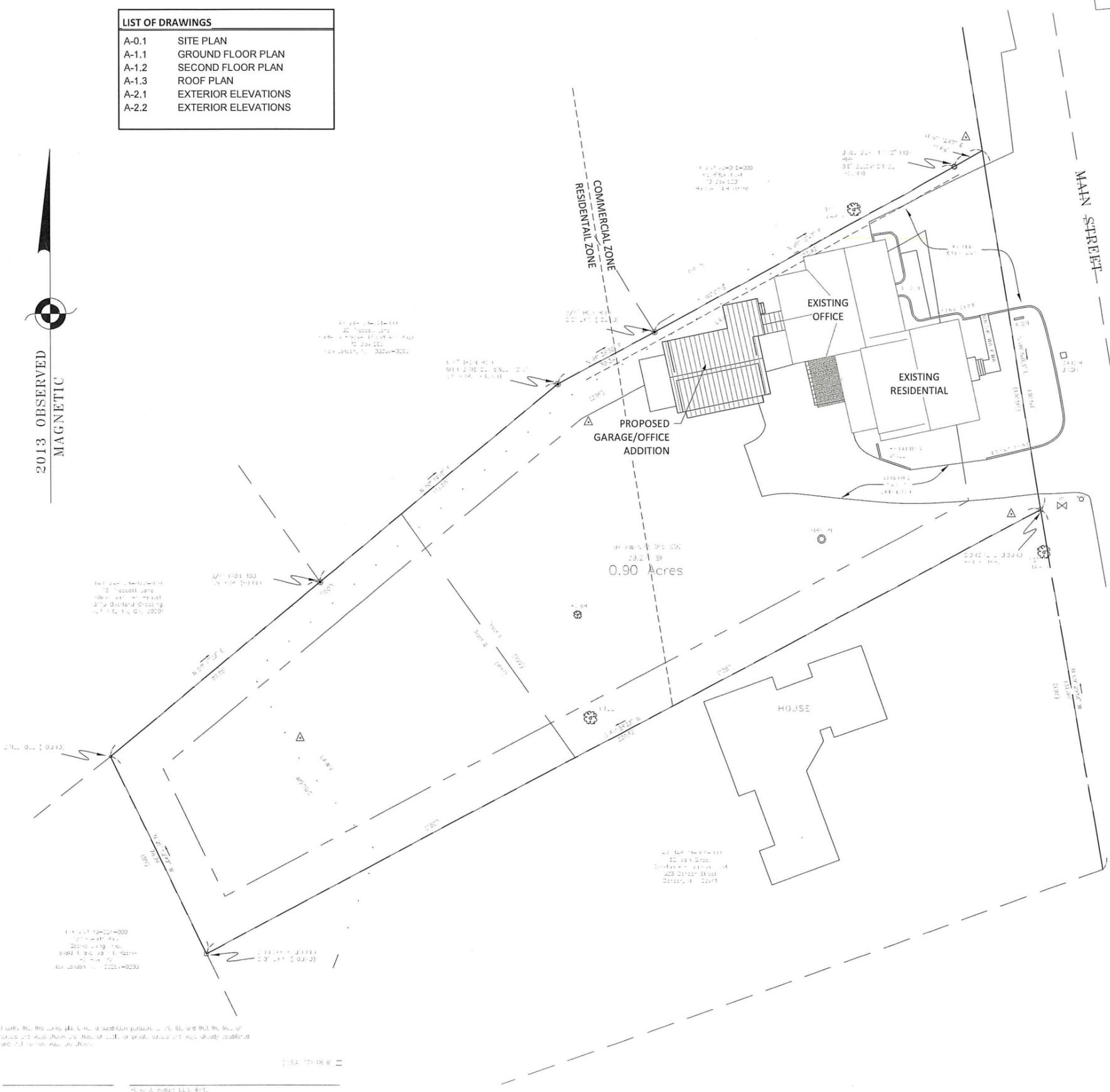
LIST OF DRAWINGS	
A-0.1	SITE PLAN
A-1.1	GROUND FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	ROOF PLAN
A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS



LOCATION MAP

**KEY**

	Boundary Line
	Easement
	Utility Line
	Existing Structure
	Proposed Structure
	Driveway
	Parking Space
	Setback Line
	Lot Line
	Street Centerline



**NOTES**

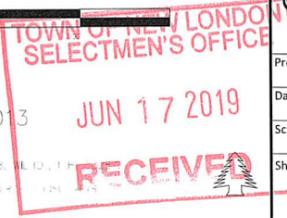
1. Verify all existing and proposed lot lines, areas, and bearings are correct and consistent with the recorded plat.
2. All dimensions are in feet and inches, rounded to the nearest 1/8 inch.
3. The proposed addition is shown in dashed lines.
4. All existing structures are shown in solid lines.
5. All utility lines are shown in dashed lines.

**REFERENCE PLANS**

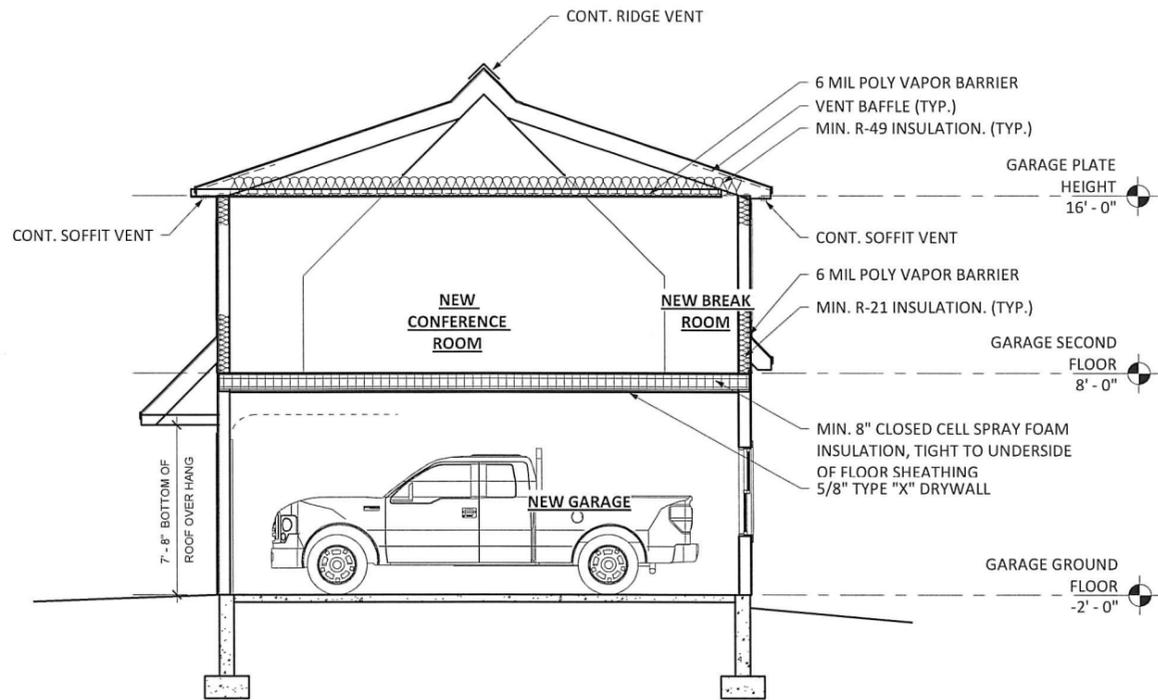
1. Recorded Plat of 2008, Book 2008, Page 100, of the Public Record Office, New Hampshire.
2. Recorded Plat of 2010, Book 2010, Page 100, of the Public Record Office, New Hampshire.
3. Recorded Plat of 2015, Book 2015, Page 100, of the Public Record Office, New Hampshire.

**STANDARD PROPERTY SURVEY**

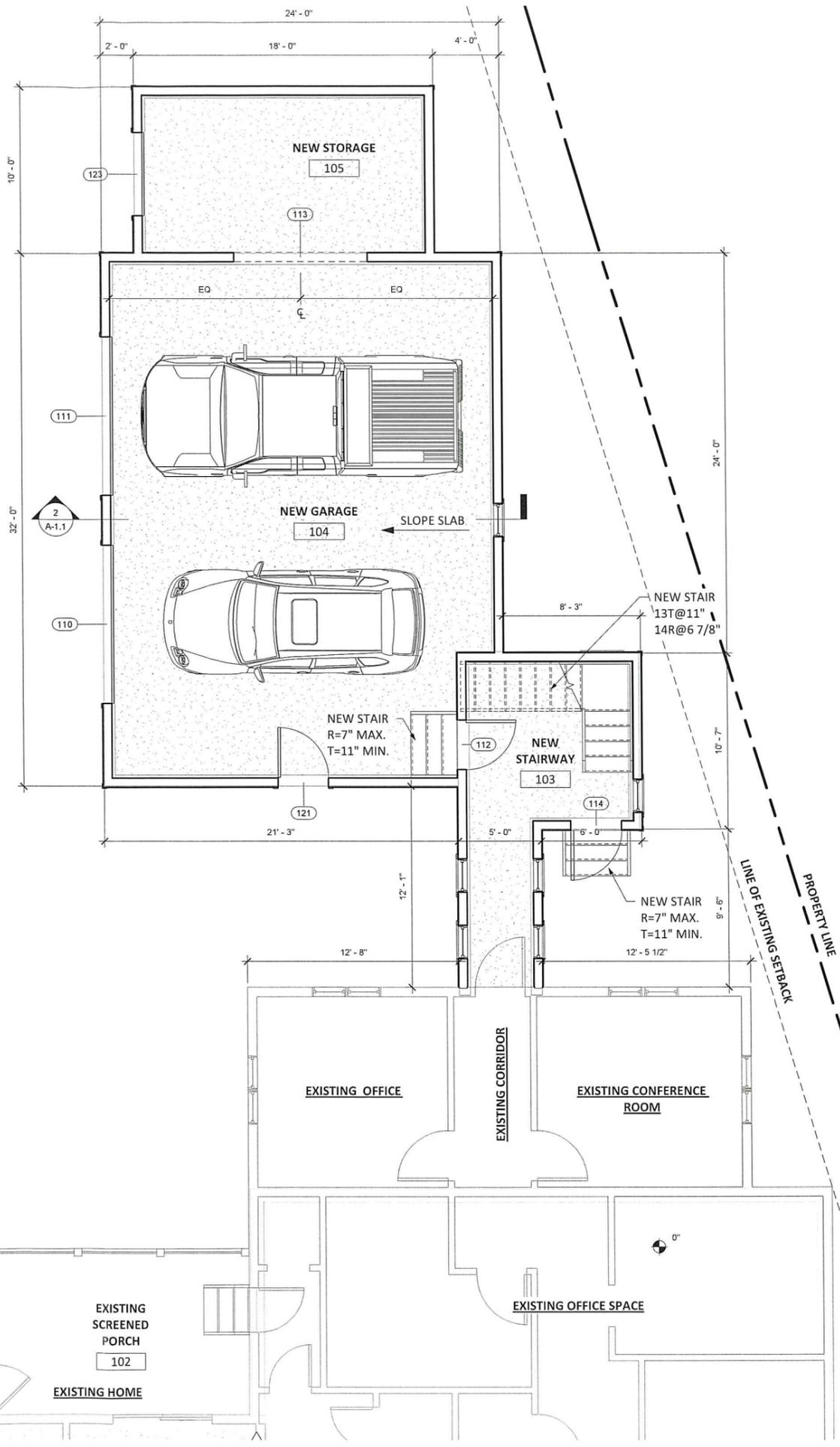
PROPERTY OF  
**BENJAMIN K. BARTON**  
NEW LONDON, NEW HAMPSHIRE



**1** PROPOSED SITE PLAN  
SCALE: 1" = 20'-0"



2 GARAGE SECTION  
SCALE: 1/4" = 1'-0"



1 PROPOSED GROUND FLOOR  
SCALE: 1/4" = 1'-0"



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**DOOR SCHEDULE**

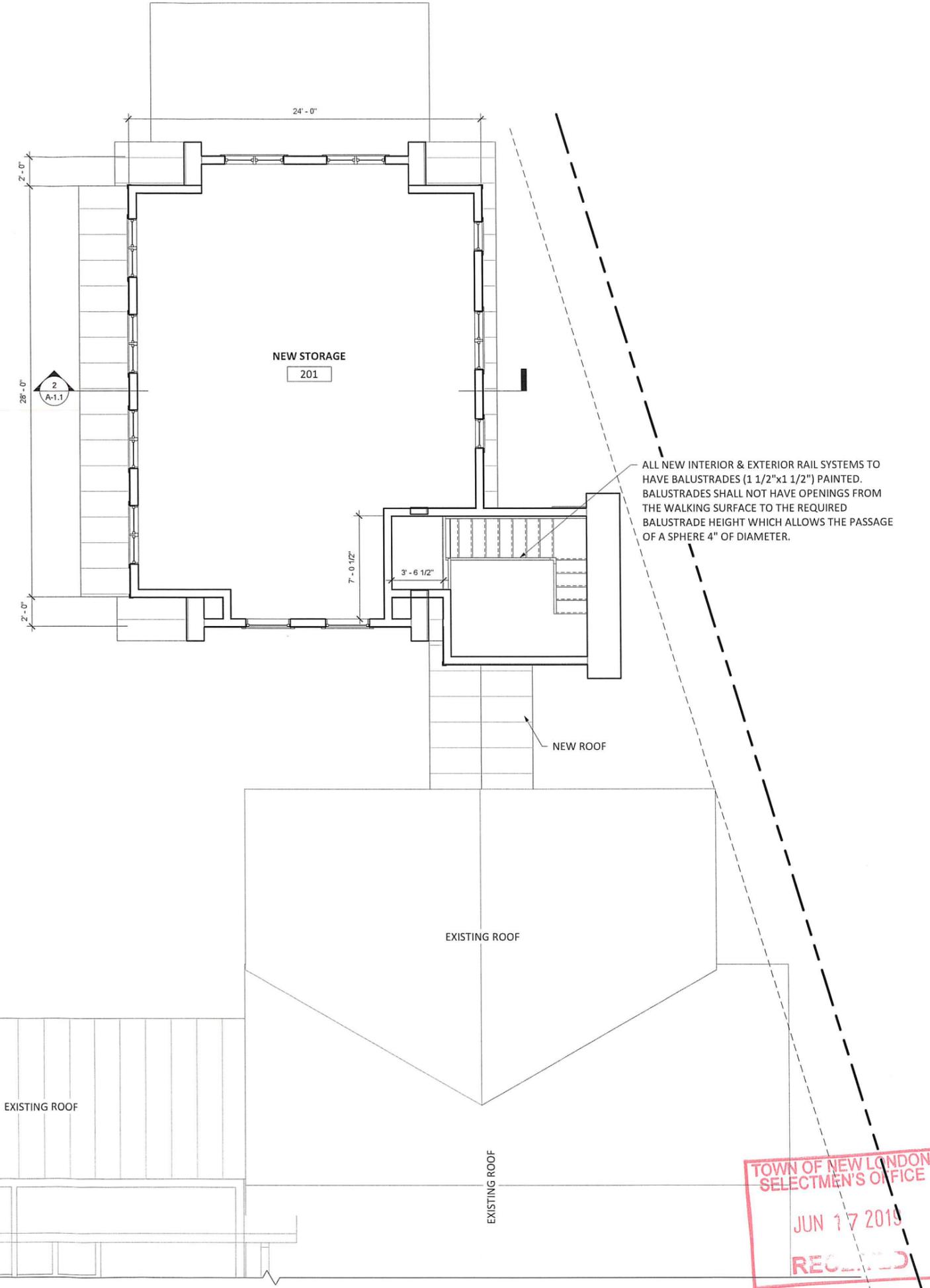
Door	Location	Style	Width	Height	Door Type	Material	Finish	Frame Type	Frame Finish	Lock/Latch Set	Closer	Threshold	Weatherstrip	Kick Plate	Hold Open 6' AFF	Wall Bumper	Remarks
110	NEW GARAGE	GARAGE	9' - 6"	7' - 0"													
111	NEW GARAGE	GARAGE	9' - 6"	7' - 0"													
112	NEW STAIRWAY	SWING	3' - 0"	6' - 8"		WD	PTD	WD	PTD	ENTRY	X						X 20 MINUTE FIRE RATING
113	NEW GARAGE	CASED OPENING	8' - 0"	6' - 8"				WD	PTD								
114	NEW STAIRWAY	OUT SWING	3' - 0"	6' - 8"						ENTRY	X	X					OUTSWING FOR EGRESS
121	NEW GARAGE	SWING	3' - 0"	6' - 8"						ENTRY	X	X					
123	NEW STAIRWAY	GARAGE	5' - 0"	6' - 6"		WD	PTD	WD	PTD	PAD LOCK							

**WINDOW SCHEDULE**

Tag	Manufacturer	Model	Species	Finish	Hardware	Notes
A	ANDERSEN 400	TW20310				
B	ANDERSEN 400	TW20210				
C	ANDERSEN 400	A31				

**ROOM FINISH SCHEDULE**

#	Name	Floor	Floor Finish	Base	Base Finish	Wall	Wall Finish	Ceiling	Ceiling Finish	Comments
101	EXISTING DECK	EXIST	EXIST.	N/A	N/A	N/A	N/A	BEAD BOARD	PTD	
102	EXISTING SCREENED PORCH	WD DECKING	SEALED	N/A	N/A	N/A	N/A	BEAD BOARD	PTD	
103	NEW STAIRWAY	UNFINISHED	N/A	WD	PTD	UNFINISHED	PTD	UNFINISHED	PTD	
104	NEW GARAGE	CONC.	SEALED	WD	PTD	DRYWALL	PTD	TYPE "X" DRYWALL	PTD	5/8" TYPE "X" DRYWALL AT WALL SEPERATING STAIR AND GARAGE CEILING
105	NEW STORAGE	CONC.	SEALED	N/A	N/A	DRYWALL	PTD	DRYWALL	PTD	LEVEL OF FINISH TO BE COORD. w OWNER
201	NEW STORAGE	UNFINISHED	N/A	WD	PTD	UNFINISHED	PTD	UNFINISHED	PTD	



ALL NEW INTERIOR & EXTERIOR RAIL SYSTEMS TO HAVE BALUSTRADES (1 1/2"x1 1/2") PAINTED. BALUSTRADES SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED BALUSTRADE HEIGHT WHICH ALLOWS THE PASSAGE OF A SPHERE 4" OF DIAMETER.



Frank Anzalone Associates  
Architects and Planners

GENERAL NOTES  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.  
DESIGN DEVELOPMENT

BARTON

GARAGE ADDITION  
SECOND FLOOR

Project Number:  
Date:  
Scale:  
Sheet:

A-1

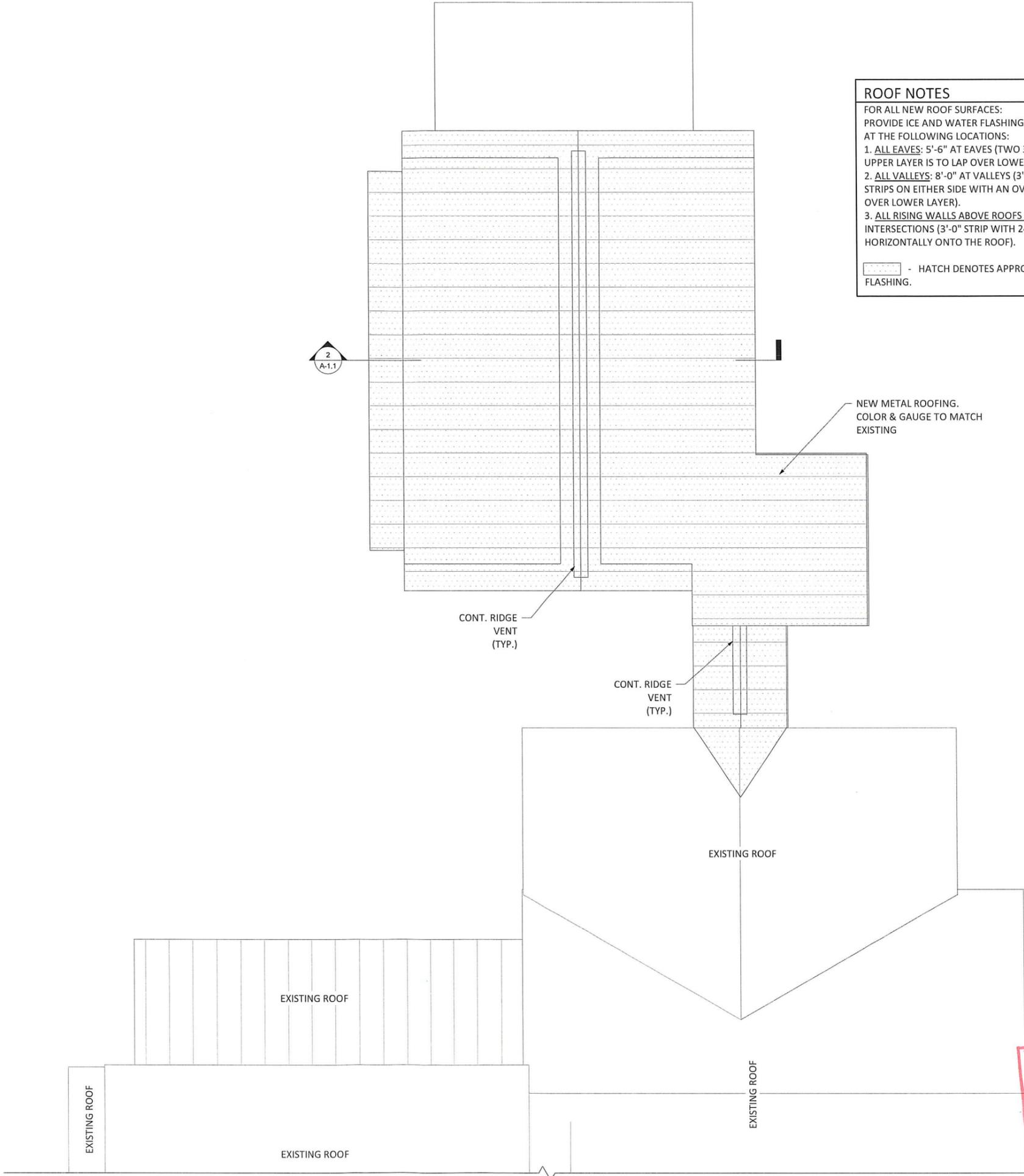


1

# GARAGE ROOF PLAN

SCALE: 1/4" = 1'-0"

2  
A-1.1



## ROOF NOTES

FOR ALL NEW ROOF SURFACES:  
 PROVIDE ICE AND WATER FLASHING (GRACE ICE AND WATER SHIELD HT)  
 AT THE FOLLOWING LOCATIONS:

1. **ALL EAVES:** 5'-6" AT EAVES (TWO 3'-0" STRIPS WITH AN OVERLAP OF 6", UPPER LAYER IS TO LAP OVER LOWER LAYER).
2. **ALL VALLEYS:** 8'-0" AT VALLEYS (3'-0" STRIP DOWN CENTER WITH 3'-0" STRIPS ON EITHER SIDE WITH AN OVERLAP OF 6", UPPER LAYER IS TO LAP OVER LOWER LAYER).
3. **ALL RISING WALLS ABOVE ROOFS BELOW:** 3'-0" AT ROOF-WALL INTERSECTIONS (3'-0" STRIP WITH 24" VERTICALLY UP THE WALL & 12" HORIZONTALLY ONTO THE ROOF).

 - HATCH DENOTES APPROXIMATE EXTENT OF ICE AND WATER FLASHING.

NEW METAL ROOFING.  
 COLOR & GAUGE TO MATCH  
 EXISTING

CONT. RIDGE  
 VENT  
 (TYP.)

CONT. RIDGE  
 VENT  
 (TYP.)

EXISTING ROOF

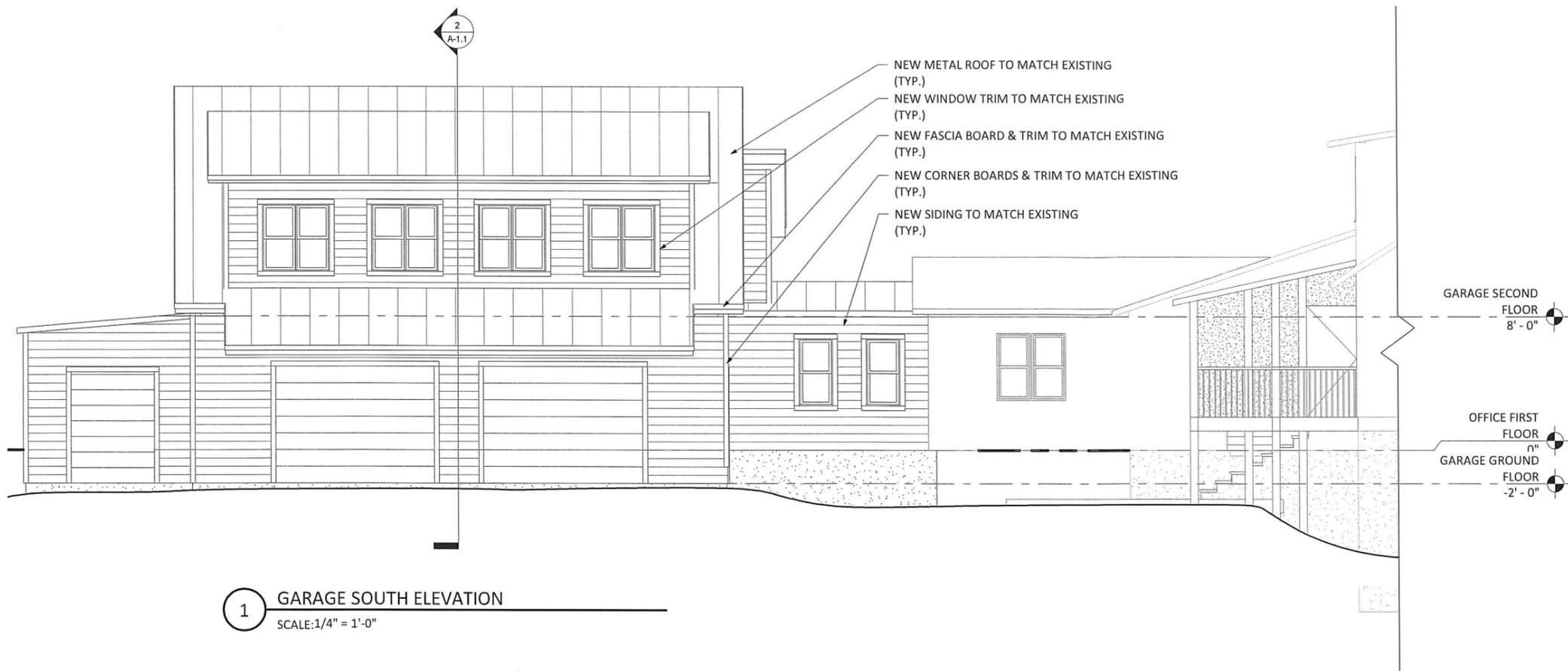
EXISTING ROOF

EXISTING ROOF

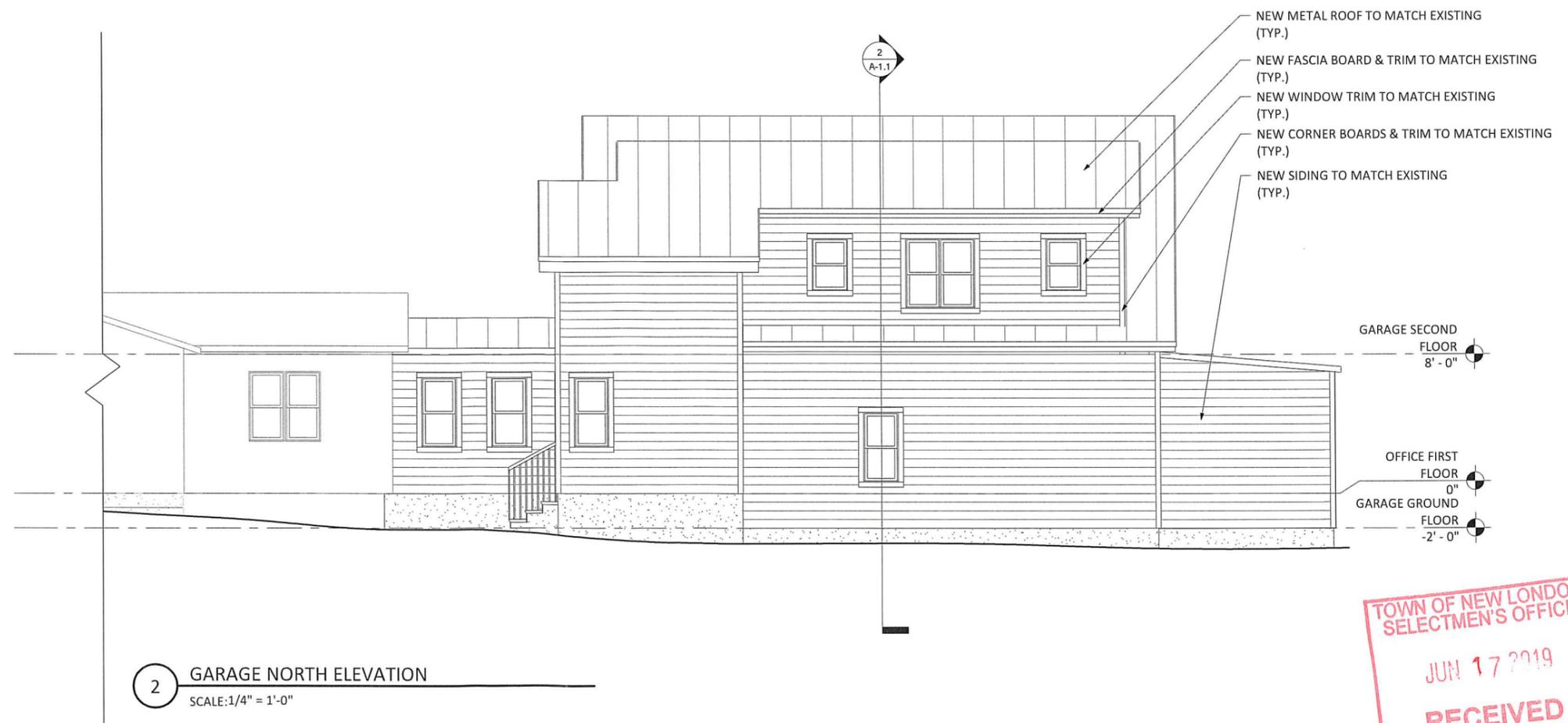
EXISTING ROOF

EXISTING ROOF

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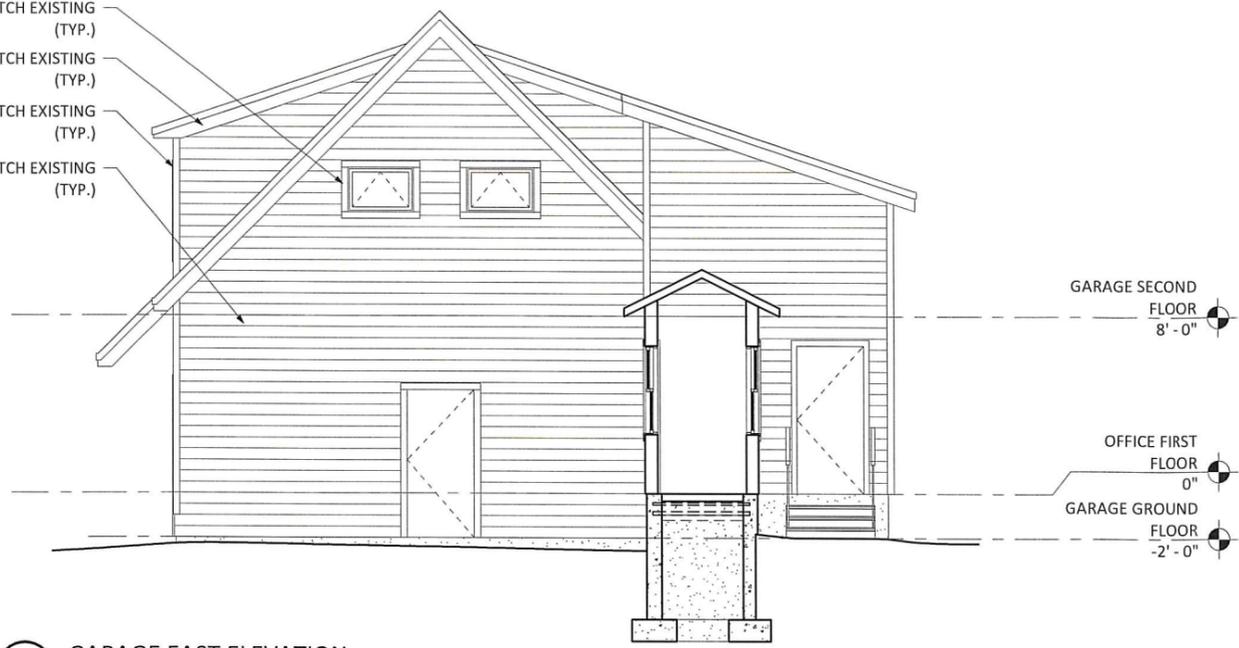
1 GARAGE SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 GARAGE NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

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NEW WINDOW TRIM TO MATCH EXISTING (TYP.)  
 NEW FASCIA BOARD & TRIM TO MATCH EXISTING (TYP.)  
 NEW CORNER BOARDS & TRIM TO MATCH EXISTING (TYP.)  
 NEW SIDING TO MATCH EXISTING (TYP.)



1 GARAGE EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

NEW WINDOW TRIM TO MATCH EXISTING (TYP.)  
 NEW FASCIA BOARD & TRIM TO MATCH EXISTING (TYP.)  
 NEW CORNER BOARDS & TRIM TO MATCH EXISTING (TYP.)  
 NEW SIDING TO MATCH EXISTING (TYP.)

WINDOW HEAD HEIGHT TO BE 6'-8" ABOVE STAIR LANDING



2 GARAGE WEST ELEVATION  
 SCALE: 1/4" = 1'-0"

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