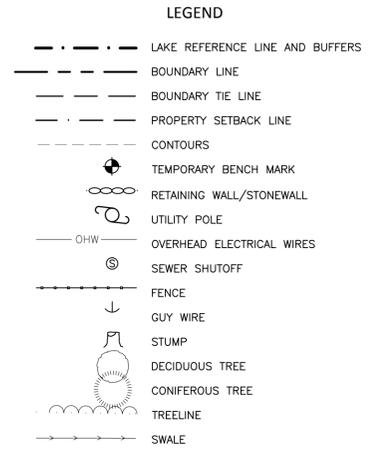
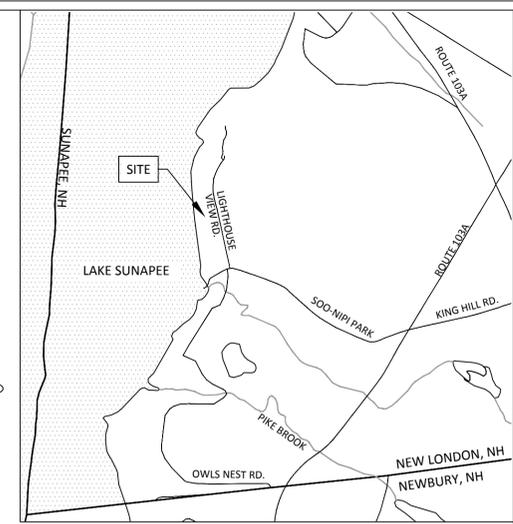
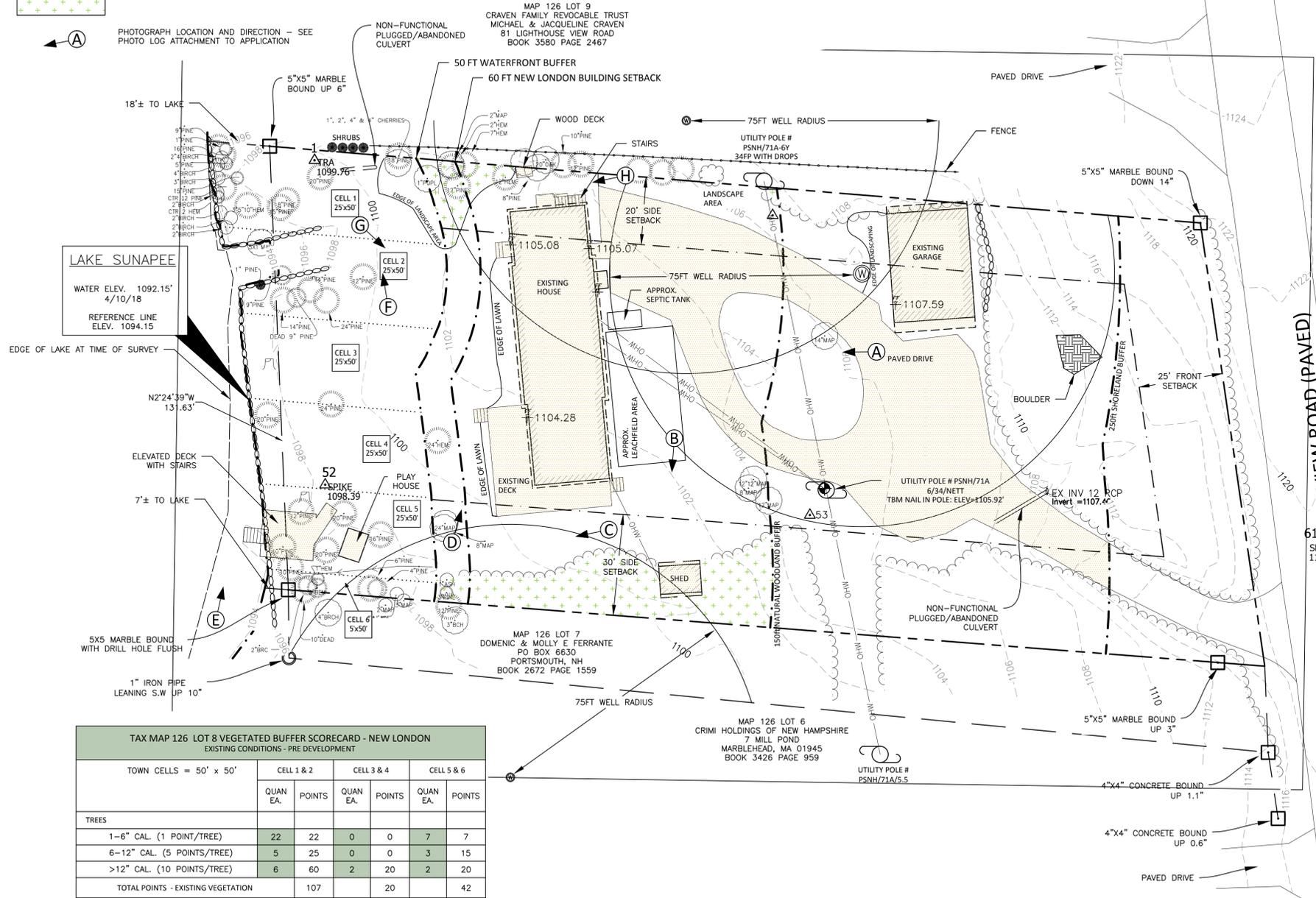


IMPERVIOUS AREA CALCS	
	EXISTING TOTAL
DRIVE, DECKS, DOCKS	6,400
HOUSE, SHED & GARAGE	3,188
TOTAL IMPERVIOUS AREA	9,588
TOTAL AREA TO 250'	33,560
PERCENT IMPERVIOUS	28.6%

EXISTING NATURAL WOODLAND VEGETATION AREA CALCULATIONS	
EXISTING VEG. AREA BETWEEN 50FT-150FT OF REF. LINE (S.F.)	1,713
TOTAL AREA BETWEEN 50FT-150FT OF REF. LINE (S.F.)	13,261
PERCENT OF NATURAL VEGETATION	12.9%



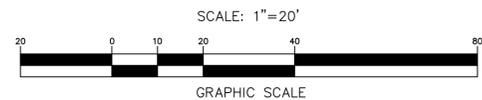
PHOTOGRAPH LOCATION AND DIRECTION - SEE PHOTO LOG ATTACHMENT TO APPLICATION



- SURVEY NOTES**
- THE INTENT OF THIS PLAN IS TO SHOW EXISTING SITE CONDITIONS AT TAX MAP 126 LOT 8 ON 61 LIGHTHOUSE RD IN NEW LONDON N.H.
 - OWNER OF RECORD/APPLICANT: MICHELLE GIBBS & MARC GIGUERE 92 DE VERE GDNS TORONTO, ON M5M 3G2 BOOK 3589 PAGE 1911
 - TAX MAP 126 LOT 8 LOT AREA: 38,220.5 SF 0.90 AC DEED REF. BK. 3240 PG. 157
 - PARCEL IS IN THE RESIDENTIAL (R2) ZONING DISTRICT FRONT SETBACK: 25' SIDE SETBACK: AGGREGATE OF 50' (MINIMUM OF 20') MAX. BUILDING HEIGHT: 34'
 - SHORELAND OVERLAY DISTRICT (250ft FROM LAKE REFERENCE LINE) NH DES BUILDING SETBACK: 50' (FROM REF. LINE) NEW LONDON STRUCTURE SETBACK: 60' (FROM REF. LINE) MAX IMPERVIOUS LOT AREA: 30%
 - TOPOGRAPHICAL INFORMATION IS BASED ON FIELD SURVEY PERFORMED BY CLD I FUSS & O'NEILL, INC. ON APRIL 10, 2018. DATUM INFORMATION WAS GENERATED FROM PUBLISHED WATER ELEVATION GAUGE READINGS FOR LAKE SUNAPEE AND SURVEYED AVERAGE WATER SURFACE AT TIME OF SURVEY.
 - UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT, OWNER, AND ENGINEER.
 - THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) A MINIMUM OF AT LEAST 3 BUSINESS DAYS (72 WORKING HOURS) PRIOR TO ANY CONSTRUCTION.

TAX MAP 126 LOT 8 VEGETATED BUFFER SCORECARD - NEW LONDON						
EXISTING CONDITIONS - PRE DEVELOPMENT						
TOWN CELLS = 50' x 50'	CELL 1 & 2		CELL 3 & 4		CELL 5 & 6	
	QUAN EA.	POINTS	QUAN EA.	POINTS	QUAN EA.	POINTS
TREES						
1-6" CAL. (1 POINT/TREE)	22	22	0	0	7	7
6-12" CAL. (5 POINTS/TREE)	5	25	0	0	3	15
>12" CAL. (10 POINTS/TREE)	6	60	2	20	2	20
TOTAL POINTS - EXISTING VEGETATION		107		20		42

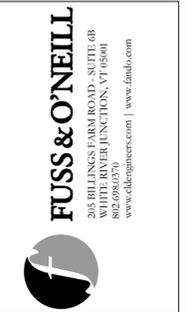
TAX MAP 126 LOT 8 VEGETATED BUFFER SCORECARD - NH DES										
EXISTING CONDITIONS - PRE DEVELOPMENT										
STATE CELLS = 25' x 50'	CELL1		CELL2		CELL3		CELL4		CELL6 (5'x50')	
	QUAN EA.	POINTS	QUAN EA.	POINTS						
TREES										
1-3" CAL. (1 POINT/TREE)	10	10	7	7	0	0	0	0	2	2
>3"-6" CAL. (5 POINT/TREE)	5	25	0	0	0	0	0	0	5	25
>6-12" CAL. (10 POINTS/TREE)	3	30	2	20	0	0	0	3	30	0
>12" CAL. (15 POINTS/TREE)	3	45	3	45	1	15	1	15	3	45
TOTAL POINTS - EXISTING VEGETATION		100		65		15		15		75



NH DES SHORELAND PERMIT #2018-02188
 APPROVAL: AUG. 16, 2018 - EXPIRES: AUG. 16, 2023



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MICHELLE GIBBS & MARC GIGUERE
 92 DE VERE GDNS
 TORONTO, ON M5M 3G2

**TAX MAP 126 LOT 8
 61 LIGHTHOUSE VIEW ROAD
 NEW LONDON, NH**

SCALE: 1"=20'
 PROJECT NO. 2018-0190
 DATE: 04/23/2018
 DWG. NO. CO

NO.	DATE	REVISION	DESIGNED:	CHECKED:	APPROVED:
			T.C.J.		

IMPERVIOUS AREA CALCS		
	EXISTING TOTAL	POST DEV. TOTAL
HOUSE & GARAGE	2,711	4,249 [▲]
DETACHED GARAGE	896	850
SHED(S)	182	0
DRIVEWAY	5,542	3983 [▲]
DECKS/DOCKS/PATHS	257	500
TOTAL IMPERVIOUS AREA	9,588	9,582
TOTAL AREA WITHIN 250'	33,560	33,560
PERCENT IMPERVIOUS	28.57%	28.55%

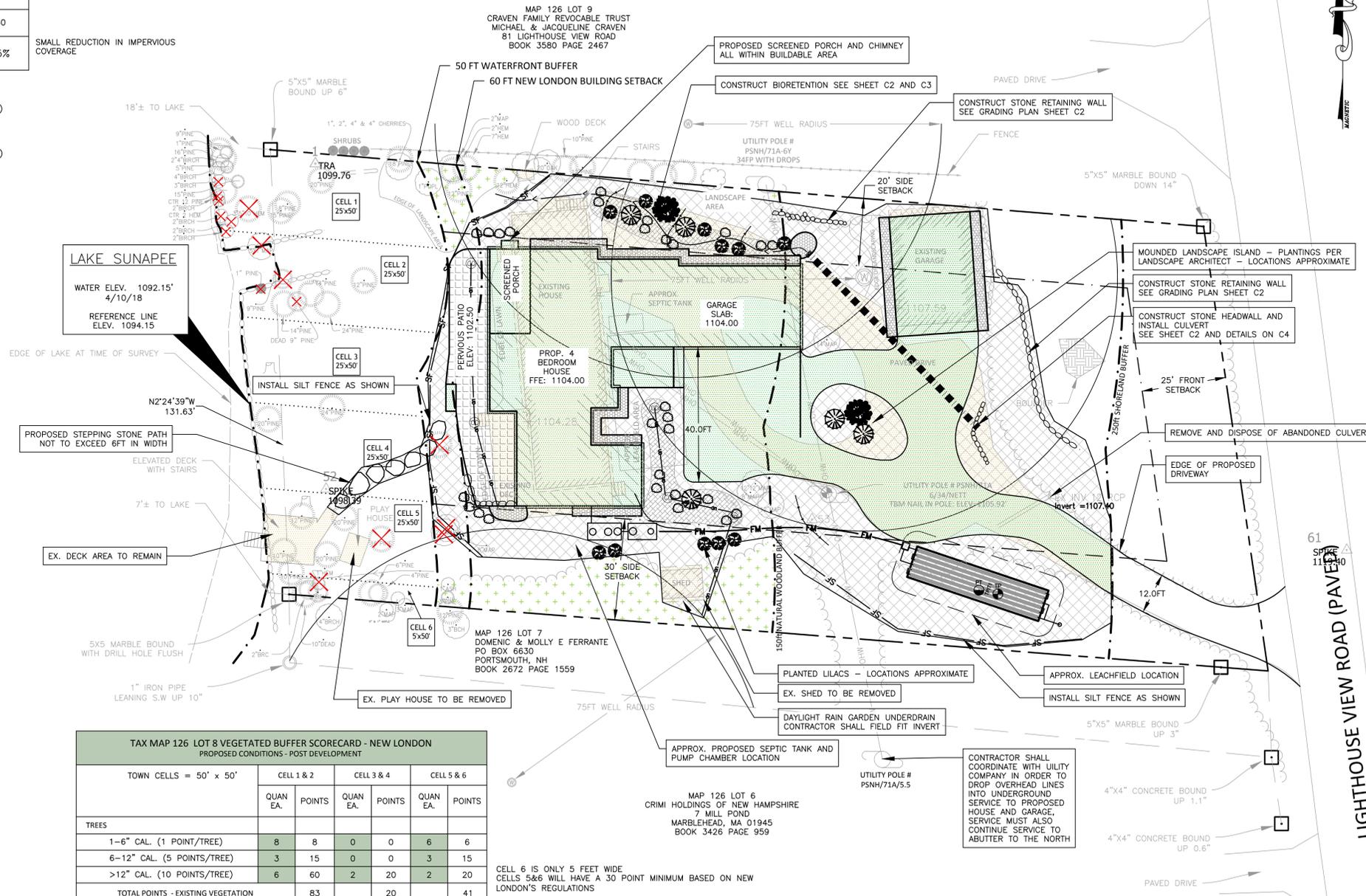
EXISTING NATURAL WOODLAND VEGETATION AREA CALCULATIONS		
EXISTING VEG. AREA BETWEEN 50FT-150FT OF REF. LINE (S.F.)		1,713
TOTAL AREA BETWEEN 50FT-150FT OF REF. LINE (S.F.)		13,261
PERCENT OF NATURAL VEGETATION		12.9%

NO VEGETATION SHALL BE REMOVED WITHIN WOODLAND BUFFER AREAS SHOWN. CONTRACTOR SHALL INSTALL CONSTRUCTION DEMARCATION FENCE OR ORANGE SNOW FENCE BETWEEN WORK AREAS AND NATURAL WOODLAND AREAS TO PROTECT VEGETATION

SMALL REDUCTION IN IMPERVIOUS COVERAGE

- EXISTING IMPERVIOUS AREA WITHIN PROTECTED SHORELAND (WITHIN 250' OF REFERENCE LINE)
- PROPOSED IMPERVIOUS AREA WITHIN PROTECTED SHORELAND (WITHIN 250' OF REFERENCE LINE)
- 50'-150' AREA OF EXISTING NATURAL WOODLAND VEGETATION
- DISTURBANCE AREA ~21,420 S.F.

PROPOSED TREE REMOVAL

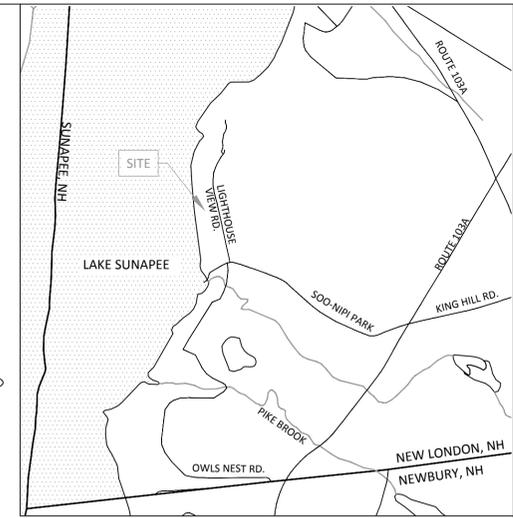


LAKE SUNAPEE
 WATER ELEV. 1092.15'
 4/10/18
 REFERENCE LINE ELEV. 1094.15

TAX MAP 126 LOT 8 VEGETATED BUFFER SCORECARD - NEW LONDON						
PROPOSED CONDITIONS - POST DEVELOPMENT						
TOWN CELLS = 50' x 50'	CELL 1 & 2		CELL 3 & 4		CELL 5 & 6	
	QUAN. EA.	POINTS	QUAN. EA.	POINTS	QUAN. EA.	POINTS
TREES						
1-6" CAL. (1 POINT/TREE)	8	8	0	0	6	6
6-12" CAL. (5 POINTS/TREE)	3	15	0	0	3	15
>12" CAL. (10 POINTS/TREE)	6	60	2	20	2	20
TOTAL POINTS - EXISTING VEGETATION		83		20		41

TAX MAP 126 LOT 8 VEGETATED BUFFER SCORECARD - NH DES										
PROPOSED CONDITIONS - POST DEVELOPMENT										
STATE CELLS = 25' x 50'	CELL1		CELL2		CELL3		CELL4		CELL5 (5'x50')	
	QUAN. EA.	POINTS	QUAN. EA.	POINTS						
TREES										
1-3" CAL. (1 POINT/TREE)	4	4	0	0	0	0	0	0	2	2
>3"-6" CAL. (5 POINT/TREE)	4	20	0	0	0	0	0	0	5	25
>6-12" CAL. (10 POINTS/TREE)	2	20	1	10	0	0	0	3	30	0
>12" CAL. (15 POINTS/TREE)	3	45	3	45	1	15	1	15	2	30
TOTAL POINTS - EXISTING VEGETATION		85		55		15		15		60

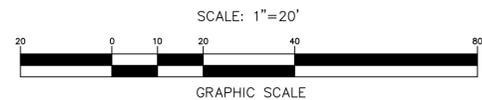
CELL 6 IS ONLY 5 FEET WIDE
 CELLS 5&6 WILL HAVE A 30 POINT MINIMUM BASED ON NEW LONDON'S REGULATIONS



- LEGEND**
- LAKE REFERENCE LINE AND BUFFERS
 - BOUNDARY LINE
 - BOUNDARY TIE LINE
 - PROPERTY SETBACK LINE
 - CONTOURS
 - TEMPORARY BENCH MARK
 - RETAINING WALL/STONEWALL
 - UTILITY POLE
 - OVERHEAD ELECTRICAL WIRES
 - SEWER SHUTOFF
 - FENCE
 - GUY WIRE
 - STUMP
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - TREELINE
 - SWALE
 - UNDERDRAIN CLEANOUT
 - UNDERDRAIN
 - FM SEWER FORCEMAIN
 - SF SILT FENCE
 - STRAW WATTLE CHECK DAM

- PLAN NOTES**
- THE INTENT OF THIS PLAN IS TO SHOW PROPOSED SITE CONDITIONS AT TAX MAP 126 LOT 8 ON 61 LIGHTHOUSE RD IN NEW LONDON N.H.
 - OWNER OF RECORD/APPLICANT: MICHELLE GIBBS & MARC GIGUERE 92 DE VERE GDNS TORONTO, ON M5M 3G2 BOOK 3589 PAGE 1911
 - TAX MAP 126 LOT 8 LOT AREA: 38,220.5 SF 0.90 AC DEED REF. BK. 3240 PG. 157
 - PARCEL IS IN THE RESIDENTIAL (R2) ZONING DISTRICT FRONT SETBACK: 25' SIDE SETBACK: AGGREGATE OF 50' (MINIMUM OF 20') MAX. BUILDING HEIGHT: 34'
 - SHORELAND OVERLAY DISTRICT (250ft FROM LAKE REFERENCE LINE) NH DES BUILDING SETBACK: 50' (FROM REF. LINE) NEW LONDON STRUCTURE SETBACK: 60' (FROM REF. LINE) MAX IMPERVIOUS LOT AREA: 30%
 - REFER TO EXISTING CONDITIONS PLAN FOR SURVEY NOTES

NH DES SHORELAND PERMIT #2018-02188
 APPROVAL: AUG. 16, 2018 - EXPIRES: AUG. 16, 2023



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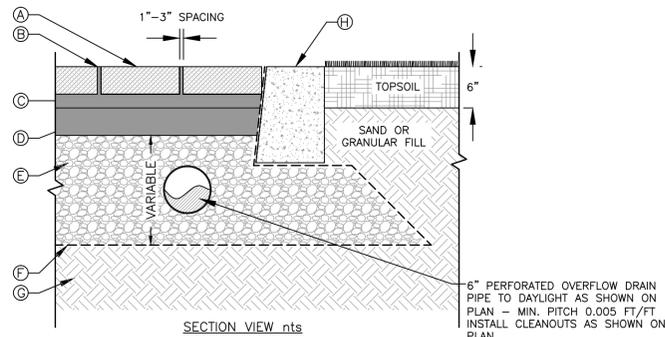
FUSS & O'NEILL
 286 BELLEVILLE ST. SUITE 608
 WHITE RIVER JUNCTION, VT 05484
 802.698.0797
 www.fussandoneill.com

MICHELLE GIBBS & MARC GIGUERE
 92 DE VERE GDNS
 TORONTO, ON M5M 3G2

**TAX MAP 126 LOT 8
 61 LIGHTHOUSE VIEW ROAD
 NEW LONDON, NH**

**SHORELAND COMPLIANCE
 PROPOSED SITE
 PLAN**

SCALE: 1"=20'	PROJECT NO. 2018-0190
DATE: 06/01/2018	DWG. NO. C1



- LEGEND:**
- (A) PERMEABLE PAVER - STYLE, COLOR AND SIZE TO BE CHOSEN BY OWNER/LANDSCAPE ARCHITECT
 - (B) JOINT FILLING MATERIAL TO BE 3/8" WASHED STONE. JOINTS SHALL BE A MINIMUM OF 1" WIDE
 - (C) BEDDING COURSE, 2" THICK WASHED 3/8" STONE
 - (D) BASE COURSE, 4" THICK 3/4" WASHED STONE
 - (E) SUBBASE COURSE, 12" MIN. THICKNESS 1.5" WASHED STONE
 - (F) NON-WOVEN 40Z. GEOTEXTILE FABRIC - OVERLAP ALL SEAMS A MIN. OF 1 FOOT
 - (G) SUBGRADE - SCARIFY EXISTING GROUND SURFACE TO A DEPTH OF 4 INCHES TO PROMOTE INFILTRATION
 - (H) EDGE RESTRAINT - NATURAL STONE OR MANUFACTURED MODULAR BLOCK

PERVIOUS PATIO GENERAL NOTES:

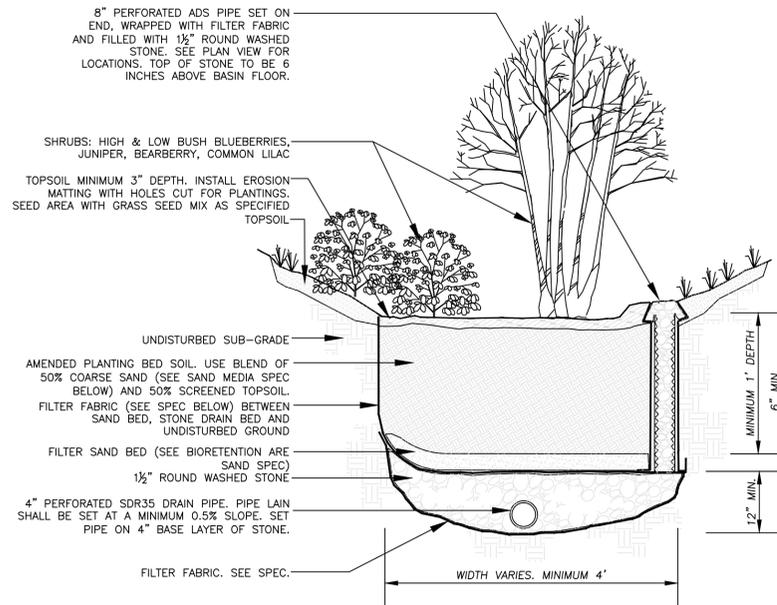
1. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION GUIDELINES.
2. PITCH SUBGRADE AND EACH LAYER OF SELECT MATERIAL AWAY FROM FOUNDATION WALLS TOWARD THE DOWNHILL OR OVERFLOW OUTLET.
3. IF PERVIOUS PATIO IS ADJACENT TO FOUNDATION/BASEMENT WALLS, THE CONTRACTOR SHALL WATERPROOF AND INSULATE THE FOUNDATION WALLS.

PERVIOUS PATIO MAINTENANCE NOTES:

1. KEEP SURFACE CLEAN OF LEAVES AND DEBRIS.
2. SWEEP ON A ROUTINE BASIS. PERFORM IN DRY WEATHER TO REMOVE ENCRUSTED SEDIMENT.
3. DO NOT PRESSURE WASH AS WATER JET CAN DRIVE RESIDUE INTO THE BED AND BASE BELOW.
4. REMOVE SNOW PROMPTLY. USE SAND AND DEICING CHEMICALS SPARINGLY.
5. JOINTS: REPLENISH STONE AS NEEDED. REMOVE VEGETATION.
6. REPLACE BROKEN PAVERS AS NEEDED TO ENSURE STRUCTURAL INTEGRITY OF SURFACE.

Pervious Patio Detail

NTS



Bioretention Basin Detail

NTS

BIORETENTION AREA FILTER FABRIC SPECIFICATION

FILTER FABRIC TO BE NON-WOVEN GEOTEXTILE COMPOSED OF POLYPROPYLENE FIBERS FORMED INTO A STABLE NETWORK SUCH THAT FIBERS RETAIN THEIR RELATIVE POSITION. FABRIC SHALL BE INERT TO BIOLOGICAL DEGRADATION AND RESISTANT TO NATURALLY ENCOUNTERED CHEMICALS, ALKALIS, AND ACIDS. PRODUCT SHALL BE MIRAFI 140N OR APPROVED SIMILAR.

BIORETENTION AREA SAND SPECIFICATION

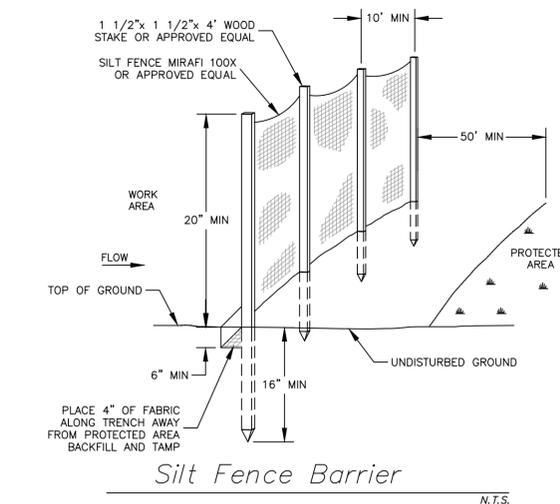
COARSE SAND MEDIA SHALL BE A SOIL MATERIAL COMPLYING WITH THE FOLLOWING SIEVE ANALYSIS OUTLINED BELOW:

SIEVE NUMBER	OPENING (mm)	PERCENT PASSING by WEIGHT
3/8	9.500	100
4	4.750	60 - 100
8	2.380	7 - 75
16	1.190	0 - 5
30	0.590	0 - 3
50	0.297	0 - 2

BIORETENTION AREA GRASS SEED MIX*

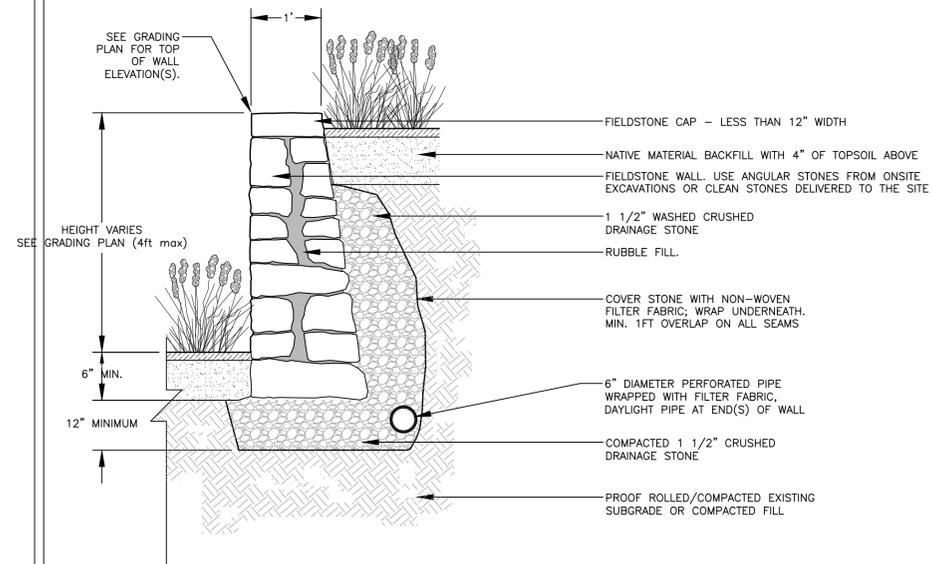
BOTANICAL NAME	COMMON NAME
ELYMUS CANADENSIS	CANADA WILD RYE
FESTUCA RUBRA	RED FESCUE
LOLIUM MULTIFLORUM	ANNUAL RYEGRASS
LOLIUM PERENNE	PERENNIAL RYEGRASS
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM
PANICUM VIRGATUM	SWITCH GRASS
SORGHASTRUM NUTANS	INDIAN GRASS
	APPLY @ 1250 SQFT/LB

*MIX PERCENTAGES PER PRODUCT BY NEW ENGLAND PLANTS, INC. NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES WWW.NEWP.COM



Silt Fence Barrier

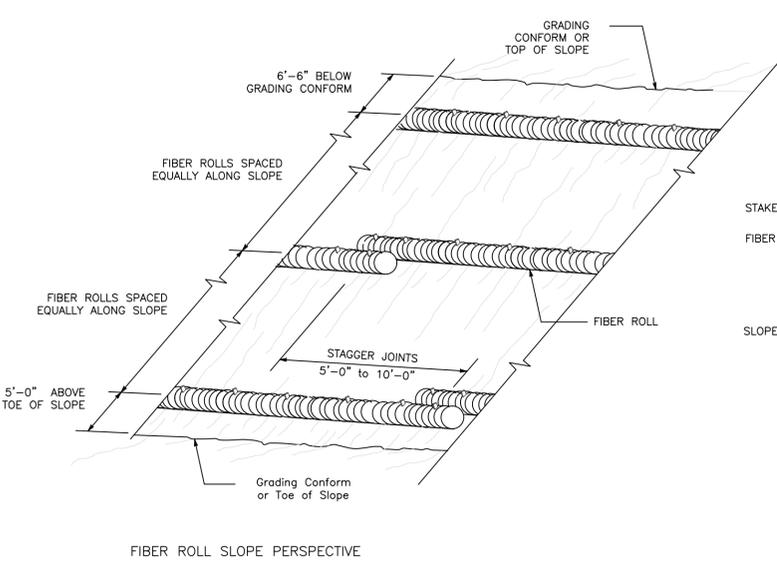
N.T.S.



Fieldstone Retaining Wall

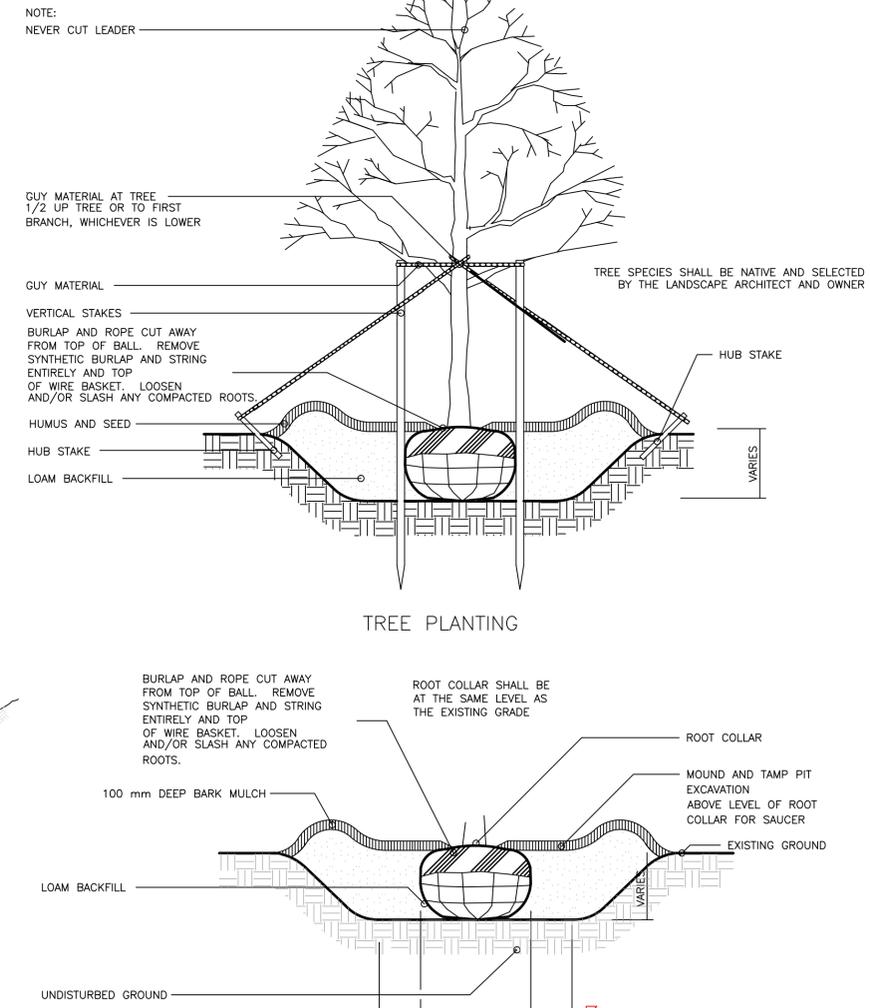
N.T.S.

IF WALL CONDITIONS ARE MODIFIED IN THE FIELD TO INCREASE THE HEIGHT BEYOND 48 INCHES THE CONTRACTOR SHALL OBTAIN A CERTIFIED STAMPED SHOP DRAWING OF THE STONE RETAINING WALL(S) FROM A NH LICENSED GEOTECHNICAL ENGINEER.



Straw Wattle Roll Erosion Control

N.T.S.



SHRUB/PERENNIAL PLANTING Planting Details

SHRUBS: SHALL BE NATIVE AND SELECTED BY THE LANDSCAPE ARCHITECT AND OWNER (HIGH & LOW BUSH BLUEBERRIES, JUNIPER, BEARBERRY, COMMON LILAC, ETC.)

NH DES SHORELAND PERMIT #2018-02188
APPROVAL: AUG. 16, 2018 - EXPIRES: AUG. 16, 2023



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NO.	DATE	REVISION	CHECKED:	APPROVED:
1	9/19/18	MOD. SCREEN PORCH & MOVE HOUSE BACK 3ft		
			DLM	

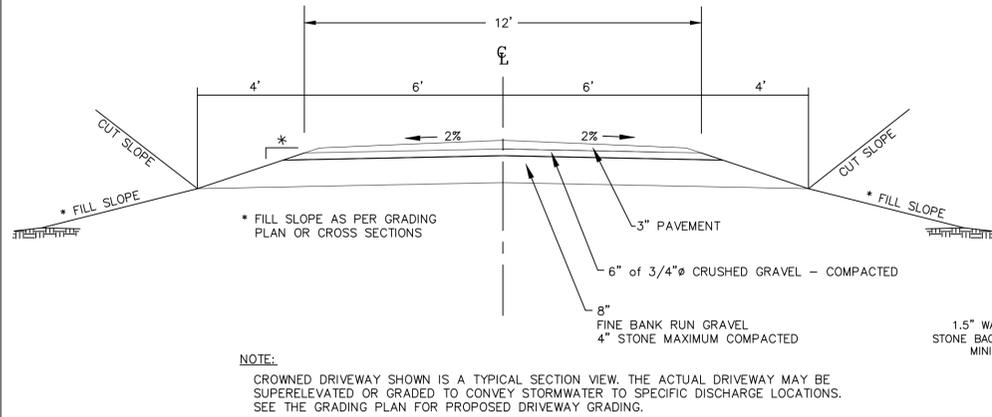
FUSS & O'NEILL
206 BELLINGHAM ROAD, SUITE 6B
WHITE RIVER JUNCTION, VT 05481
802.698.0379
www.fussandoneill.com | www.dinab.com

MICHELLE GIBBS & MARC GIGUERE
92 DE VERE GDMS
TORONTO, ON M5M 3G2

CONSTRUCTION DETAILS

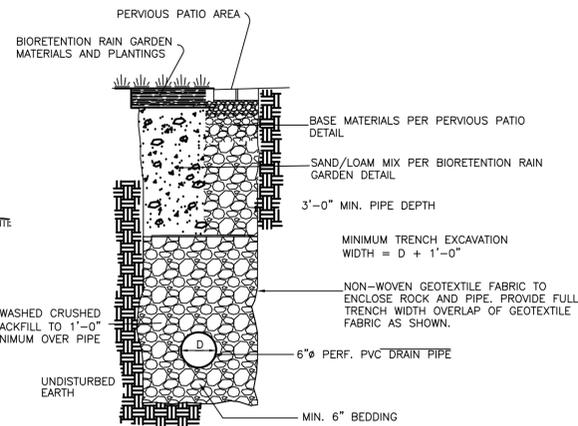
TAX MAP 126 LOT 8
61 LIGHTHOUSE VIEW ROAD
NEW LONDON, NH

SCALE: 1"=20'	PROJECT NO. 2018-0190
DATE: 06/01/2018	DWG. NO. C3



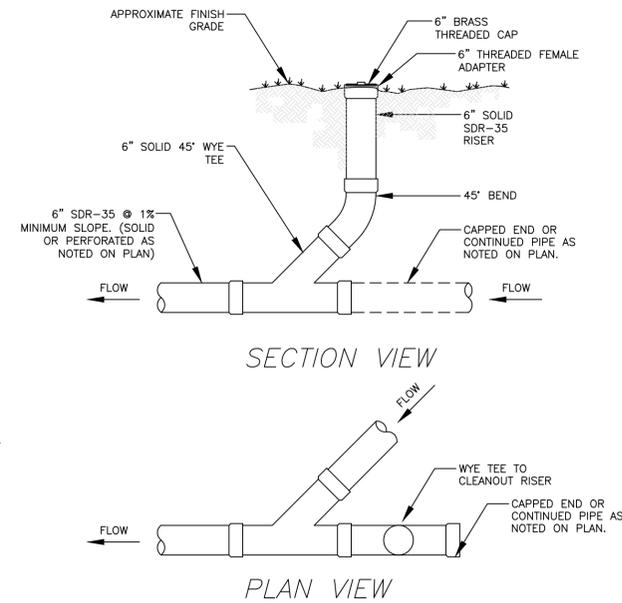
Driveway Section Detail

NTS



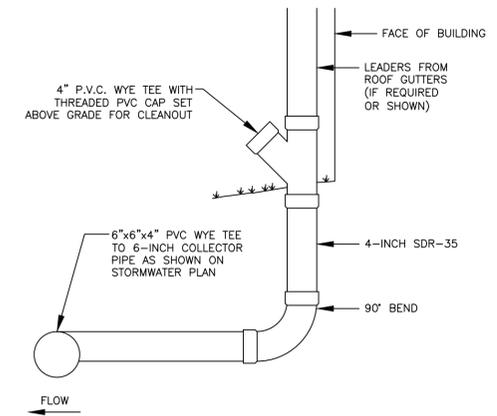
Underdrain Section Detail

NTS



Underdrain Line Cleanout

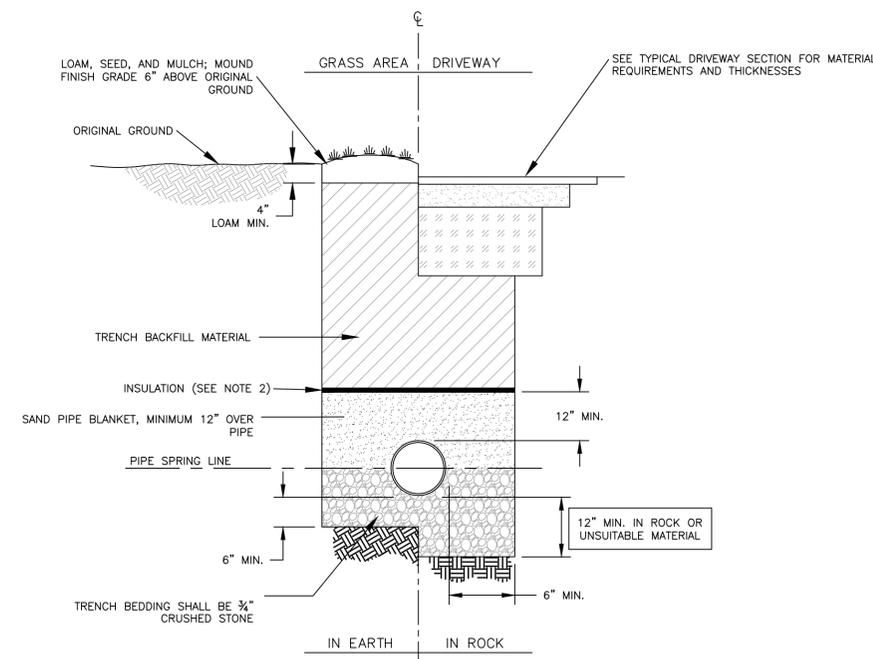
N.T.S.



Roof Leader Collection

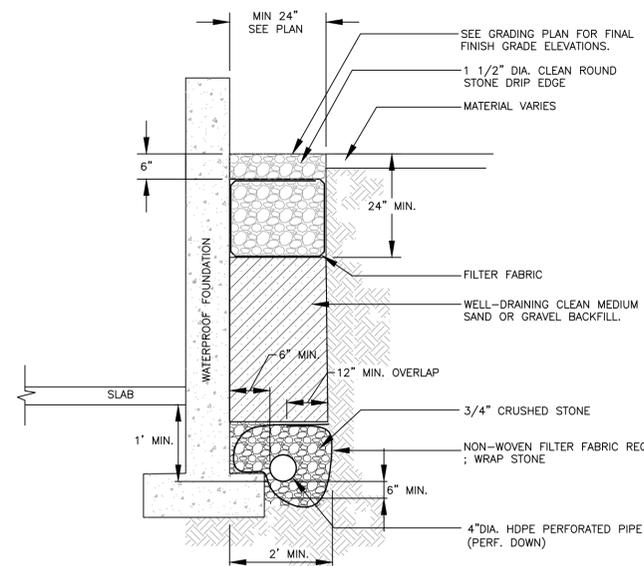
N.T.S.

ROOF GUTTERS MAY NOT BE APPLICABLE - THE CONTRACTOR SHALL CHECK WITH GENERAL CONTRACTOR OR PROJECT MANAGER TO SEE IF ANY GUTTER SYSTEMS ARE PROPOSED - ANY ADDED GUTTER SYSTEMS MAY BE DISCHARGED DIRECTLY TO DRIPEDGES IF POSSIBLE.



Typical Culvert Trench

N.T.S.

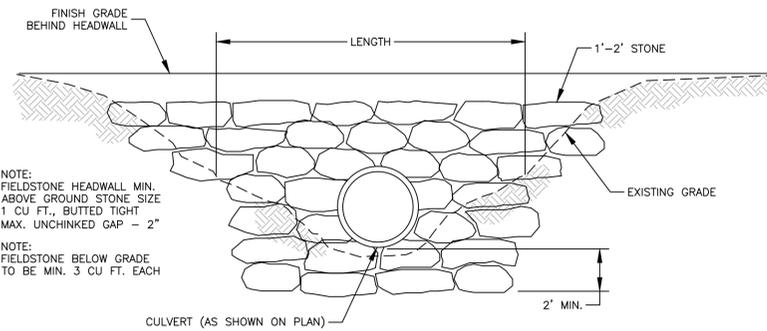


Stone Drip Edge & Perimeter Drain

N.T.S.

DIA. OF PIPE	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	BOTTOM HEADWALL WIDTH
D	L	H	FH	h	w
< 6"	3'-6"	3'-6"	1'-0"	1'-0"	1'-9"
6-8"	3'-9"	3'-6"	1'-0"	1'-0"	1'-9"
12"	4'-3"	3'-9"	1'-1"	1'-3"	2'-0"
15"	6'-0"	4'-3"	1'-7"	1'-6"	2'-1"
18"	7'-0"	4'-6"	1'-10"	1'-6"	2'-2"
24"	9'-0"	5'-0"	2'-4"	1'-6"	2'-3"
30"	11'-0"	5'-6"	2'-10"	1'-6"	2'-5"
36"	13'-0"	6'-0"	3'-1"	1'-6"	2'-6"
42"	15'-9"	6'-9"	4'-1"	1'-9"	2'-9"
48"	17'-9"	7'-3"	4'-7"	1'-9"	2'-10"

- NOTES:
- ALL DIMENSIONS GIVEN IN FEET AND INCHES EXCEPT PIPE DIAMETER.
 - PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
 - RIP-RAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.



Stone Headwall Detail

N.T.S.

NOTE: REFER TO STONE RETAINING WALL DETAIL FOR BASE MATERIALS AND ADDITIONAL INFORMATION ON WALL CONSTRUCTION



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CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION



MICHELLE GIBBS & MARC GIGUERE
92 DE VERE GDNS
TORONTO, ON M5M 3G2

TAX MAP 126 LOT 8
61 LIGHTHOUSE VIEW ROAD
NEW LONDON, NH
CONSTRUCTION DETAILS

SCALE: 1"=20'	PROJECT NO. 2018-0190
DATE: 06/01/2018	DWG. NO. C4

