

APPENDIX E
APPLICATION FOR SITE PLAN REVIEW
MULTI-FAMILY RESIDENTIAL & NON-RESIDENTIAL USES

PLANNING BOARD
NEW LONDON, NH

DATE APPLICATION FILED: _____

APPLICATION FOR:

- Phase I: Concept Site Plan Review
 Phase II: Preliminary Site Plan Review
 Phase III: Final Site Plan Review

NAME OF APPLICANT: Frank Anzalone, AIA

ADDRESS: PO Box 1016, New London, NH 03257

DAYTIME PHONE NUMBER: 603 526-8911 FAX: _____

NAME OF PROPERTY OWNER: ATOM Properties, LLC
(If other than applicant)

ADDRESS: PO Box 1016, New London, NH 03257

DAYTIME PHONE NUMBER: 603 526-8911 FAX: _____

LOCATION OF PROPERTY: 20 Main Street, New London

TAX MAP/Lot: 073-047 - ZONE DISTRICT: Commercial

DESCRIPTION OF USE(S) OF BUILDINGS & LAND: Convert existing barn into four offices.
And associated site work.

WATER SERVICE: New London/Springfield Water Precinct On-site Water Well

Other: _____

SEWER SERVICE: New London Wastewater On-site Septic System

ROAD(S) PROVIDING ACCESS: Town Road

State Highway Main Street

The Zoning Administrator or Land Use Coordinator can assist applicants to identify whether the following natural resource areas will be affected and in which sub-watershed the property is located.

SHORELAND OR SHORELAND BUFFER IMPACTED? Yes No

WETLAND OR WETLAND BUFFER IMPACTED? Yes No



Frank Anzalone Associates

Architects and Planners

September 4, 2018

Town of New London
Planning Board
375 Main Street
New London, NH 03257

Re. 20 Main – Site Plan Review
Tax Map/Lot: 73-047-000

Dear Planning Board,

On behalf of ATOM Properties we are pleased to submit the enclosed amended application materials for Site Plan Review.

The project includes the renovation of an existing 2,556 square foot barn and conversion of the barn into office space. On the property is an existing two family dwelling that will remain as a two family dwelling.

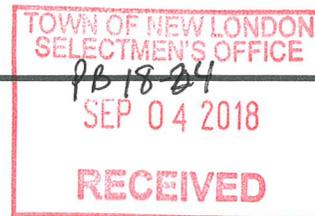
The proposed site improvement associated with this work will be walking paths, site lighting, parking, drainage features, landscaping and utility connections.

Please find the following application materials enclosed:

Application form
Abutters list and map
Waiver request
Survey
Site Plan, building floor plan and conceptual exterior elevations
Erosion control plan

The following describes how the proposed project complies with the design standards listed in the Site Plan Review Regulations, Article VI:

- A. Zoning and Other Requirements: the proposed work is located on a site within the commercial zoning district. The proposed addition and renovation comply with the New London Zoning Ordinances.
- B. Site characteristics: the proposed site work will follow the existing topography with minimal regarding. Site clearing will be kept to a minimum and all attempts will be made to contain the disturbance within the area of work.
- C. Landscape open space: please refer to the site plan for landscaping details. The proposed landscaping will provide a buffer for the residential zone. The proposed percentage of landscape open space exceed the minimum. Two additional trees will be planted for the proposed 11 parking spaces.
- D. Multi-family structures, recreation area, N/A



- E. Solid waste: it is the owners and tenants intent to avoid an on-site collection location. All waste will be stored in the lower level for the barn and disposed of from there.
- F. Parking, loading and safety: please refer to the site plan for parking calculations. All parking spaces will be 10'x20'.
- G. Water drainage: refer to site plan for drainage system.
- H. Outdoor lighting: refer to site lighting plan.
- I. Signs: refer to site plan details. All proposed signs meet the New London Zoning Regulations.
- J. Snow storage: there are several locations for snow storage on site. The total proposed snow storage is 39% of the parking area.
- K. Snow hazards: no vehicles will be parked near the barn where falling snow may occur. All the barn exits are located a gable ends.
- L. Consideration for adjacent lands: the proposed work will not have a negative effect on neighboring property values. The improvement of an aging unused structure and the associated site work along with the owners occupying the site will greatly improve the appearance of the site. This will potential increase the value of the neighboring properties.
- M. Harmonious development: the proposed site development is consistent with the surrounding commercial development along Main Street and Newport Road and is in keeping with the intent of the zoning ordinance for the commercial district.
- N. Natural resources: No natural resources will be adversely affected by the proposed project.
- O. Undesirable features: no noise or other pollution is anticipated as a result of the proposed project.
- P. Sediment and erosion control: refer to erosion control plan.
- Q. Fire protection: the existing open frame structure will be protected by drywall. There is a fire hydrant located across the street in front of the real estate's office and another fire hydrant is located at the corner of Sunapee Road and Main Street, approximately 150' from the property.
- R. Noise: no obnoxious noise or use is proposed.
- S. Screening of heavy vehicles and equipment: there will be no heavy equipment on site after construction.
- T. Outside displays: there will be no outside displays.

The proposed hours of operation are generally Monday through Friday, 8:00 am to 5:00 pm. There may be mornings when employees will come in earlier and afternoons when employees will work later. There is no intention to work on the weekends but there may be weekends when the offices will be used. We estimate that there will be nine employees. There will most likely be four to five cars a day for normal business traffic. We do not anticipate any unusual utility demand for this site.

We look forward to meeting with the Board to present and discuss this project. Please contact us if you have any questions or concerns.

Thank you,



Frank Anzalone, AIA

Frank Anzalone Associates

Architects and Planners

September 4, 2018

Town of New London
375 Main Street
New London NH 03257

To whom it may concern,

The purpose of this letter is to request waivers from the New London Planning Board regarding an application for 20 Main Street site plan review. The items we are asking to be waived are as follows...

- Item 2.d Application fee
- Item 11 General topography and steep slope areas
- Item 12 Groundwater and surface water resources

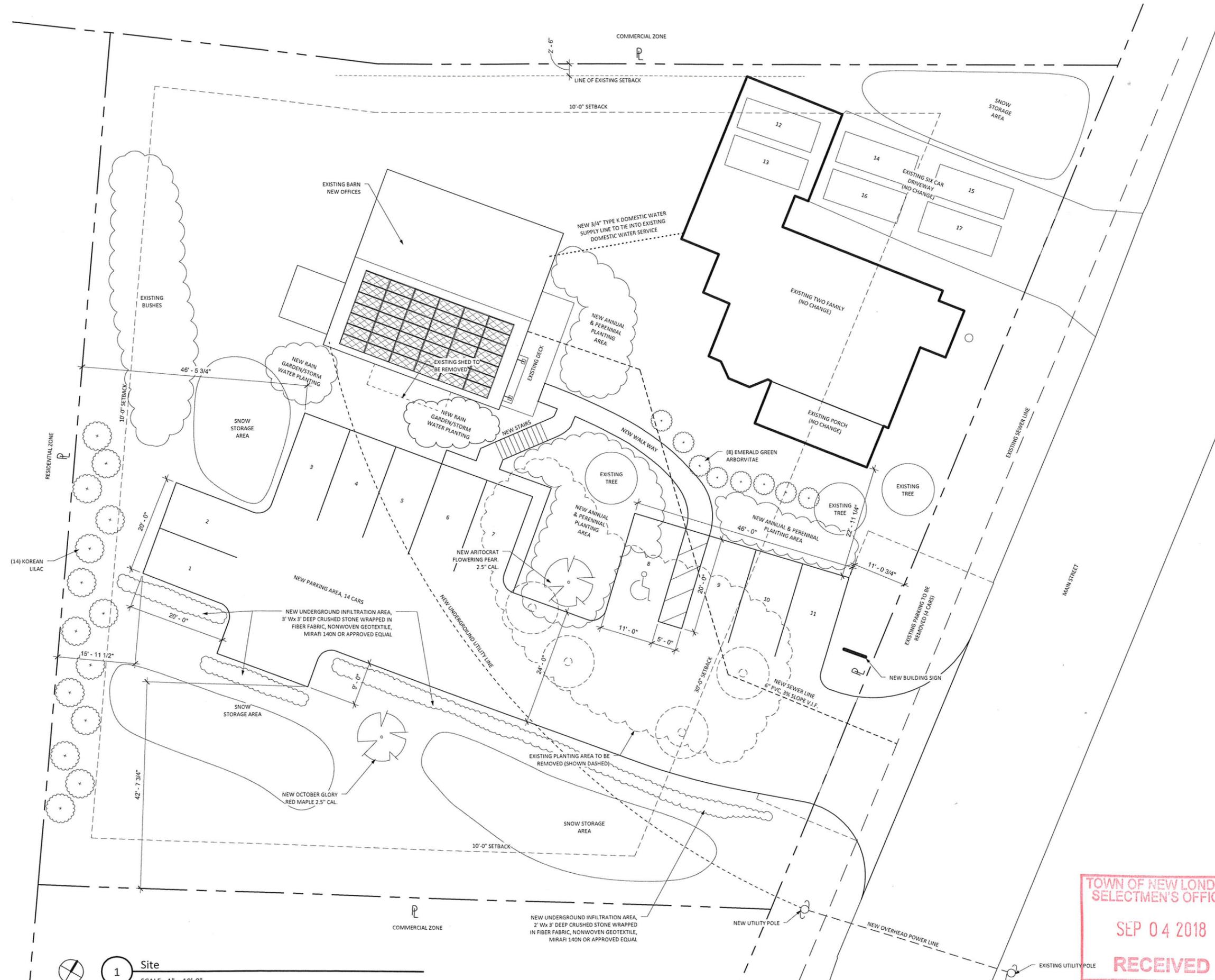
If you should have any further questions regarding any of the items listed above, please do not hesitate to contact me here at the office.

Best Regards,



Frank Anzalone, AIA





1 Site
SCALE: 1" = 10'-0"

TOWN OF NEW LONDON
SELECTMEN'S OFFICE
SEP 04 2018
RECEIVED

ZONING INFORMATION:

ZONE	=COMMERCIAL
SIDEYARD MIN.	= 10'-0"
FRONTYARD MIN.	= 30'-0"
REARYARD MIN.	= 10'-0"
EXISTING USE	= (2) FAMILY
PROPOSED USE	= (2) FAMILY & NEW OFFICE

SITE INFORMATION:

TAX MAP	= 73-047-000
LOT SIZE	= 31,228 SQ.FT.
PERCENTAGE OF LANDSCAPE OPEN SPACE	
EXISTING	= 24,159 SQ.FT. (77.4%)
PROPOSED	= 20,029 SQ.FT. (64.1%)
OPEN SPACE ALLOWED	= 35% MIN.
SNOW STORAGE PROVIDED	= 2,802 SQ.FT. (39%)
SNOW STORAGE REQUIRED	= MIN. 20%

PARKING SUMMARY:

EXISTING PARKING, (2) FAMILY	= (12) SPACES
REQUIRED PARKING, (2) FAMILY	= (4) SPACES
PROPOSED PARKING, OFFICE 2,580 SQ.FT./1000=2.58 2.58x4	= (11) SPACES
REQUIRED PROVIDED	= (15) SPACES
	= (17) SPACES
NEW STALLS	= 10'x20'

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GENERAL NOTES
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.
ISSUED FOR PRICING
NOT FOR CONSTRUCTION

ATOM PROPERTIES
20 MAIN STREET NEW LONDON, NH 03257

20 MAIN
SITE PLAN
Project Number: 20 MAIN
Date: 8/7/18
Scale: 1" = 10'-0"
Sheet:

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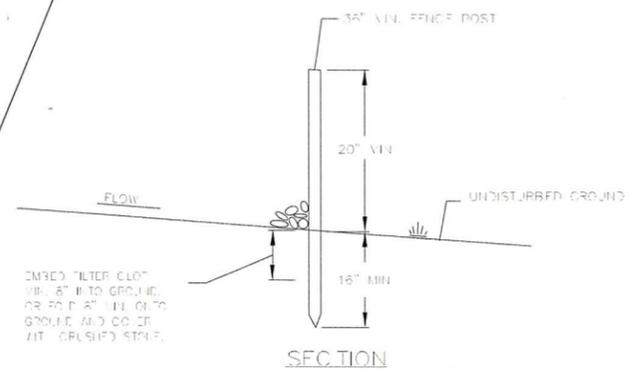
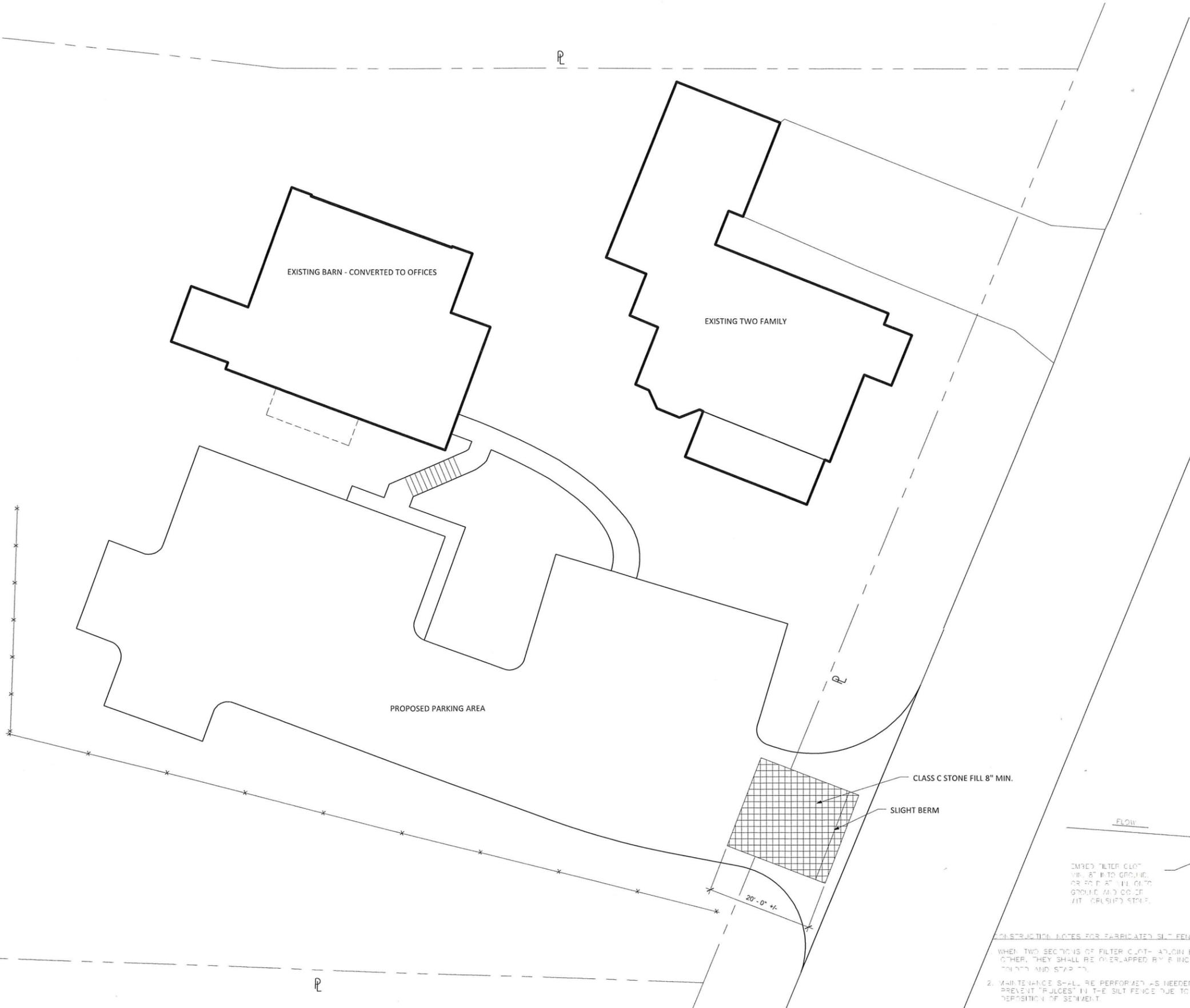
No.	Description	Date

ATOM PROPERTIES
 20 MAIN STREET NEW LONDON, NH 03257

20 MAIN
EROSION CONTROL
PLAN

Project Number: 20 MAIN
 Date: 8/7/18
 Scale: As indicated
 Sheet:

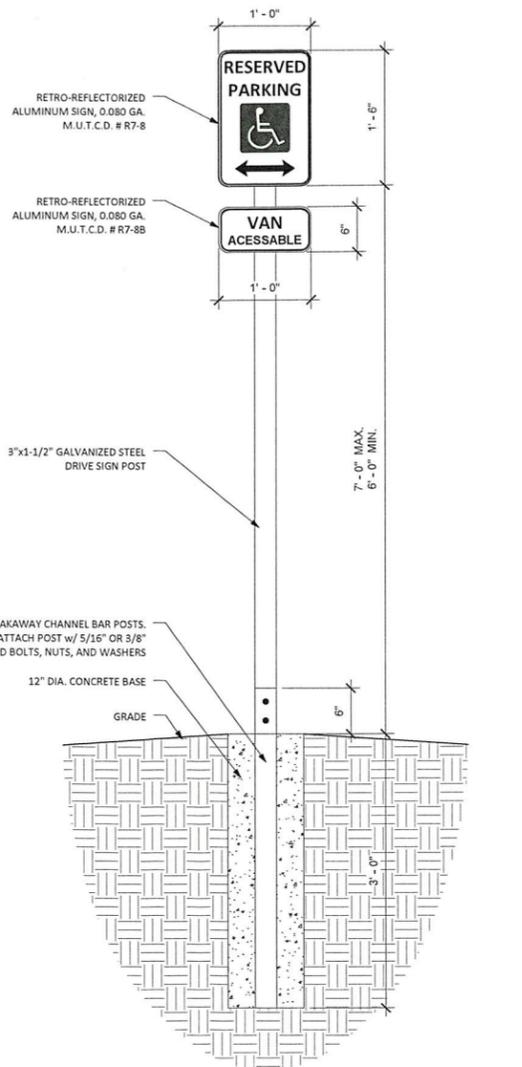
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- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, TIGHT AND STAY TIGHT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT "PUZZLES" IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

- MAINTENANCE REQUIREMENTS**
- INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL AND DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE PROJECT, THE FABRIC SHALL BE REPLACED PROPERLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR NOT IN PLACE AFTER THE FABRIC HAS BEEN RELOADED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND ADJACENT.

LEGEND
 * * * * * = SILT FENCE

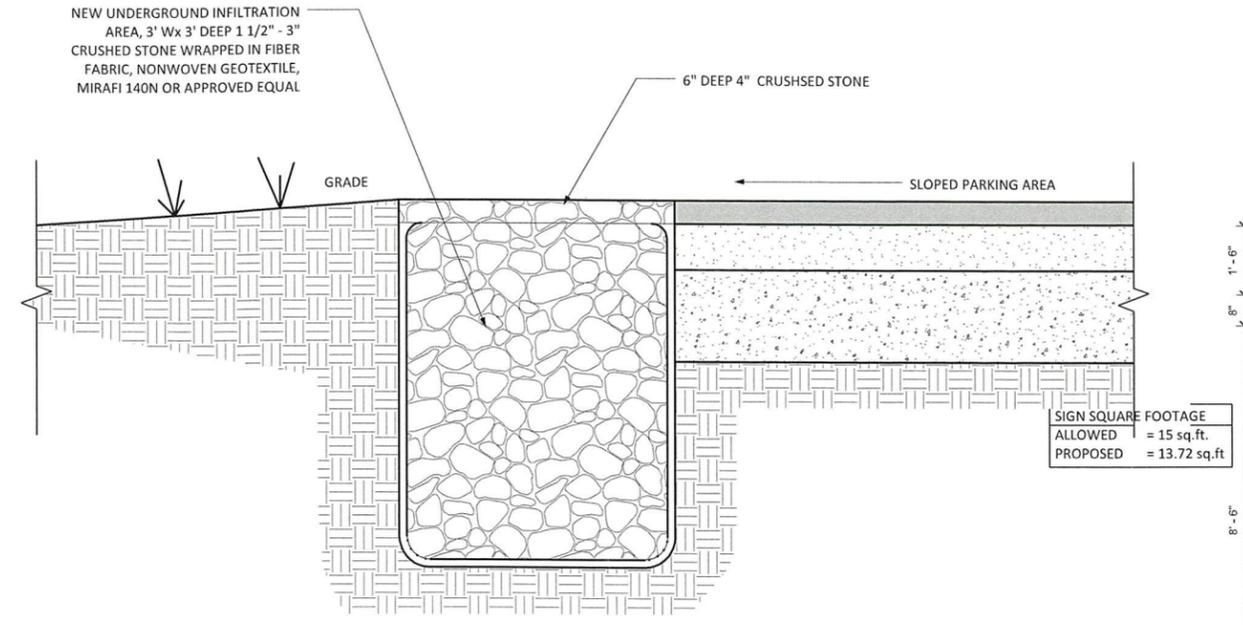


PARKING SIGN DETAIL

SCALE: NOT TO SCALE

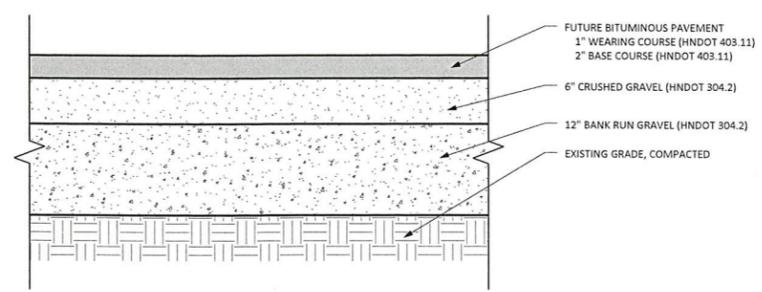
SPECIFIC NOTES:

(1) SIGN AT EACH HANDICAP SPACE. SEE SITE PLAN FOR LOCATION. PROVIDE "VAN ACCESSIBLE" SIGN AT SPACE ADJACENT TO 8'-0" LOADING AREA. SIGNS SHALL COMPLY WITH ADA AND M.U.T.C.D. STANDARDS. GREEN BOARDER AND LETTERING ON WHITE BACKGROUND AND EXHIBITING INTERNATIONAL SYMBOL OF ACCESSIBILITY.



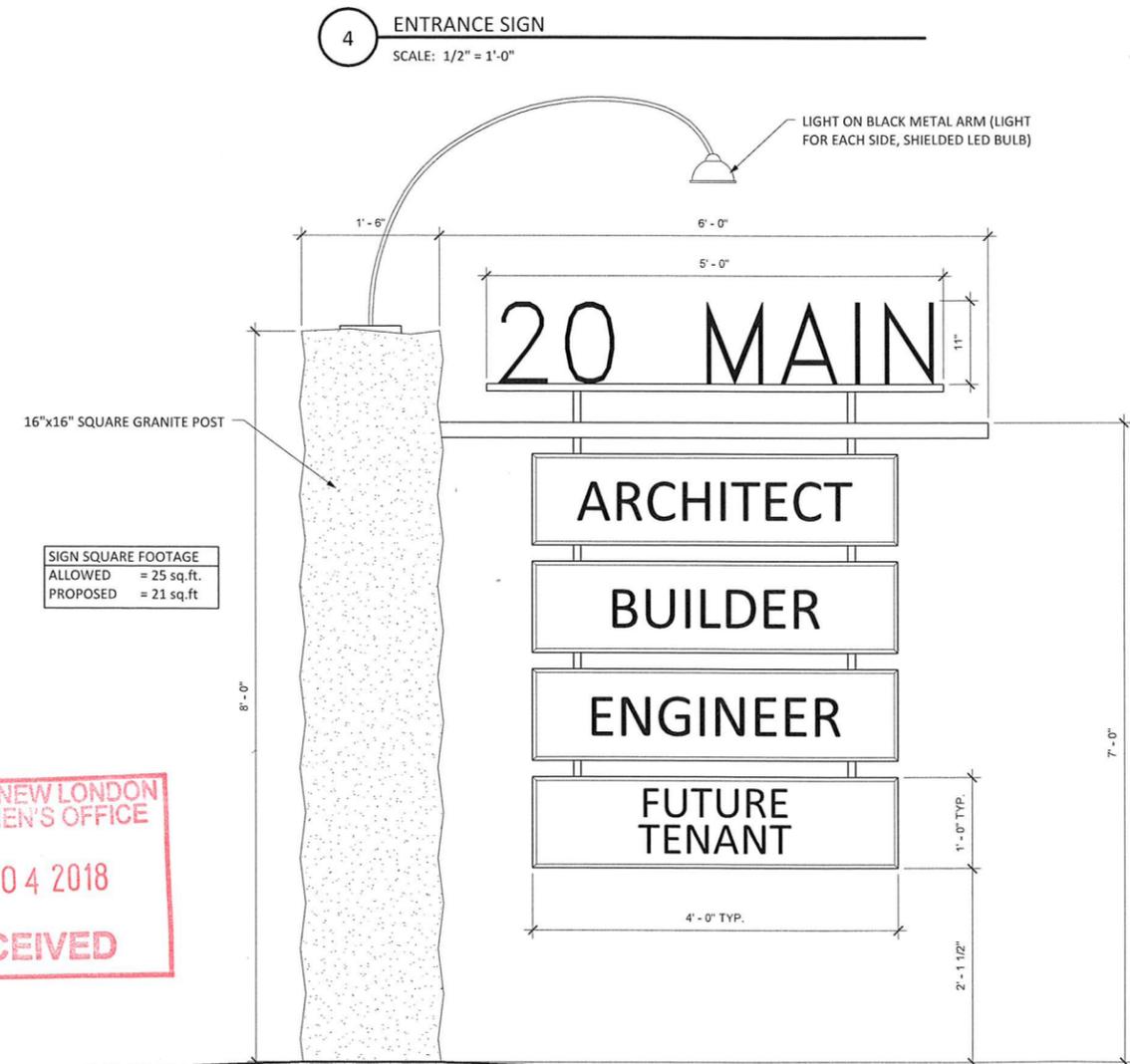
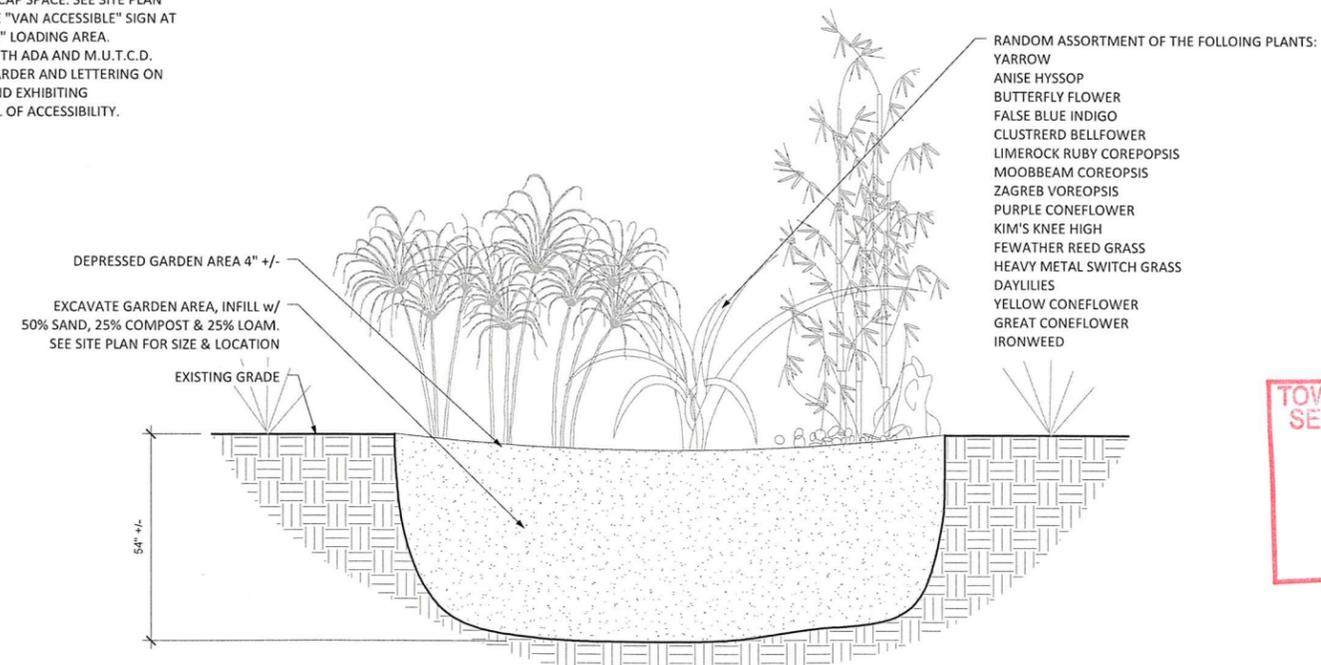
2 Drainage Detail

SCALE: NOT TO SCALE



3 TYPICAL PAVEMENT SECTION

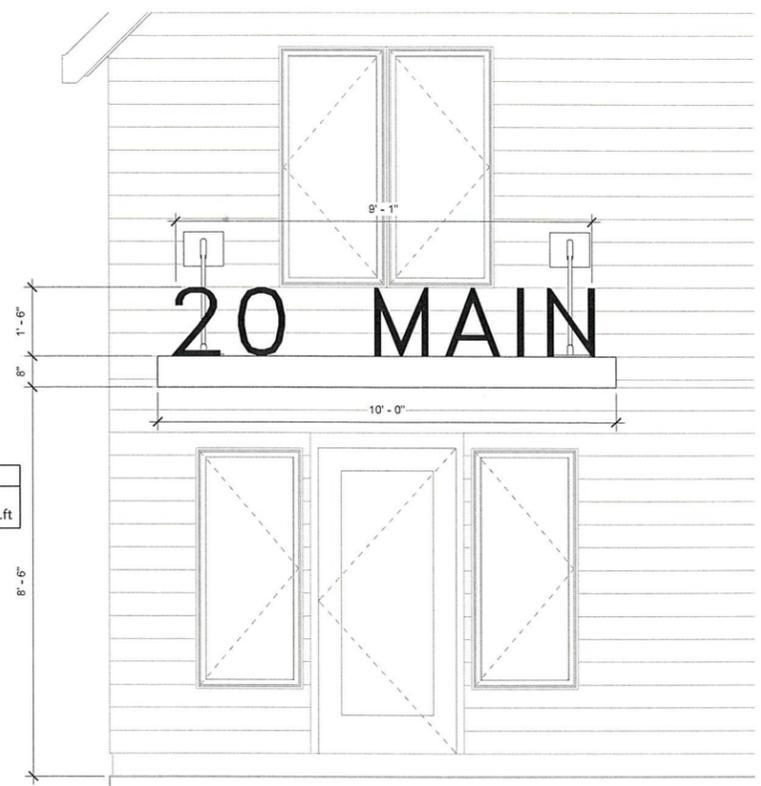
SCALE: NOT TO SCALE



4 ENTRANCE SIGN

SCALE: 1/2" = 1'-0"

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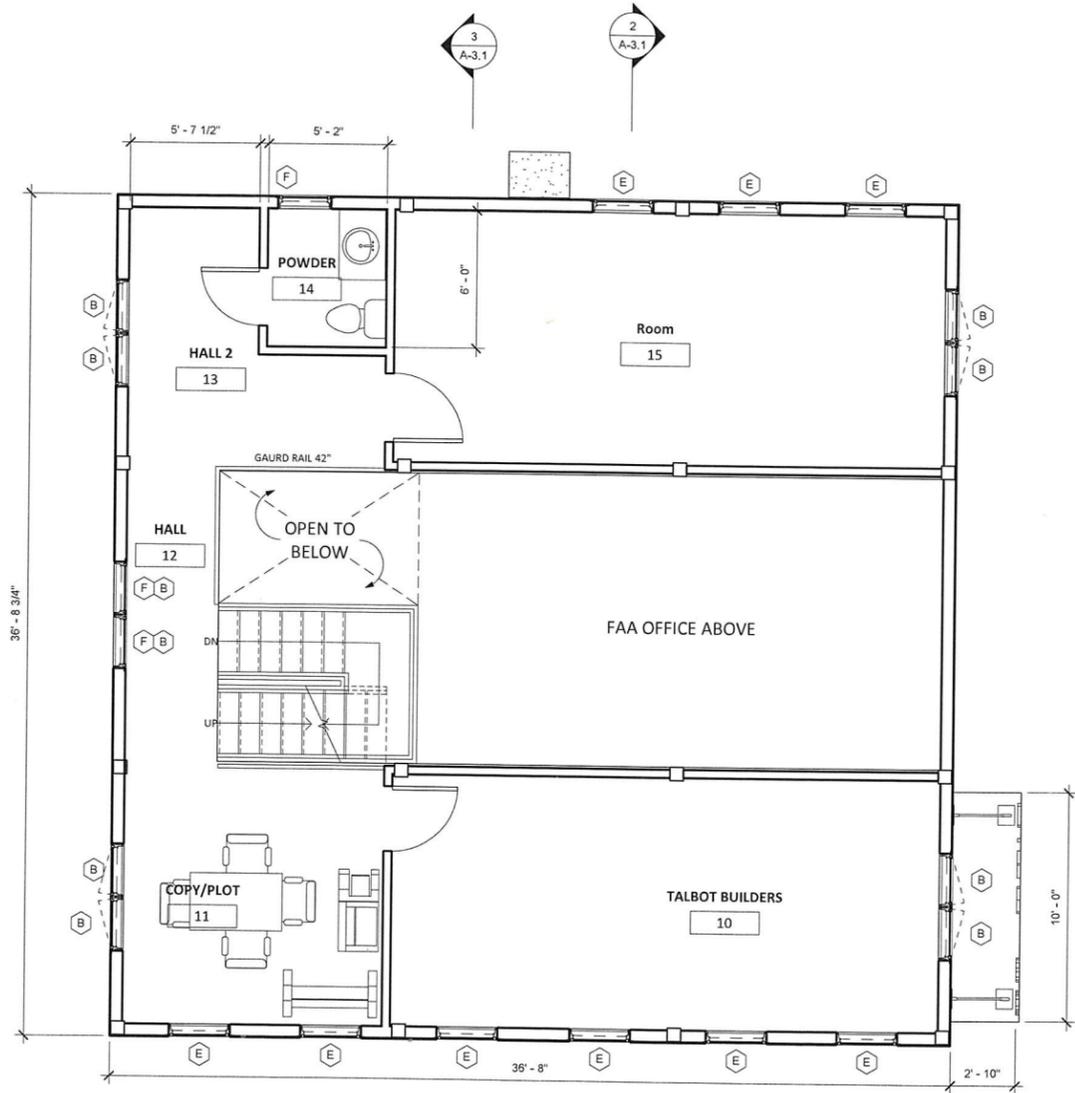
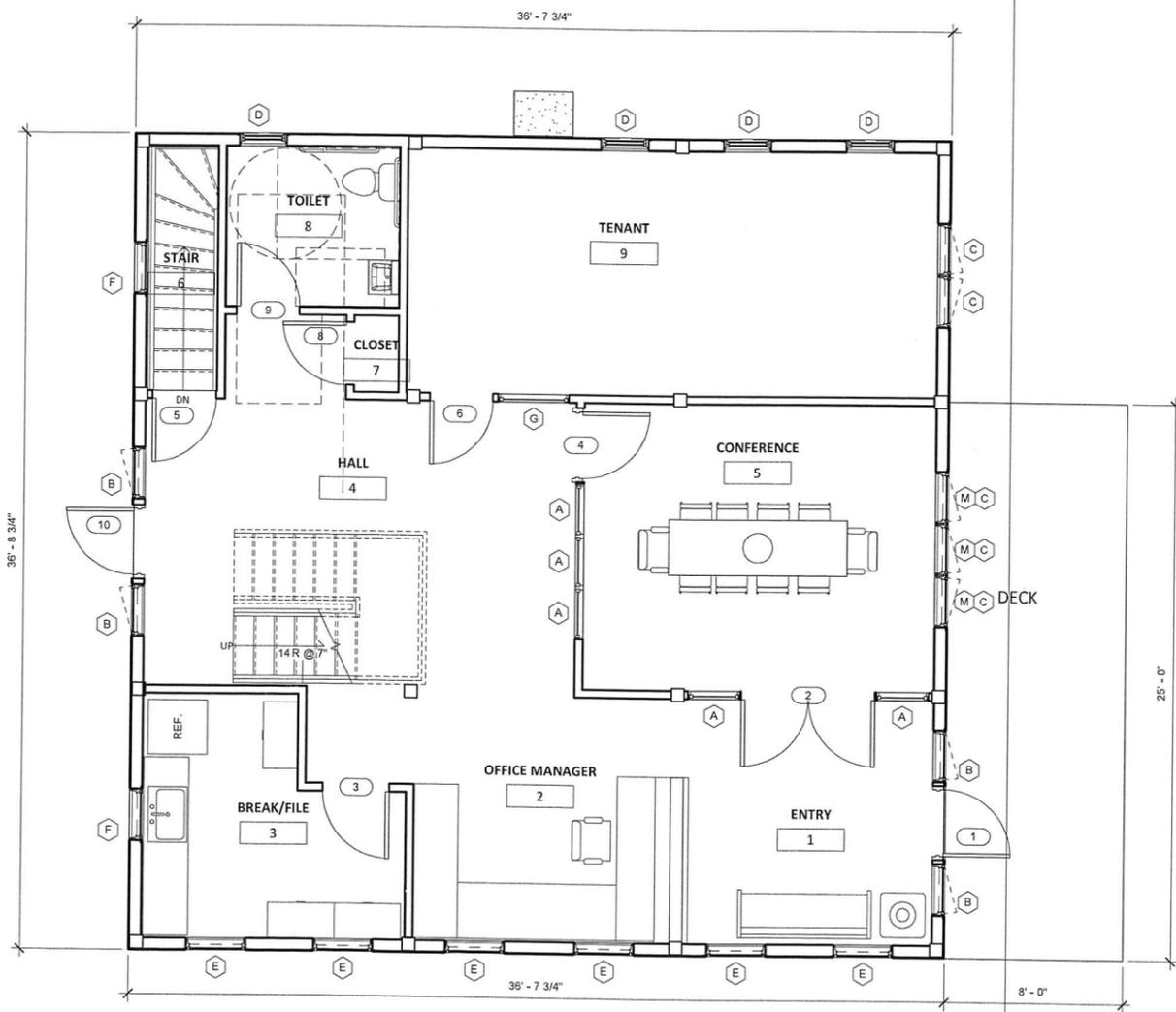


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ATOM PROPERTIES
20 MAIN STREET NEW LONDON, NH 03257

20 MAIN
SITE DETAILS
Project Number: 20 MAIN
Date: 8/7/18
Scale: As indicated
Sheet: _____



1 Level 1
SCALE: 1/4" = 1'-0"



2 Level 2
SCALE: 1/4" = 1'-0"

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20 MAIN
FIRST & SECOND
FLOOR PLANS

Project Number: 20 MAIN
Date: 8/7/18
Scale: 1/4" = 1'-0"
Sheet:

A-1.1

ATOM PROPERTIES

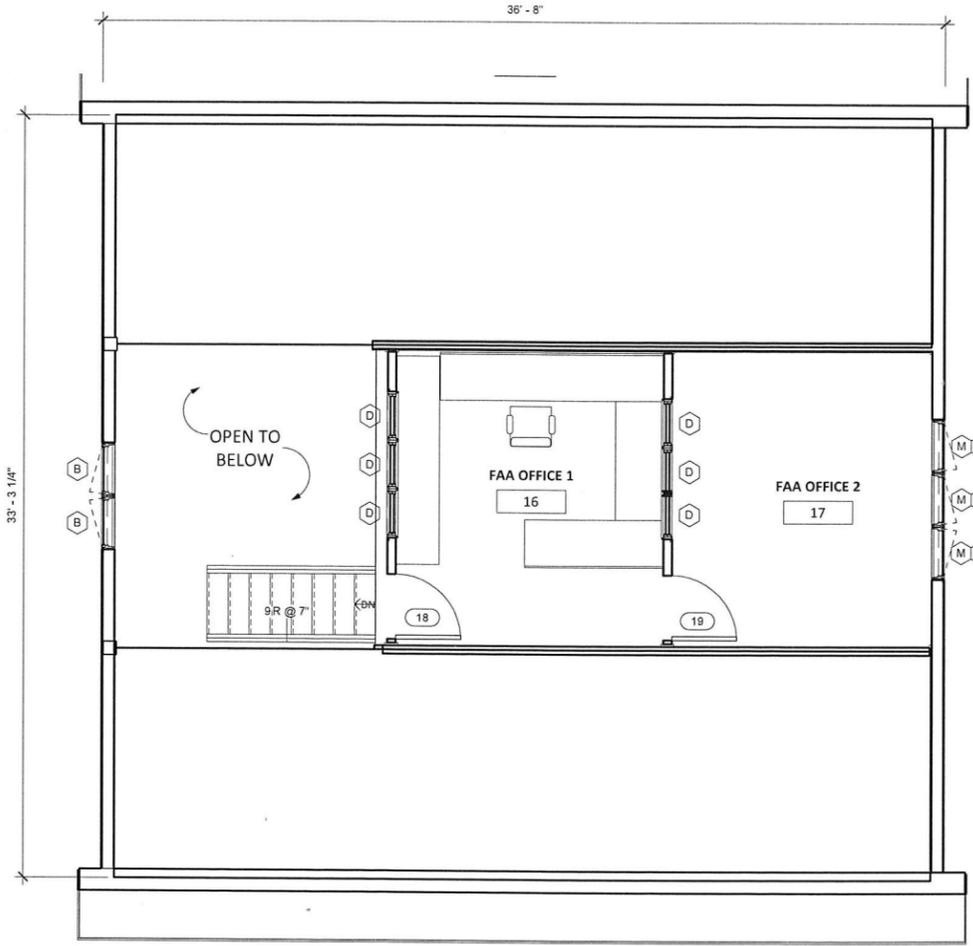
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1

Level 3

SCALE: 1/4" = 1'-0"

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20 MAIN

UPPER FLOOR PLAN

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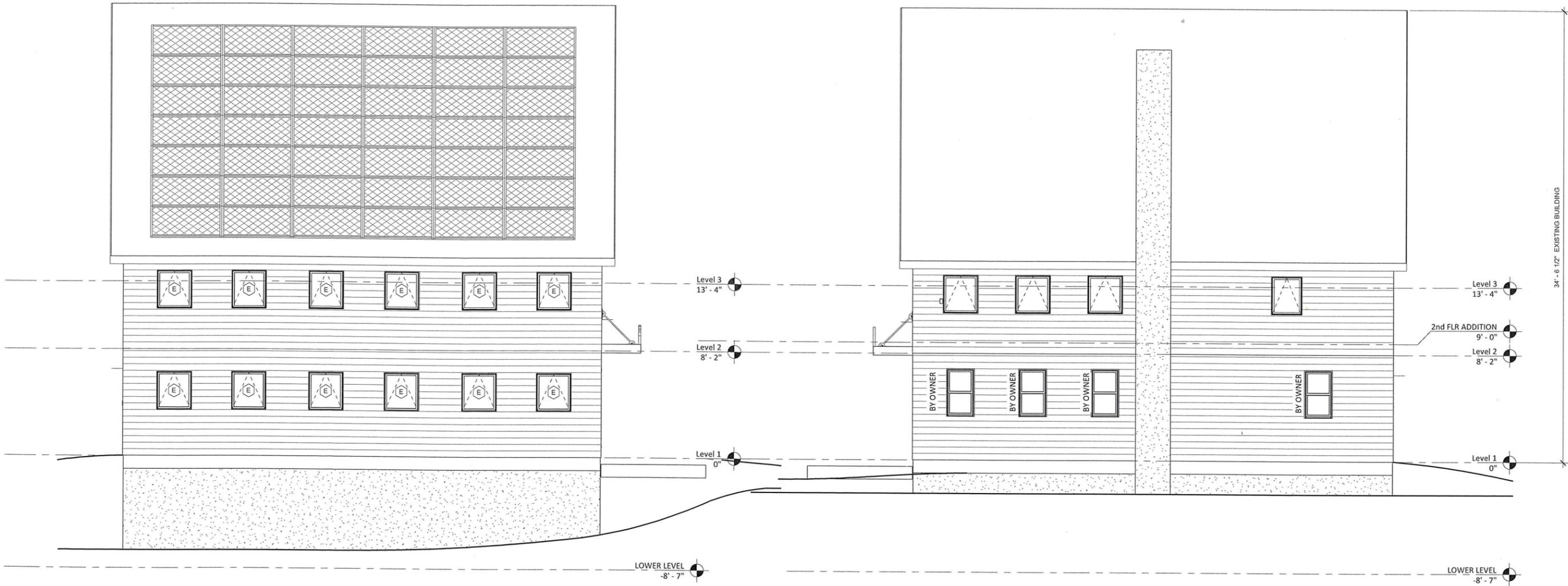
No.	Description	Date

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1 South Elevation
SCALE: 1/4" = 1'-0"

2 North Elevation
SCALE: 1/4" = 1'-0"



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No.	Description	Date

ATOM PROPERTIES
20 MAIN STREET NEW LONDON, NH 03257

20 MAIN
EXTERIOR ELEVATIONS

Project Number: 20 MAIN
Date: 8/7/18
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1 East Elevation
SCALE: 1/4" = 1'-0"



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20 MAIN
EXTERIOR ELEVATIONS

Project Number: 20 MAIN
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