

Executive Summary for Planning Board Review
To New London Zoning Article XVI, Section F.2.c.vii.
Robert Martin and Carol Thrane; Tax Map 126, Lot 13; Zone R-2

September 4, 2019

Application is herewith made for Planning Board Review relative to New London Zoning Article XVI, Section F.2.c.vii relating to temporary shoreland impacts from construction. Specifically, this Article requires Planning Board Review for a temporary 12' wide access path in the Waterfront Buffer. The need for the temporary access is to replace-in-kind the existing deck attached to the house, which is completely located within the Waterfront Buffer. In addition, a walkway to the water and restoration within the Waterfront Buffer is proposed.

The primary reason for the reconstruction of the deck is for the safety of the users, and to address stability issues with its existing footings and its connection to the house. The proposed work maintains the existing footprint and impervious coverage of the deck, and therefore no change in encroachment on the adjacent resource (Lake Sunapee) occurs. We will be seeking a Variance from the Zoning Board of Adjustment for site work associated with the deck replacement within the Waterfront Buffer (Article XX, Section B.1.c.i.).

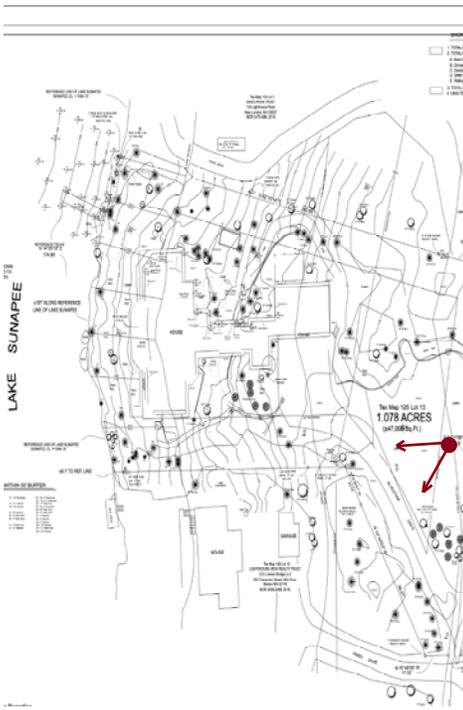
The proposed 4' wide walkway, and shoreland restoration under consideration will impact approximately 1,200 ± SF, of which, the proposed walkway comprises approximately 230 square feet. Weathered feature stones transition grade, limiting the cut and fill extensions; therefore reducing impacts in the Shore Land Overlay District (250'). The feature stones also create "planting pockets" for low growing native vegetation and enhanced stormwater infiltration, which will replace the existing turf in this area (see attached restoration plan).

No trees need to be removed as part of this work as there exists a sufficient construction envelope within which to create the path and conduct the scope of work. The temporary equipment access on the south side of the house is steep (26%±) and is vegetated with mature rhododendron on either side (see accompanying photos). The branches that conflict with equipment access will be tied back and avoided to minimize damage/breakage. The temporary access route will be covered by 6-12" of woodchips to minimize soil compaction over root zones and to discourage erosion of the temporary access route. Once work in the Waterfront Buffer is complete, the temporary equipment access route will be restored to a mulch and pine needle covered footpath, for lakeside access on the south side of the house.

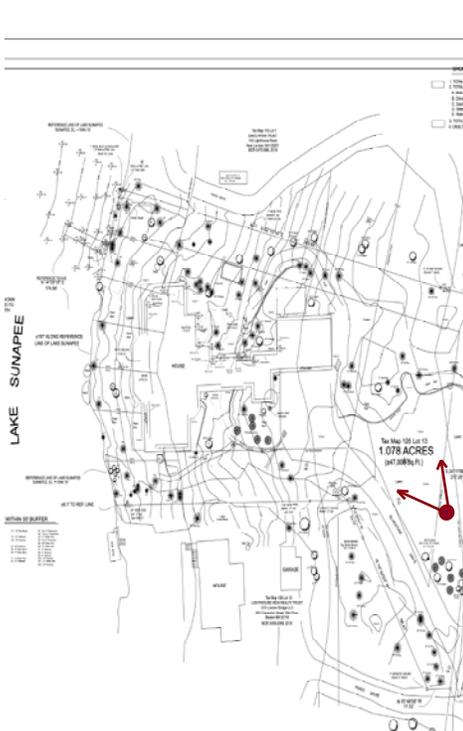
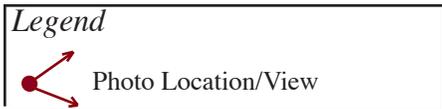
The construction sequence will first include setting up erosion controls as indicated on the proposed SWQPA plan. Once the erosion controls are installed, and inspected by the Zoning Administrator, the demolition and excavation for the deck can begin. Once the deck is substantially complete, the shoreland restoration can begin. The construction of the walk will begin toward the lake, and work away from the lake toward the house. Upon completion of the walk, the restoration plantings will be installed, and erosion control measures will remain in place until the site is has stabilized.

In addition to the Waterfront Buffer improvements/restoration, many other related site improvements are proposed. Where possible, roof runoff will be conveyed to drywells for infiltration of stormwater runoff. In addition, an overall impervious area reduction of 2,390 square feet, or 5.5% is proposed, ensuring post-development runoff does not exceed pre-development runoff. As a result of the aforementioned efforts, there will be enhanced protection of the Lake Sunapee resource.

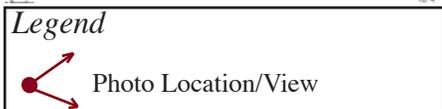




Existing Driveway



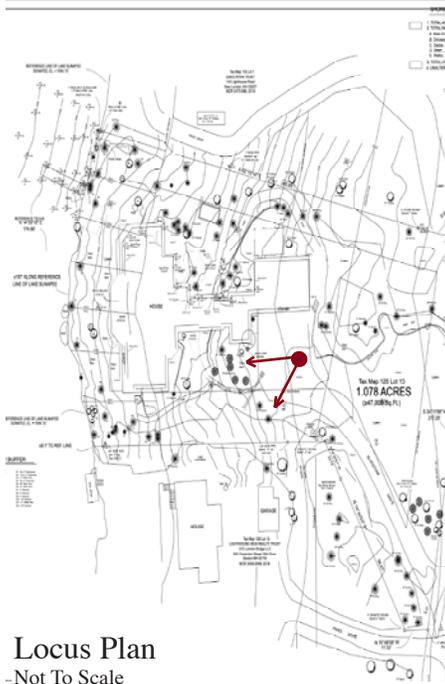
Existing Lawn & Vegetation



Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
 10 July 2019



Pellettieri Associates, Inc
 Landscape Architecture & Construction
 169 Kearsarge Mountain Road Warner, NH 03278
 Phone (603) 456-3678 Fax (603) 456-3229
 E-mail: ggrigsby@pellettieriassoc.com



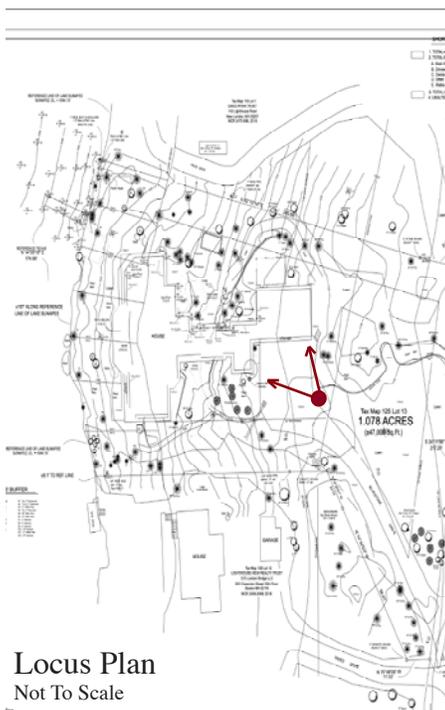
Locus Plan
-Not To Scale



Existing Driveway & Vegetative Buffer

Legend

 Photo Location/View



Locus Plan
Not To Scale



Existing Driveway & Garage

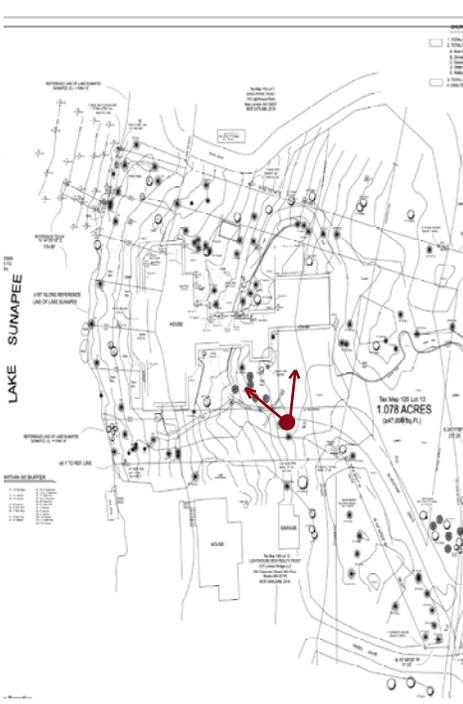
Legend

 Photo Location/View

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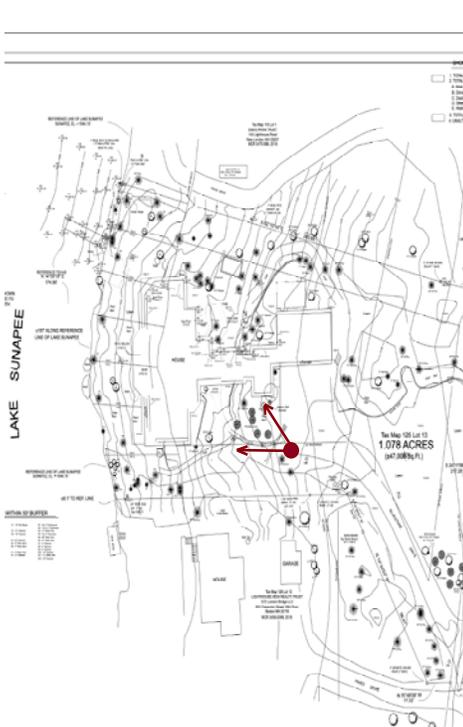
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Legend

Photo Location/View

Existing Driveway & Mulch Pathway



Legend

Photo Location/View

Existing Mulch Pathway

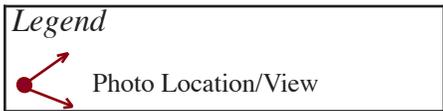
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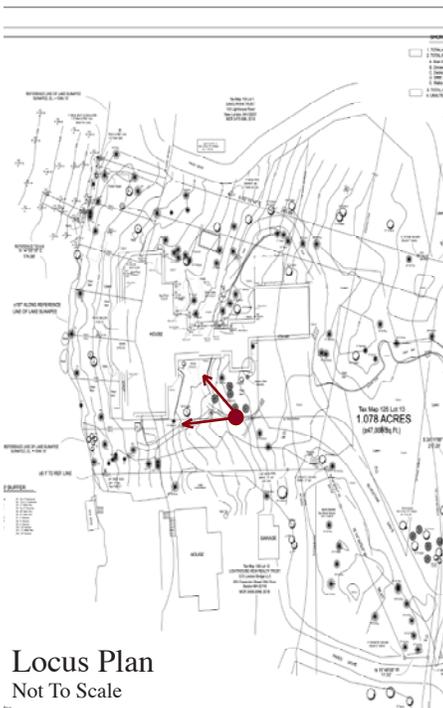
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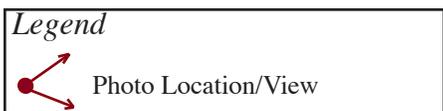
Locus Plan
-Not To Scale



Existing Mulch Pathway & Landscape Steps



Locus Plan
Not To Scale

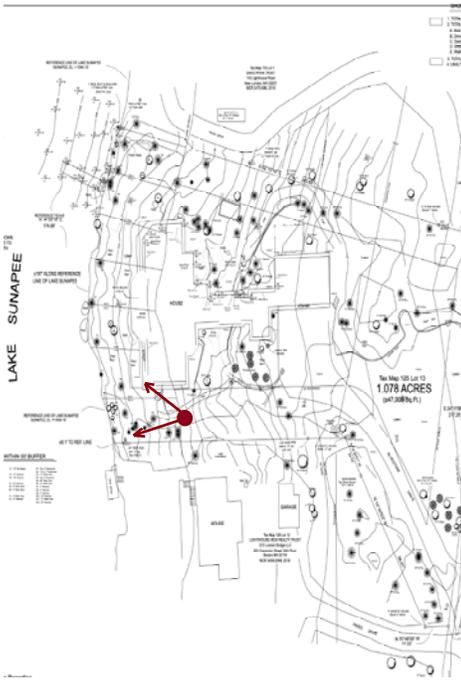


Existing Mulch Pathway & Landscape Steps

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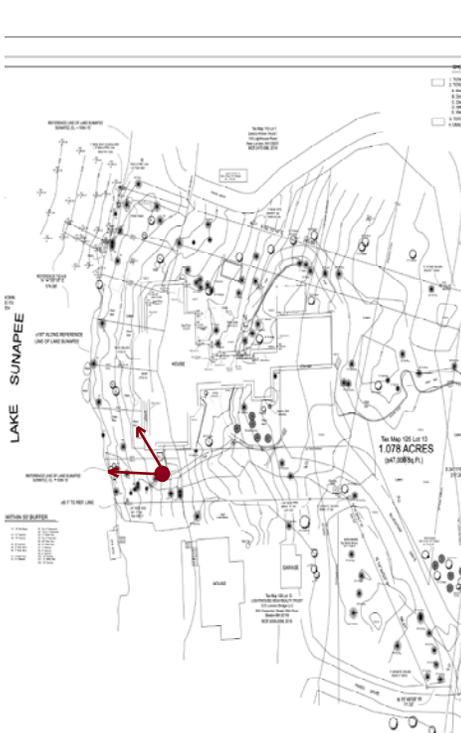
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Existing Waterfront Buffer

Legend

Photo Location/View



Existing Waterfront Buffer

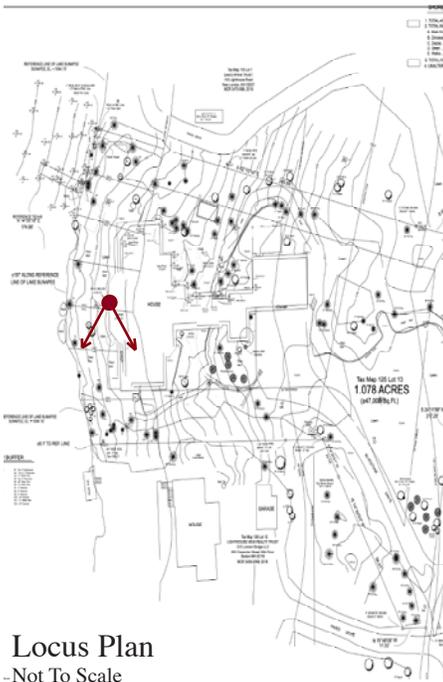
Legend

Photo Location/View

Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
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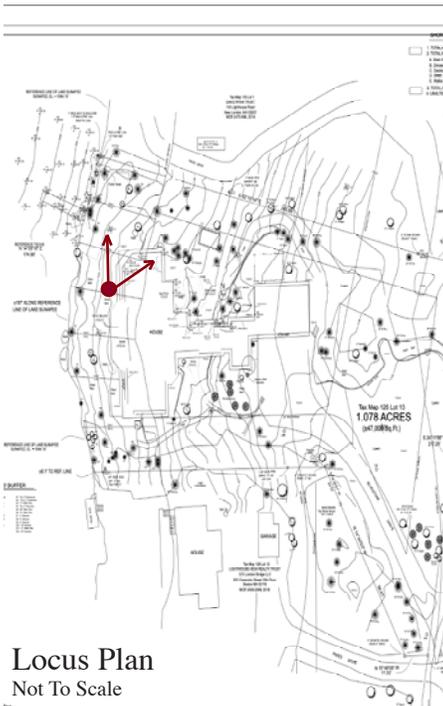
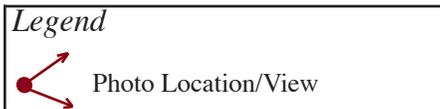
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Locus Plan
-Not To Scale



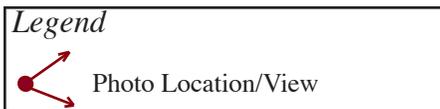
Existing Waterfront Buffer



Locus Plan
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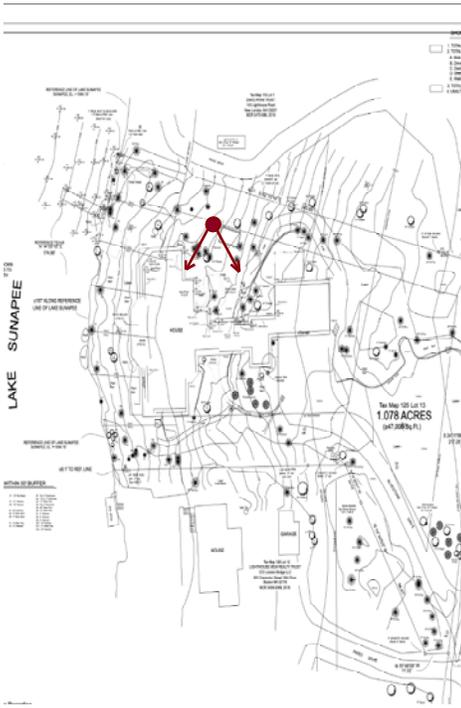
Existing Waterfront Buffer



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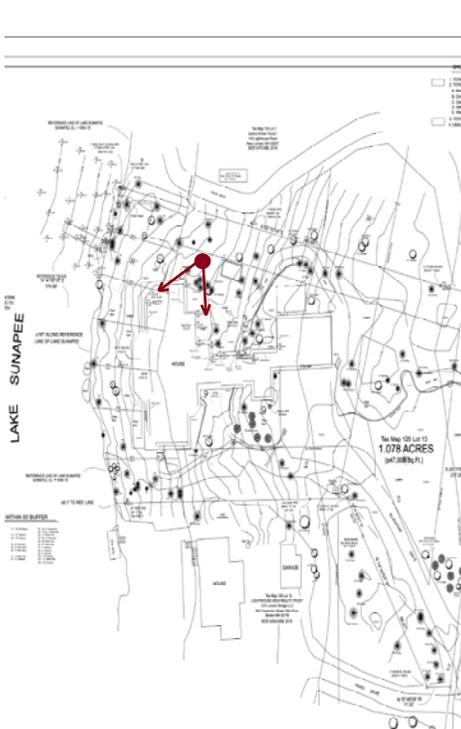


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Legend
 Photo Location/View

Existing Structure & Retaining Walls



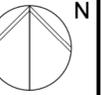
Legend
 Photo Location/View

Existing Patio & Walkway

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Legend

Existing Building		Existing Acc. Structure	
Existing Driveway		Existing Walls	
Existing Patio/Walk		Existing Unaltered	

Existing Impervious Area Calculations

Impervious Areas	Waterfront Buffer (R-50')	Woodland Buffer (50'-150')	Protected Shoreland (150'-250')	(R-250')	Total
Building	1,940SF	4,235SF	730SF		6,910SF
Driveway/Road	0SF	985SF	2,810SF		3,795SF
Patio/Walkways	0SF	385SF	15SF		400SF
Accessory Structures	225SF	135SF	0SF		360SF
Walls	60SF	225SF	40SF		325SF
	Waterfront Buffer (R-50')	Woodland Buffer (50'-150')	Protected Shoreland (150'-250')	(R-250')	Total
Total Impervious Area	2,225SF	5,965SF	3,595SF	11,785SF	11,785SF
Total Area	8,920SF	15,685SF	18,800SF	43,405SF	43,405SF
Percent Impervious					27.1%

Existing Crank-Up Dock.

REFERENCE TIE A-B
N 14° 09' 18" E
174.96'

±187' ALONG REFERENCE
LINE OF LAKE SUNAPEE

REFERENCE LINE OF LAKE SUNAPEE
SUNAPEE, E.L. = 1094.15'

±8.1' TO REF. LINE

LAKE SUNAPEE

Tree Cell Counts

Cell A		Cell E		Cell F		Cell G		Cell D		
State	Town	State	Town	State	Town	State	Town	State	Town	
1 - 2" Red Maple	1pts	1 - 20" Hemlock	15pts	1 - 2" White Pine	1pts	1 - (2) 4" Hardwood	10pts	1 - 21" Hemlock	15pts	
2 - 1" Hemlock	1pts	2 - 9" White Birch	10pts	2 - 14" Hemlock	15pts	2 - (3) 2" Hardwood	3pts	2 - 18" Hemlock	15pts	
3 - 26" Hemlock	15pts	3 - 7" White Birch	10pts	Total	16pts	3 - 11" White Pine	10pts	Total	30pts	
4 - 8" Hemlock	10pts	Total	35pts	20pts	4 - (2) 3" Hemlocks	10pts	4 - 18" Red Maple	15pts	Total	47pts
5 - 6" Hemlock	10pts	Cell F	20pts	10pts	5 - 28" Hemlock	15pts	Total	60pts	40pts	
6 - 10" Red Maple	10pts	1 - 2" White Pine	1pts	10pts	6 - 21" White Pine	15pts	Cell C	15pts	10pts	
7 - 20" Hemlock	15pts	2 - 14" Hemlock	15pts	10pts	7 - 4" Hemlock	5pts	1 - 12" Red Maple	15pts	10pts	
8 - 20" Hemlock	15pts	Total	16pts	11pts	8 - 4" Hemlock	5pts	Total	15pts	10pts	
Total	77pts	47pts	16pts	11pts	9 - 4" Hemlock	5pts	Cell B	15pts	10pts	
Cell B	15pts	10pts	16pts	11pts	10 - 18" Hemlock	15pts	1 - 14" White Pine	15pts	10pts	
1 - 14" White Pine	15pts	10pts	16pts	11pts	11 - 31" White Pine	15pts	2 - 20" White Pine	15pts	10pts	
2 - 20" White Pine	15pts	10pts	16pts	11pts	12 - 16" Hemlock	15pts	3 - 28" Hemlock	15pts	10pts	
3 - 28" Hemlock	15pts	10pts	16pts	11pts	Cell G	10pts	4 - 18" Red Maple	15pts	10pts	
4 - 18" Red Maple	15pts	10pts	16pts	11pts	1 - (2) 4" Hardwood	10pts	Total	60pts	40pts	
Total	60pts	40pts	16pts	11pts	2 - (3) 2" Hardwood	3pts	Cell C	15pts	10pts	
Cell C	15pts	10pts	16pts	11pts	3 - 11" White Pine	10pts	1 - 12" Red Maple	15pts	10pts	
1 - 12" Red Maple	15pts	10pts	16pts	11pts	4 - (2) 3" Hemlocks	10pts	Total	15pts	10pts	
Total	15pts	10pts	16pts	11pts	5 - 28" White Pine	15pts	Cell D	15pts	10pts	
Cell D	15pts	10pts	16pts	11pts	6 - 21" White Pine	15pts	1 - 21" Hemlock	15pts	10pts	
1 - 21" Hemlock	15pts	10pts	16pts	11pts	7 - 4" Hemlock	5pts	2 - 18" Hemlock	15pts	10pts	
2 - 18" Hemlock	15pts	10pts	16pts	11pts	8 - 4" Hemlock	5pts	Total	30pts	20pts	
Total	30pts	20pts	16pts	11pts	9 - 4" Hemlock	5pts	Cell E	15pts	10pts	
Cell E	15pts	10pts	16pts	11pts	10 - 18" Hemlock	15pts	1 - 20" Hemlock	15pts	10pts	
1 - 20" Hemlock	15pts	10pts	16pts	11pts	11 - 31" White Pine	15pts	2 - 9" White Birch	10pts	5pts	
2 - 9" White Birch	10pts	5pts	16pts	11pts	12 - 16" Hemlock	15pts	3 - 7" White Birch	10pts	5pts	
3 - 7" White Birch	10pts	5pts	16pts	11pts	Total	123pts	Total	77pts	47pts	
Total	35pts	20pts	16pts	11pts	10,825SF	3,920SF	Total	77pts	47pts	
Cell F	16pts	11pts	16pts	11pts	5,415SF	3,920SF	Cell A	15pts	10pts	
1 - 2" White Pine	1pts	1pts	16pts	11pts	3,515SF	3,920SF	2 - 1" Hemlock	1pts	1pts	
2 - 14" Hemlock	15pts	10pts	16pts	11pts	Existing Unaltered Area	3,515SF	3 - 26" Hemlock	15pts	10pts	
Total	16pts	11pts	16pts	11pts			4 - 8" Hemlock	10pts	5pts	
Cell G	10pts	2pts	16pts	11pts			5 - 6" Hemlock	10pts	5pts	
1 - (2) 4" Hardwood	10pts	2pts	16pts	11pts			6 - 10" Red Maple	10pts	5pts	
2 - (3) 2" Hardwood	3pts	3pts	16pts	11pts			7 - 20" Hemlock	15pts	10pts	
3 - 11" White Pine	10pts	10pts	16pts	11pts			8 - 20" Hemlock	15pts	10pts	
4 - (2) 3" Hemlocks	10pts	2pts	16pts	11pts			Total	77pts	47pts	
5 - 28" White Pine	15pts	10pts	16pts	11pts						
6 - 21" White Pine	15pts	10pts	16pts	11pts						
7 - 4" Hemlock	5pts	1pts	16pts	11pts						
8 - 4" Hemlock	5pts	1pts	16pts	11pts						
9 - 4" Hemlock	5pts	1pts	16pts	11pts						
10 - 18" Hemlock	15pts	10pts	16pts	11pts						
11 - 31" White Pine	15pts	10pts	16pts	11pts						
12 - 16" Hemlock	15pts	10pts	16pts	11pts						

Undisturbed Area Calculation

Total Area	15,685SF
Between 50'-150'	15,685SF
Less Impervious Area (50'-150')	4,860SF
Total	10,825SF
Unaltered Area	3,920SF
25% To Remain (State)	3,920SF
50% To Remain Less Imp. (Town)	5,415SF
Existing Unaltered Area	3,515SF

Survey Note:

Base Information Provided By Pennyroyal Hill Landsurveying & Forestry of Croydon, NH.

Tax Map 126 Lot 13
1.078 ACRES
(±47,000 Sq.Ft.)

Tax Map 126 Lot 12
LIGHTHOUSE VIEW REALTY TRUST
C/O London Bridge LLC
200 Clarendon Street 35th Floor
Boston MA 02116
MCR 3456-2098, 2018

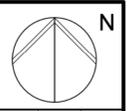
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New London, NH, 03257

PAI ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE, CONSTRUCTION & FINE GARDENING
169 KEARSARGE MOUNTAIN ROAD · WARNER, NH 03278 · (603)456-3578

Project
Martin/Trane Residence
Title Existing Conditions SWQPA Plan

Job No.
Scale 1" = 20'
Date 29 Aug '19
Revised
Drawn by PAI



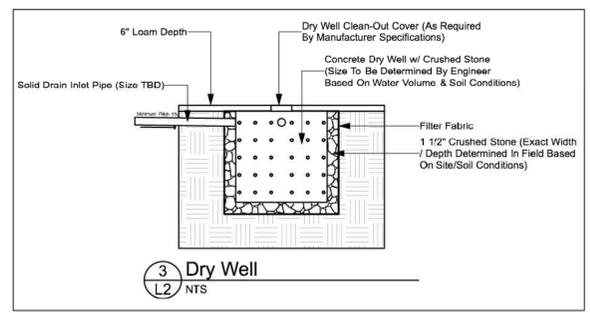
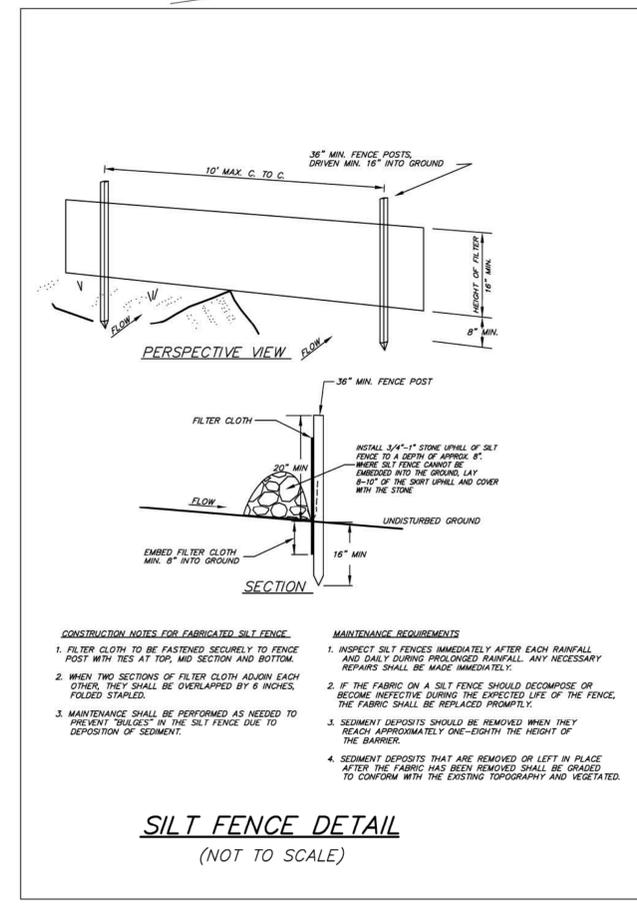


Legend

Existing Building		Proposed Patio/Walk	
Existing Driveway		Proposed Walls	
Existing Patio/Walk		Existing Acc. Structure	
Existing Walls		Existing Unaltered	
Proposed Pervious Driveway		Temporary Impact	
Shoreland Restoration		Proposed Elevations +1100.0	
Proposed Contours		Proposed Contours	
Proposed Drywell			

Proposed Impervious Area Calculations

Impervious Areas	Waterfront Buffer (R-50')	Woodland Buffer (50'-150')	Protected Shoreland (150'-250')	Total (R-250')
Building	1,975SF	3,950SF	730SF	6,655SF
Driveway/Road	0SF	0SF	1,225SF	1,225SF
Patio/Walkways	240SF	515SF	15SF	770SF
Accessory Structures	205SF	135SF	0SF	340SF
Walls	100SF	265SF	40SF	405SF
Total Impervious Area	2,520SF	4,865SF	2,010SF	9,395SF
Total Area	8,920SF	15,685SF	18,800SF	43,405SF
Percent Impervious				21.6%



Proposed Permanent Dock To Be Permitted Under Separate Wetlands Application.

Existing Deck To Be Repaired Under Separate Wetlands Application.

Continuous Silt Fence. See Detail For More Information.

4' Wide Walk To Dock.

±187' ALONG REFERENCE LINE OF LAKE SUNAPEE

Lawn Area To Regraded And Planted With Native Groundcovers.

Re-Build Deck With New Footing - No Change To Footprint.

Reference Line: 1094.15'

Drywell (Typ.) To Infiltrate Roof Runoff. See Detail For Additional Information.

4' Wide Mulch or Pine Needle Pathway.



Undisturbed Area Calculation

Total Area	15,685SF
Between 50'-150'	4,860SF
Less Impervious Area (50'-150')	10,825SF
Total	10,825SF

Unaltered Area

25% To Remain (State)	3,920SF
50% To Remain Less Imp. (Town)	5,415SF
Existing Unaltered Area	3,515SF
Proposed Unaltered Area	3,515SF

Tree Cell Counts

Cell	State	Town	Cell E	State	Town
1 - 2" Red Maple	1pts	1pts	1 - 20" Hemlock	15pts	10pts
2 - 1" Hemlock	1pts	1pts	2 - 9" White Birch	10pts	5pts
3 - 26" Hemlock	15pts	10pts	3 - 7" White Birch	10pts	5pts
4 - 8" Hemlock	10pts	5pts	Total	35pts	20pts
5 - 6" Hemlock	10pts	5pts			
6 - 10" Red Maple	10pts	5pts	Cell F	State	Town
7 - 20" Hemlock	15pts	10pts	1 - 2" White Pine	1pts	1pts
8 - 20" Hemlock	15pts	10pts	2 - 14" Hemlock	15pts	10pts
Total	77pts	47pts	Total	16pts	11pts
Cell B	State	Town			
1 - 14" White Pine	15pts	10pts	Cell G	State	Town
2 - 20" White Pine	15pts	10pts	1 - (2) 4" Hardwood	10pts	2pts
3 - 28" Hemlock	15pts	10pts	2 - (3) 2" Hardwood	3pts	3pts
4 - 18" Red Maple	15pts	10pts	3 - 11" White Pine	10pts	10pts
Total	60pts	40pts	4 - (2) 3" Hemlocks	10pts	2pts
			5 - 28" White Pine	15pts	10pts
Cell C	State	Town	6 - 21" White Pine	15pts	10pts
1 - 12" Red Maple	15pts	10pts	7 - 4" Hemlock	5pts	1pts
Total	15pts	10pts	8 - 4" Hemlock	5pts	1pts
			9 - 4" Hemlock	5pts	1pts
Cell D	State	Town	10 - 18" Hemlock	15pts	10pts
1 - 21" Hemlock	15pts	10pts	11 - 31" White Pine	15pts	10pts
2 - 18" Hemlock	15pts	10pts	12 - 16" Hemlock	15pts	10pts
Total	30pts	20pts	Total	123pts	70pts

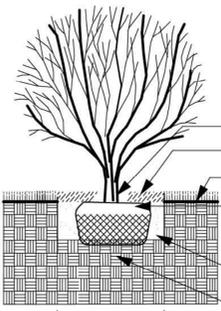
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Job No.
Scale 1" = 20'
Date 29 Aug '19
Revised
Drawn by PAI





Trunk flare to be 1" or higher (+/-) than surrounding grade.
 4" aged bark mulch; mulch should not contact the stem of the plants (typ.)
 Finished grade
 Remove excess soil from top of root ball to expose trunk flare. Ropes at top of ball shall be cut. Remove top 1/2 of burlap and/or basket. Non-biodegradable material shall be totally removed.
 Backfill with planting soil mix. Hole should be 2-3x the diameter of the ball or container.
 Undisturbed or compacted subgrade beneath root ball.

2x -3x ball dia. min.

SHRUB PLANTING DETAIL - BALLED AND BURLAP / CONTAINER NTS

Plant List

ID	Qty	Latin Name	Common Name	Scheduled Size
CAH	5	Clethra alnifolia 'Humminbird'	Humminbird Summersweet	#10
DP	1450SF	Dennstaedtia punctiloba	Havscented Fern	Sod
KA	6	Kalmia angustifolia	Sheep Laurel	#2
SL	10	Spiraea latifolia	Common Meadowsweet	#3
VC	12	Vaccinium corymbosum	Mid-height Blueberry	#3

Survey Note:

Base Information Provided By Pennyroyal Hill Landsurveying & Forestry of Croydon, NH.

RP

Job No.

Scale 3/16" = 1'-0"

Project

Martin/Thrane Residence

Title

Waterfront Buffer Restoration Plan



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