

EXHIBIT A1
APPLICATION FOR SUBDIVISION REVIEW

APPLICATION FOR: _____ DATE APPLICATION SUBMITTED: _____

- Phase I Conceptual Review Phase
- Phase II Preliminary Plan or Design Review Phase
- Phase III: Final Subdivision Plat Phase

NAME OF APPLICANT: CLAYTON PLATT
 ADDRESS: 414 PINE HILL RD CROYDON NY 03723
 DAYTIME PHONE NUMBER: (603) 504-5557

NAME OF PROPERTY OWNER: CRIMI HOLDINGS OF NY LLC
 (If other than applicant)
 ADDRESS: _____
 DAYTIME PHONE NUMBER: _____

LOCATION OF PROPERTY: LIGHTHOUSE VIEW RD.

TAX MAP(S): 127 LOT(S): 01 ZONE DISTRICT(S): R2

NUMBER OF LOTS PROPOSED: 9

WATER SERVICE: _____ New London/Springfield Water System Precinct
 On-site Water Well
 Community Water System
 Other: _____

SEWER SERVICE: _____ New London Sewer
 On-site Septic System
 Community Septic System
 Other: _____

ROAD(S) PROVIDING ACCESS: _____ Town Road: Lighthouse View Rd. / 500 Nipi Pic Rd
 _____ State Highway: _____

The Zoning Administrator or Land Use Coordinator can assist applicants identify whether the following natural resources will be impacted and which sub-watershed the property is located in.

WETLAND IMPACTED?	_____	Yes	_____	No
WETLAND BUFFERS IMPACTED?	_____	Yes	<input checked="" type="checkbox"/>	No
STEEP SLOPE AREA IMPACTED?	_____	Yes	<input checked="" type="checkbox"/>	No
STREAM(S) IMPACTED?	_____	Yes	<input checked="" type="checkbox"/>	No
STREAM BUFFER(S) IMPACTED?	_____	Yes	<input checked="" type="checkbox"/>	No
LOCATED OVER AN AQUIFER?	_____	Yes	<input checked="" type="checkbox"/>	No
LOCATED WITHIN A 100 YEAR FLOODPLAIN?	<input checked="" type="checkbox"/>	Yes	_____	No

-VERY NARROW AREA
ALONG LAKE

SURFACE WATER - WATERSHED:

- Pleasant Lake, Blackwater River
- Little Lake Sunapee
- Goose Hole Pond
- Otter Pond
- Lake Sunapee
- Lyon Brook, Kezar Lake
- Messer Pond, Clark Pond, Kezar Lake



CURRENT USE:

Does the proposed subdivision affect land held in Current Use? ___ Yes X No

CONSERVATION EASEMENT:

Does the subdivision affect land held in a Conservation Easement? ___ Yes X No

I certify that this Subdivision Application, including the supporting plan and documents, has been completed in accordance with the latest adopted version of the Land Subdivision Control Regulations of the Town of New London.

I certify that this Subdivision Application, including the supporting plan and documents, complies with the standards specified in the New London Land Subdivision Control Regulations, unless a specific waiver has been applied for and granted by the Planning Board, and that I will continue to comply with those standards on an on-going basis.

I understand and agree that if I propose to change the subdivision and related materials from the approved application that I will contact the Planning Board, or their designee, to see if a new application for the amended subdivision application is required and file that amended application if required.

I agree to obtain all the subsequent Town permits needed for this Subdivision Application including all of the applicable Developers Responsibilities specified in SECTION VII of the Land Subdivision Control Regulations.

I agree to comply with all required inspections during construction and to pay for all required inspection services.

In making this application, I agree to permit the members of the Planning Board and their agents to enter upon the subject property for the purpose of inspecting the property for this application.

DATE: 10/2/18

SIGNATURE OF PROPERTY OWNER

SIGNATURE OF AGENT FOR PROPERTY OWNER

(Need letter of authorization from property owner if agent)

[Handwritten Signature]

Charita Pratt, Agent

EXHIBIT A3

MINOR SUBDIVISION CHECKLIST of APPLICATION REQUIREMENTS

<u># in Regulations</u>	<u>Application Requirement</u>	<u>Submitted</u>	<u>Not Applicable</u>	<u>Waived by PB</u>
1.	Application Form			
2.	Letter of Authorization			
3.	Abutters List			
4.	Application Fee			
5.	Waiver Requests in Writing			
6.	Site Survey Map - 3 Copies of Full-Scale & 10 Copies Reduced-Scale			
7.	Topographic Map - 3 Copies of Full-Scale & 10 Copies Reduced-Scale			
8.	Soils Map - 3 Copies of Full-Scale & 10 Copies Reduced-Scale			
9.	Information on Special Flood Hazard Areas			
10.	Applicable agency or Permit Approvals			
11.	Additional Information Required by the Planning Board			

CERTIFICATE OF APPOINTMENT

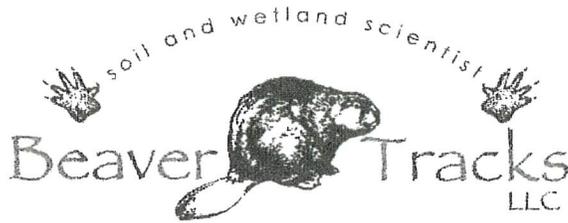
I the undersigned Pamela Fantini, managing member of Crimi Holdings of NH LLC, owner of certain property in New London NH, shown as Tax Map 127 Lot 1 on the assessor's maps of the Town, hereby appoint and authorize Clayton Platt of Pennyroyal Hill Land Surveying LLC, to represent me before the New London Planning Board and to act on my behalf with regards to the proposed subdivision of our property. This includes the authority to speak on my behalf before the planning board and to sign all application documents. This authority will end when the New London Planning Board makes a final decision on the requested subdivision



Pamela Fantini

Date 6/3/18





April 30, 2018

Clayton Platt
Pennyroyal Hill Land Surveying and Forestry, LLC
414 Pine Hill Road
Croyden, NH 03773



RE: Wetland Delineation on Soo Nipi Rd/Lighthouse View Rd, New London, NH.

Dear Mr. Platt:

The purpose of this letter is to certify that Beaver Tracks, LLC has completed wetland delineations at the above-referenced parcel. The wetland delineations were completed on April 20, 2018 by Jonathan Sisson (CWS #235). There were five wetlands flagged. The wetlands were flagged with fluorescent blue flagging. Wetlands A and E are intermittent streams. Wetlands B, C and D are Palustrine Forested wetlands. Below are listed the flag numbers used for the five wetlands and any connections between flags.

Wetland #	Flag Numbers	Connections
A	A51 to A95	None
B	B1 to B6	B1 to B6
C	C1 to C?	C1 to C?
D	D1 to D8	D1 to D8
E	E1 to E71	E1 to E71

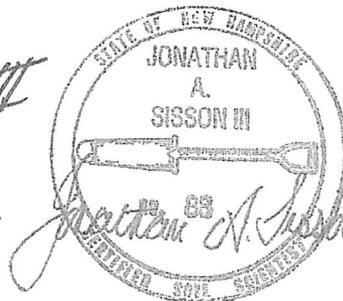
Wetlands are determined according to *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, Version 2.0 ERDC/EL TR-12-1, January 2012 to the 1987 Corps of Engineers Wetland Delineation Manual, Technical Report Y-87-1. Wetlands are classified in accordance with the procedures outlined in the USFWS "Methodology for the Classification of Wetlands and Deepwater Habitats", 1987. The plants are classified using the 2014 US Army Corps of Engineers Northcentral and Northeast Wetland Plant List v3.2. The soils are evaluated in accordance with the *Field Indicators of Hydric Soils in the United States A Guide for Identifying and Delineating Hydric Soils, Version 8.1, 2017*.

I am enclosing an invoice for this job.

Please call me if you have any questions at 313-4925.

Sincerely,


Jonathan A Sisson III



TP#1 TEST PIT #1

5-24-2018 DAG

0"	VERY DARK BROWN (10YR 2/2) LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
6"	DARK YELLOWISH BROWN (10YR 4/4) LOAMY SAND, GRANULAR, FRIABLE.
25"	BROWN (10YR 4/3) GRAVELLY SAND, COBBLY, STRONG BLOCKY, VERY FIRM
ESHWT	GRAYISH BROWN (10YR 5/2) FINE SAND WITH SILTY LENSES, WEAK BLOCKY, FRIABLE, FEW FAINT MOTTLES

BOTTOM OF HOLE 48"
 NO REFUSAL TO DEPTH
 ESHWT AT 25"
 ROOTS TO 27"
 NO SEEPS TO DEPTH

PREC RATE 14 MIN./IN AT 22"

TP#1 TEST PIT #2

5-24-2018 DAG

0"	VERY DARK BROWN (10YR 2/2) SANDY LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
12"	DARK REDDISH BROWN (5YR 3/3) LOAMY SAND, GRANULAR, FRIABLE.
17"	BROWN (7.5YR 4/3) SAND, COURSE IN PART, GRANULAR, FRIABLE.
ESHWT	GRAY (10YR 5/1) FINE SAND, WEAK BLOCKY, FRIABLE

BOTTOM OF HOLE 48"
 NO REFUSAL TO DEPTH
 ESHWT AT 27"
 ROOTS TO 27"
 SEEPS AT 44"

PREC RATE 8 MIN./IN AT 24"

TP#1 TEST PIT #3

5-24-2018 DAG

0"	VERY DARK BROWN (10YR 2/2) LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
9"	DARK YELLOWISH BROWN (10YR 4/4) LOAMY FINE SAND, GRANULAR, FRIABLE.
ESHWT	GRAYISH BROWN (10YR 5/2) FINE SANDY LOAM, WEAK BLOCKY, FRIABLE, FEW FAINT MOTTLES, COBBLY BELOW 21"
34"	GRAY (10YR 5/1) LOAMY FINE SAND, WEAK BLOCKY, FRIABLE

BOTTOM OF HOLE 53"
 NO REFUSAL TO DEPTH
 ESHWT AT 21"
 ROOTS TO 24"
 NO SEEPS TO DEPTH

PREC RATE 14 MIN./IN AT 20"

TP#1 TEST PIT #4

5-27-2018 DAG

0"	VERY DARK BROWN (10YR 2/2) SANDY LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
10"	DARK BROWN (10YR 3/3) LOAMY SAND, GRANULAR, FRIABLE.
ESHWT	DARK GRAY (10YR 4/1) SAND, COURSE IN PART, VERY BLOCKY, FIRM, FAINT MOTTLING BELOW 22". ABUNDANT MOTTLING BELOW 30"

BOTTOM OF HOLE 48"
 NO REFUSAL TO DEPTH
 ESHWT AT 22"
 ROOTS TO 20"
 SEEPS AT 19"

PREC RATE 16 MIN./IN AT 14"

TP#1 TEST PIT #5

5-27-2018 DAG

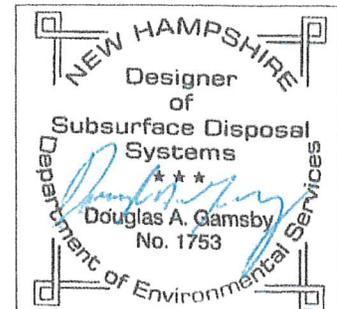
0"	VERY DARK BROWN (10YR 2/2) SANDY LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
7"	DARK BROWN (10YR 3/3) SANDY LOAM, GRANULAR, FRIABLE.
ESHWT	GRAYISH BROWN (2.5Y 5/2) SAND, WEAK BLOCKY, FRIABLE, FEW FAINT MOTTLES BELOW 31"

BOTTOM OF HOLE 48"
 NO REFUSAL TO DEPTH
 ESHWT AT 31"
 ROOTS TO 31"
 SEEPS AT 40"

PREC RATE 14 MIN./IN AT 28"

TOWN OF NEW LONDON
 SELECTMEN'S OFFICE
 OCT 02 2018
 RECEIVED

NOTE:
 DUE TO DRAINAGE DITCH, LARGE BOULDERS AND LARGE TREES, EXCAVATOR COULD NOT GET TO TEST PITS 4-7. TEST PITS 4-7 WERE DUG BY HAND WITH SHOVEL & AUGER.



PREPARED FOR CRIMI HOLDINGS OF NH DATED MAY 29, 2018

TAX MAP 127 LOT 1
 214 SOO NIPI PARK ROAD
 NEW LONDON, NH

TEST PIT LOGS
 SHEET 1 of 2

GREENLINE PROPERTY SERVICES, LLC
 54 NORTH ROAD SUNAPEE, NH
 greenline@myfairpoint.net
 603-304-8338

TP#1 TEST PIT #6

5-27-2018 DAG

0"	VERY DARK BROWN (10YR 2/2) SANDY LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
9"	DARK BROWN (10YR 3/3) LOAMY SAND, GRAVELLY IN PART, GRANULAR, FRIABLE.
24" ESHWT	GRAYISH BROWN (10YR 5/2) SAND, COURSE IN PART. WEAK BLOCKY, FRIABLE. FAINT MOTTLING BELOW 24"
32"	GRAY (2.5Y 5/1) LOAMY SAND, GRAVELLY IN PART, BLOCKY, FIRM

BOTTOM OF HOLE 48"
NO REFUSAL TO DEPTH
ESHWT AT 24"
ROOTS TO 23"
SEEPS AT 20"

PREC RATE 12 MIN./IN AT 16"

TP#1 TEST PIT #7

5-27-2018 DAG

0"	VERY DARK BROWN (10YR 2/2) SANDY LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
8"	DARK GRAYISH BROWN (10YR 4/2) LOAMY SAND, GRANULAR, FRIABLE.
24" ESHWT	GRAYISH BROWN (10YR 5/2) SAND, COURSE IN PART. WEAK BLOCKY, FRIABLE. FAINT MOTTLING BELOW 24"
37"	GRAY (2.5Y 5/1) LOAMY SAND, BLOCKY, FIRM

BOTTOM OF HOLE 48"
NO REFUSAL TO DEPTH
ESHWT AT 24"
ROOTS TO 23"
SEEPS AT 23"

PREC RATE 12 MIN./IN AT 18"

TP#1 TEST PIT #8

5-24-2018 DAG

0"	VERY DARK BROWN (10YR 2/2) LOAM, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
6"	DARK OLIVE BROWN 2.5Y 3/3) SANDY LOAM, WEAK BLOCKY, FRIABLE.
24" ESHWT	GRAY (10YR 5/1) LOAMY SAND, WEAK BLOCKY, FRIABLE. FAINT MOTTLING BELOW 24"
44"	GRAY (10YR 5/1) LOAMY SAND, BLOCKY, FIRM

BOTTOM OF HOLE 48"
NO REFUSAL TO DEPTH
ESHWT AT 24"
ROOTS TO 24"
NO SEEPS TO DEPTH
PREC RATE 14 MIN./IN AT 20"

TP#1 TEST PIT #9

5-24-2018 DAG

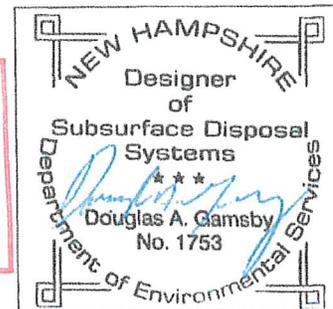
0"	VERY DARK GRAYISH BROWN (10YR 3/2) LOAMY SAND, GRANULAR, FRIABLE TOPSOIL & LEAF LITTER
9"	DARK YELLOWISH BROWN (10YR 4/6) SAND, COURSE IN PART. LOOSE, SINGLE GRAIN.
29" ESHWT	GRAYISH BROWN (2.5Y 5/2) WELL SORTED SAND, GRANULAR, FRIABLE. FEW FAINT MOTTLES BELOW 29"

BOTTOM OF HOLE 50"
NO REFUSAL TO DEPTH
ESHWT AT 29"
ROOTS TO 21"
NO SEEPS TO DEPTH

PREC RATE 6 MIN./IN AT 24"

NOTE:
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TOWN OF NEW LONDON
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OCT 02 2018
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PREPARED FOR
CRIMI HOLDINGS OF NH

DATED
MAY 29, 2018

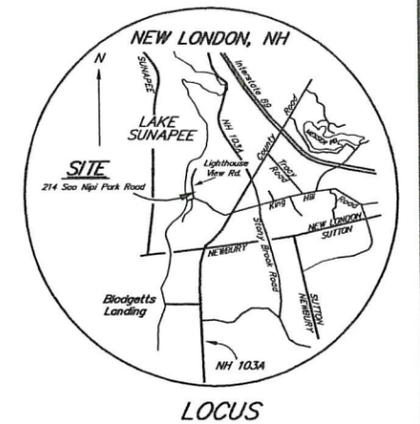
TAX MAP 127 LOT 1
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NEW LONDON, NH

TEST PIT LOGS

SHEET 2 of 2

GREENLINE PROPERTY SERVICES, LLC

54 NORTH ROAD SUNAPEE, NH
greenline@myfairpoint.net
603-304-8338



KEY

- Stone Wall
- Easement Boundary
- Building Setback Per Zoning
- Lake Setback Per Shoreland Protection
- 1" Iron Pipe (found) - or as noted
- ⊙ 3/4" Iron Rod (set - 2018)
- ⊠ Stone Bound (found)
- ⊠ 4" Stone Bound (set)
- ⊕ Utility Pole/ Overhead Lines
- Edge Road/ Drive
- Culvert
- Trestle

NOTES

1. Deed Reference for property is MCRD Book 3426 Page 959, Health Builders to Crimi Holdings of NH LLC, December 27, 2013.
2. The purpose of this plan is to show the subdivision overview of TM 127 Lot 1 into nine lots and a remainder of ±25.9 acres. See additional by this office for soils and topographic information. See plans by Blakeman Engineering for details of the proposed road extension and fire cistern installation near the end of Light house View Road.
3. This plan is the result of a Nikon total station survey, April-Sept, 2018 having a closed traverse relative error of closure greater than 1:8,000. All bearings shown are referenced to NH State Plane datum, rotated 15 degrees to magnetic north.
4. All elevations are referenced to USGS datum (NAVD 1988) tied by GPS survey to NH DOT benchmarks in New London and Sunapee.
5. This property is located in the R-2 Zoning District, subject to the provisions of the Shoreline Overlay District; the required building setbacks are 50' from the reference line, 15' from rear lines, and 20' minimum from the sidelines with an aggregate of 50' for both sides, and 25' from the edge of right of ways (see Note 10).
6. Wetlands and HSS soils shown were delineated by Jon Sisson, Beaver Tracks LLC, April 20, 2018.
7. Easements and restrictions of record:
 - A. 50' Right of Way along Lighthouse View Road laid out by petition to the Town of New London in 1940.
 - B. Powerline Easement granted in MCR 440-349, Soo-Nipi Park Inc. to N.L. & T, May 13, 1919 (10' wide for lines and 30' for clearing).
 - C. Powerline Easement granted in MCR 907-43, Soo-Nipi Lodge Inc to PSNH/N.L.T (No Width given).
 - D. Powerline Easement granted in MCR 1364-989, Health Builders Inc to PSNH/N.L.T (No Width given).
8. Proposed Easements:
 - A. Easement for Right of Way extension and cul de sac for Lighthouse View Road as shown.
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 - D. 25' Slope and Drainage easement around area of road extension and cul de sac (see Sheet D.1).
 - E. Drainage easement for treatment swale running ±200' north of cul de sac on Lot 3 (See Sheet D.1).

REFERENCE PLANS

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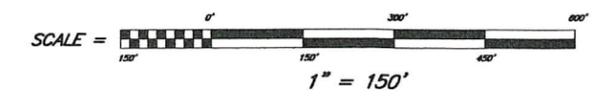
PLAN INDEX

1. PROPERTY OVERVIEW
2. BOUNDARY PLAN - NORTH LOTS
3. BOUNDARY PLAN SOUTH LOTS
4. TOPOGRAPHY AND SOILS - NORTH LOTS
5. TOPOGRAPHY AND SOILS - SOUTH LOTS
- D1. ROADWAY PLAN AND PROFILE- ROAD EXTENSION
- D2. CONSTRUCTION AND DRAINAGE DETAILS

PROPERTY OVERVIEW
 SOO NIPI PARK - PLAN OF SUBDIVISION
 TAX MAP 127 LOT 1 - 214 SOO NIPI PARK ROAD

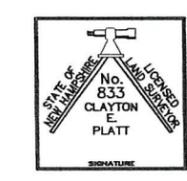
PROPERTY OF
CRIMI HOLDINGS OF NH LLC

LOCATED IN
 NEW LONDON, N.H.

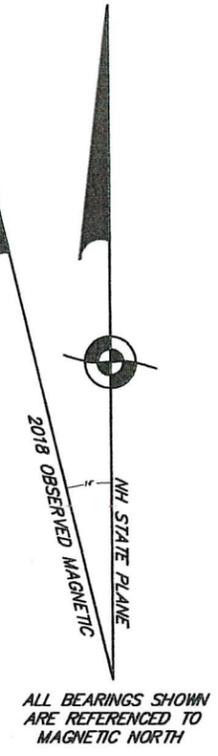
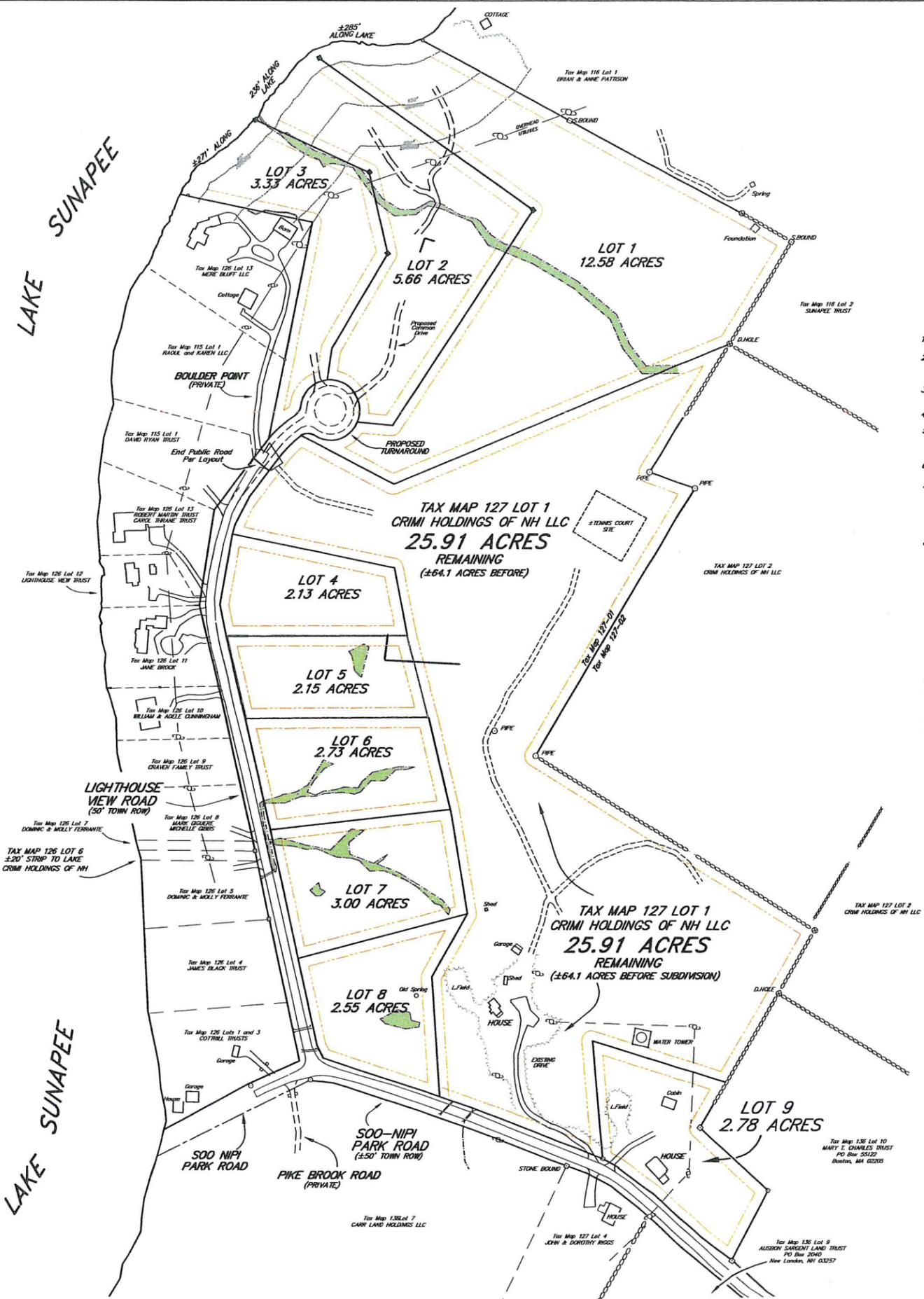


SEPTEMBER 30, 2018

PENNYROYAL HILL LAND SURVEYING & FORESTRY LLC
 CLAYTON E. PLATT LIC. SURVEYOR NO. 833
 414 Pine Hill Road Croydon, NH 03773 (603) 863-0981



REVISIONS

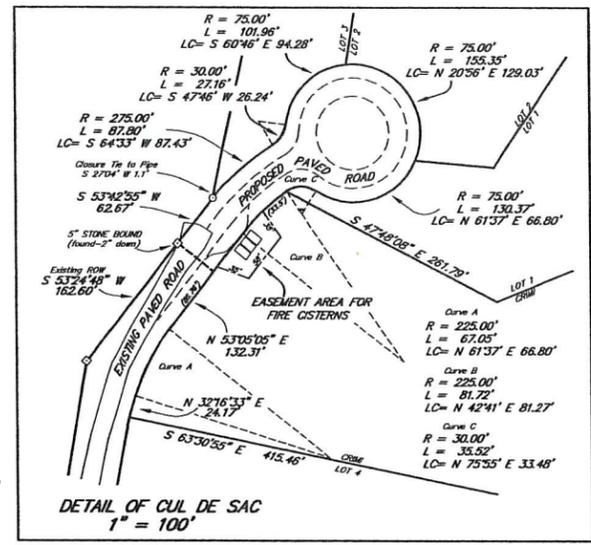
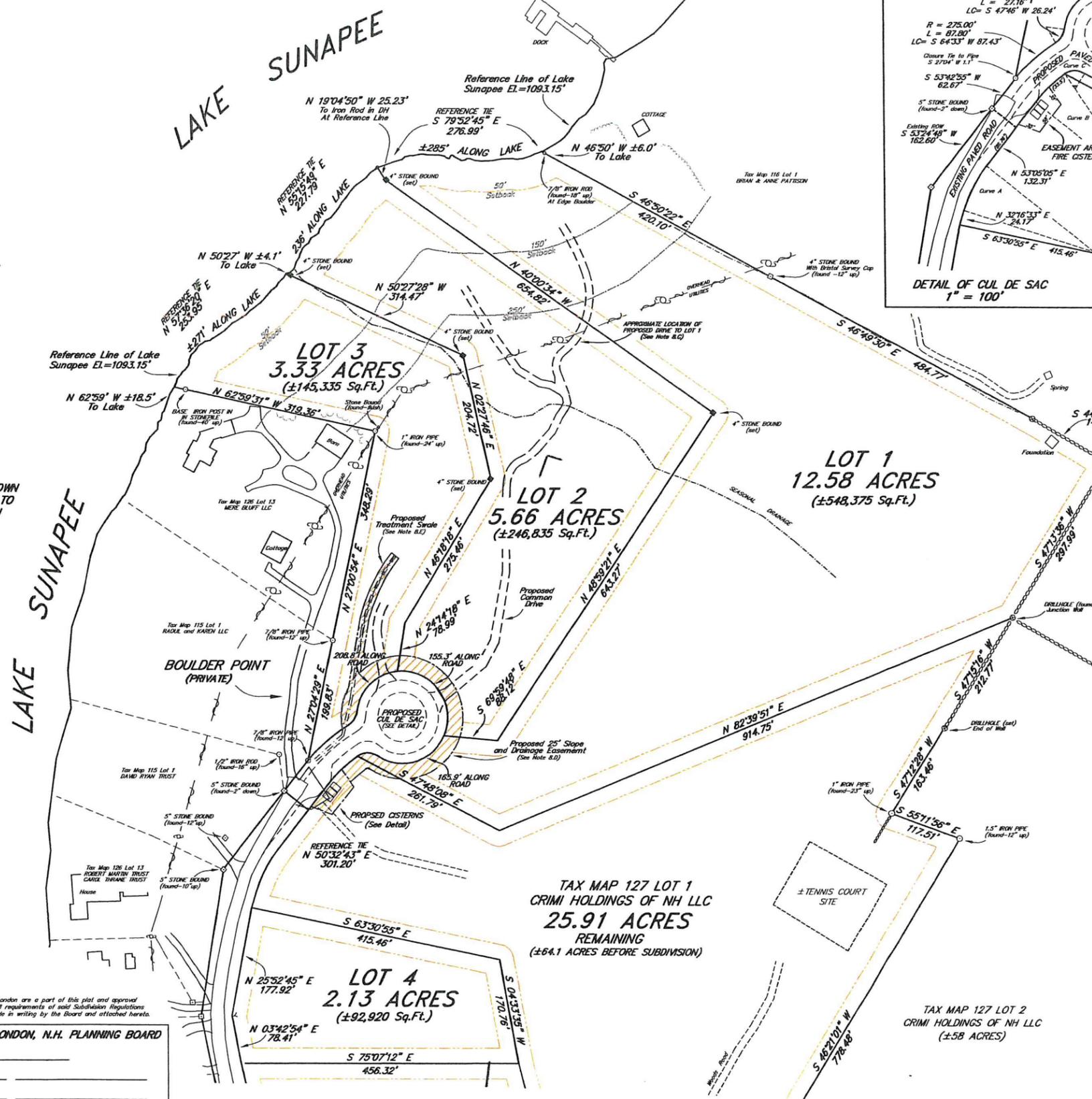
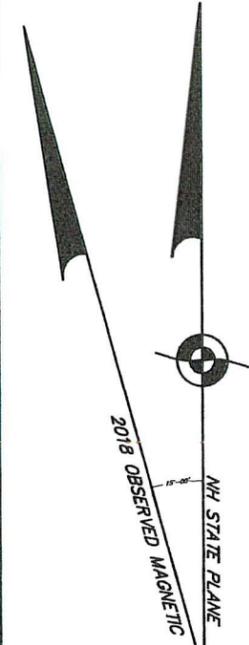


The Subdivision Regulations of the Town of New London are a part of this plat and approval of this plat is contingent on the completion of all requirements of said Subdivision Regulations excepting only any variances or modifications made in writing by the Board and attached hereto.

APPROVED BY THE NEW LONDON, N.H. PLANNING BOARD

Date _____

(Signatures)



- KEY**
- Stone Wall
 - Easement Boundary
 - Building Setback Per Zoning
 - Lake Setback Per Shoreland Regs
 - 1" Iron Pipe (found) - or as noted
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 - 4" Stone Bound (set)
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 - Culvert
 - Treeline



LOCUS

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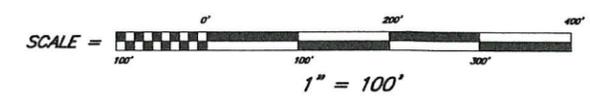
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TOWN OF NEW LONDON
SELECTMEN'S OFFICE
OCT 02 2018
RECEIVED

SOO NIPI PARK - PLAN OF SUBDIVISION
TAX MAP 127 LOT 1 - 214 SOO NIPI PARK ROAD

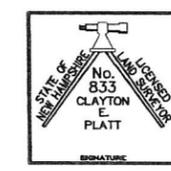
PROPERTY OF
CRIMI HOLDINGS OF NH LLC
c/o PAMELA FANTINI, 7 MILL POND ROAD, MARBLEHEAD MA 01945

LOCATED IN
NEW LONDON, N.H.



SEPTEMBER 30, 2018

PENNYROYAL HILL LAND SURVEYING & FORESTRY LLC
CLAYTON E. PLATT LIC. SURVEYOR NO. 833
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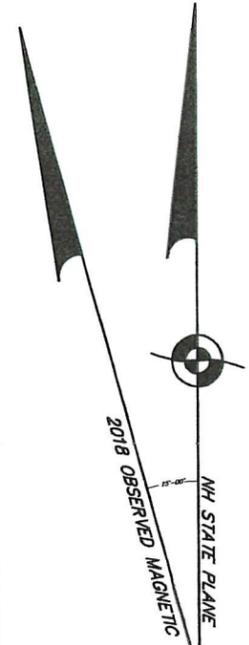


REVISIONS

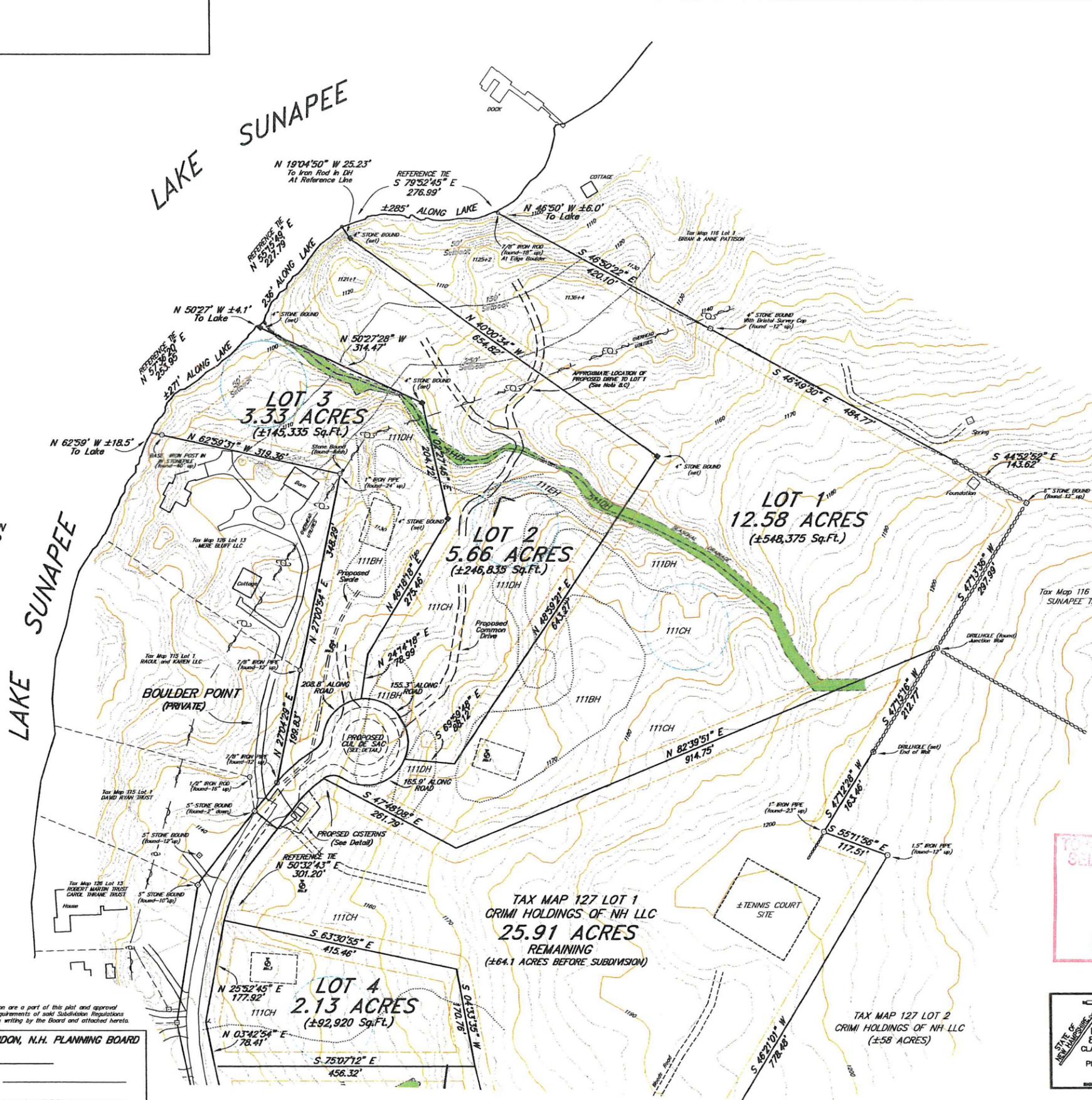
APPROVED BY THE NEW LONDON, N.H. PLANNING BOARD

Date _____

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ALL BEARINGS SHOWN ARE REFERENCED TO MAGNETIC NORTH



- KEY**
- Stone Wall
 - Easement Boundary
 - - - Building Setback Per Zoning
 - - - Lake Setback Per Shoreland Regs
 - .1" Iron Pipe (found) - or as noted
 - .3/4" Iron Rod (set - 2018)
 - Stone Bound (found)
 - .4" Stone Bound (set)
 - Utility Pole/Overhead Lines
 - Edge Road/Drive
 - Culvert
 - Tree Line
 - Edge Wetlands
 - HSS Soil Boundary
 - 25' Wet Radius
 - 4,000 Sq. Ft. Septic Area



LOCUS

NOTES

1. Deed Reference for property is MCRD Book 3426 Page 958, Health Builders to Crimi Holdings of NH LLC, December 27, 2013.
2. The purpose of this plan is to show the subdivision of TM 127 Lot 1 into nine lots and a remainder of ±25.9 acres. See additional by this office for all soils and topographic information. See plans by Blakeman Engineering for details of the proposed road extension and fire cistern installation near the end of Lighthouse View Road.
3. This plan is the result of a Nikon total station survey, April–Sept, 2018 having a closed traverse relative error of closure greater than 1:8,000. All bearings shown are referenced to NH State Plane datum, rotated 15 degrees to magnetic north.
4. All elevations are referenced to USGS datum (NAVD 1988) tied by GPS survey to NH DOT benchmarks in New London and Sunapee.
5. This property is located in the R-2 Zoning District, subject to the provisions of the Shoreline Overlay District; the required building setbacks are 50' from the reference line, 15' from rear lines, and 20' minimum from the sidelines with an aggregate of 50' for both sides, and 25' from the edge of right of ways (see Note 10).
6. Wetlands and HSS soils shown were delineated by Jon Stason, Beaver Tracks LLC, April 20, 2018.
7. Easements and restrictions of record:
 - A. 50' Right of Way along Lighthouse View Road laid out by petition to the Town of New London in 1940.
 - B. Powerline Easement granted in MCR 440-345, Soo-Nipi Park Inc to N.T.S. T. May 13, 1919 (10' wide for lines and 30' for clearing).
 - C. Powerline Easement granted in MCR 907-43, Soo-Nipi Lodge Inc to PSNH/N.T.T. (No Width given).
 - D. Powerline Easement granted in MCR 1364-988, Health Builders Inc to PSNH/N.T.T. (No Width given).
8. Proposed Easements:
 - A. Easement for Right of Way extension and cul de sac for Lighthouse View Road as shown.
 - B. Easement for access and maintenance of fire cisterns on remaining land of Crimi Holdings.
 - C. Right of way for a shared driveway on Lot 2, for the benefit of Lot 1. Driveway and easement to be located 15' on both sides of the driveway as constructed. Easement will where drive enters Lot 1, no closer than 250' from Lake Sunapee.
 - D. 25' Slope and Drainage easement around area of road extension and cul de sac (see Sheet D.1).
 - E. Drainage easement for treatment swale running ±200' north of cul de sac on Lot 3 (See Sheet D.1).

REFERENCE PLANS

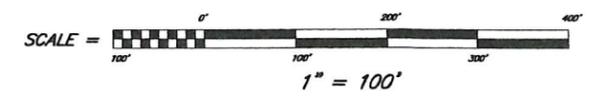
1. Unrecorded Plan - "Boundary Plat of Land of Soo-Nipi Lodge Inc.," by Richard Bartlett and Assocs., June 9, 2008.
2. MCR Plan No.2111 - "Property Survey and Schematic, Soo-Nipi Lodge Inc.," by R.Bristol and W.Breckenridge, dated June, 1966.
3. MCR Plan No.3833 - "Property of David S. Bemis and Bruce Bemis.," by Robert Bristol, dated October 2, 1974.
4. MCR Plan No.9478 - "Proposed Subdivision, Estate of Mary F. Charles.," by Alton Wilson, January, 1987.
5. MCR Plan No.4862 - "Property of Mary J. Metcalf.," by Robert Bristol, September 24, 1976.



TOPOGRAPHY AND SOILS
SOO NIPI PARK - PLAN OF SUBDIVISION
TAX MAP 127 LOT 1 - 214 SOO NIPI PARK ROAD

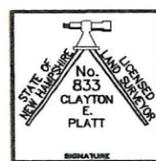
PROPERTY OF
CRIMI HOLDINGS OF NH LLC
c/o PAMELA FANTINI, 7 MILL POND ROAD, MARBLEHEAD MA 01945

LOCATED IN
NEW LONDON, N.H.



SEPTEMBER 30, 2018

PENNYROYAL HILL LAND SURVEYING & FORESTRY LLC
CLAYTON E. PLATT LIC. SURVEYOR NO. 833
414 Pine Hill Road Croydon, NH 03773 (603) 863-0981

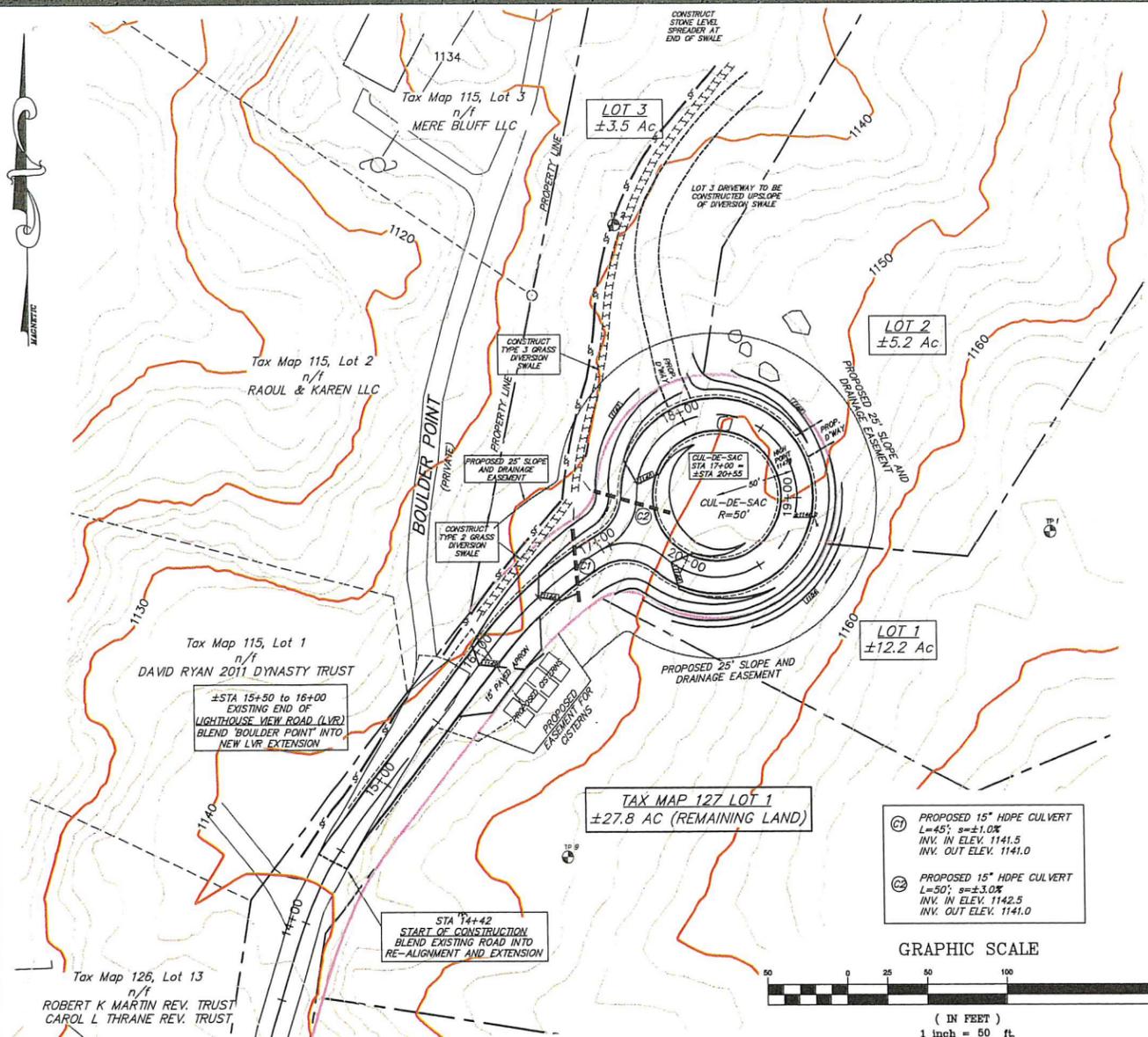


REVISIONS

APPROVED BY THE NEW LONDON, N.H. PLANNING BOARD

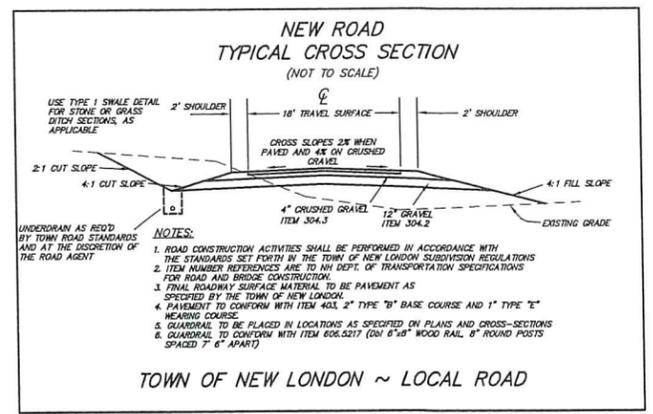
Date _____

The Subdivision Regulations of the Town of New London are a part of this plot and approval of this plot is contingent on the completion of all requirements of said Subdivision Regulations excepting only any variances or modifications made in writing by the Board and attached hereto.



GENERAL ROAD CONSTRUCTION SEQUENCE

- ***Road construction is subject to inspections by the New London Road Agent at all stages of construction. The contractor shall be responsible to coordinate such inspections with the Road Agent.
- ***Pre-Construction meeting shall be held with contractor, engineer and road agent.
- 1. Cut and clear trees and saplings to limits of slope lines.
- 2. Construct temporary erosion control measures as per Site Plan and Temporary Erosion Control Notes.
- 3. Level Spreaders and Treatment Swale shall be installed with vegetation established before culverts installed.
- 4. Grub out road bed and slope areas. Stump disposal site to be off-site or alternate area as directed by owner.
- 5. Also see "General Notes" and "Temporary Erosion Control Notes".
- 6. Rough grade road and ditches. Stabilize ditches with seed and mulch. Any drainage swales or road ditches must be stabilized prior to receiving flow.
- 7. Temporary soil stockpiles can be placed as approved by the engineer or owner. Any piles left for greater than 14 days shall immediately be seeded with Winter Rye. Install silt fence at the base of any pile where adjacent to undisturbed ground.
- 8. All cut and fill slopes shall be stabilized within 72 hours with a minimum of 4" of loam and seed upon their completion to design grades. Consult with Engineer for proper seed type. Any cut or fill slope which is to be left in an unfinished state for fourteen (14) days or greater shall be immediately seeded with Winter Rye and mulched at the rate of two tons per acre (90 lbs. per 1000 SF).
- 9. Construct roadway with select materials according to the typical cross-section.
- 10. Remove temporary erosion control measures after all ditches and sidelopes have stabilized.
- 11. Complete final paving operations and install any signage as may be required by road agent or fire chief.

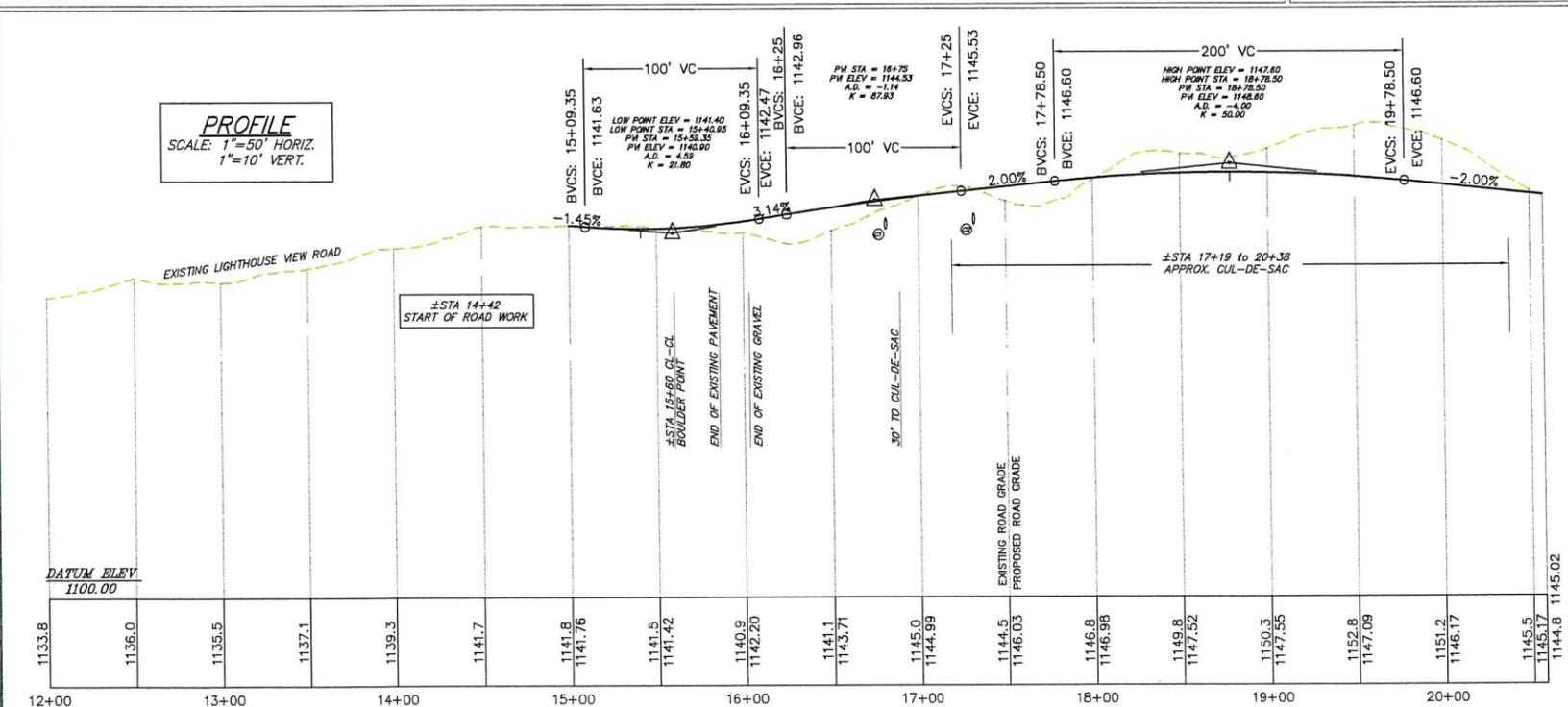


GENERAL NOTES

1. Boundary and topographic survey has been prepared by Pennyroyal Hill Land Surveys, Sunapee, NH
2. The intent of this plan is to show construction, drainage and erosion control measures proposed for extending Lighthouse View Road as shown.
3. Erosion control practices shall be installed and maintained in accordance with the BEST MANAGEMENT PRACTICES as outlined in the "NH Stormwater Manual, Volume 3, Erosion and Sediment Controls during Construction" dated December, 2008.
4. Silt fence, Silt Soxx and any other erosion and sediment control measure shall be installed as shown on the plan. It shall be left in place and maintained as necessary until the site is fully stabilized. It is the contractor's responsibility to inspect these measures periodically until the area above is stabilized, whether the contractor is actively working on-site or not, and always after any rainstorm of 1/2" or greater.
5. Disturbed areas not otherwise noted on the plan shall be stabilized with a 4" covering of screened loam and immediately seeded. Where slopes are steeper than 4:1 (horiz.:vert.), they shall be covered with North American Green erosion control matting (S75BN or equivalent) and stapled in place according to the manufacturer's requirements.
6. Contractor is responsible for notifying DIG-SAFE prior to starting construction.
7. Contractor shall monitor weather and take any necessary temporary measures needed to prevent erosion and sediment transport. These measures can be such practices as small sediment basins or diversions constructed for overnight or over the weekend if rain is forecast.
8. It is the contractor's sole responsibility to become familiar with all Town and NH DES permits issued for this project and to understand any conditions mandated by the Town and/or NH DES on these permits, whether this information is provided on project plans or not.

TEMPORARY EROSION CONTROL NOTES

1. Temporary erosion control practices shall be in accordance with the BEST MANAGEMENT PRACTICES as outlined in the NH Stormwater Manual.
2. Stone checkdams and silt fence shall be installed in all locations as shown on plan. Stone checkdams shall also be installed around catchbasin inlets.
3. The contractor shall expose only the smallest practical area of land which can be worked at any one time.
4. All disturbed areas shall be stabilized with 4" loam, seed and mulch according to the seeding detail (see "Seeding For Long Term Cover") with the exceptions as noted below:
 - a) Seeding by the seeding detail is best accomplished prior to September 15 and shall be started no later than October 1 without consulting the Engineer or the Natural Resources Conservation Service for seasonal suitability.
 - b) Stabilization after October 1 can be accomplished by seeding with Winter Rye and mulching at the rate of 3 tons/acre. This must be followed with a spring seeding according to the seeding detail.
 - c) Stabilization after October 15: Winter Rye and mulch at the rate of 3 tons/acre with mulch netting installed to secure the hay or straw mulch.
5. Any cut or fill slope or other disturbed area which is to be left in an unfinished state for fourteen (14) days or greater shall be immediately seeded with Winter Rye and covered with a suitable erosion control fabric.
6. All temporary erosion control measures shall be inspected and maintained as detailed in the General Notes.
7. After all disturbed areas have been stabilized, the temporary erosion control measures are to be removed and accumulated sediment disposed of in an upland location.
8. Winter Construction Notes:
 - a) All proposed post-development vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and seeding and placing of 3 to 4 tons of mulch per acre, secured with anchoring netting, elsewhere. The placement of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events.
 - b) All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized with stone or erosion control blankets appropriate for the design flow conditions.
 - c) After November 15th, incomplete road or parking surfaces shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3, or, if construction is to continue through the winter season, be cleared of any accumulated snow after each storm event.



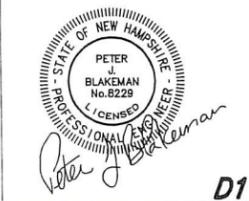
GENERAL SITE LEGEND

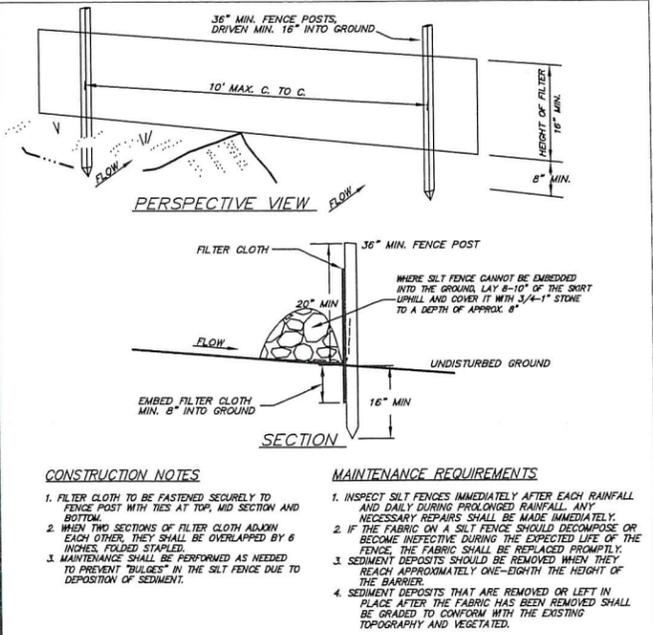
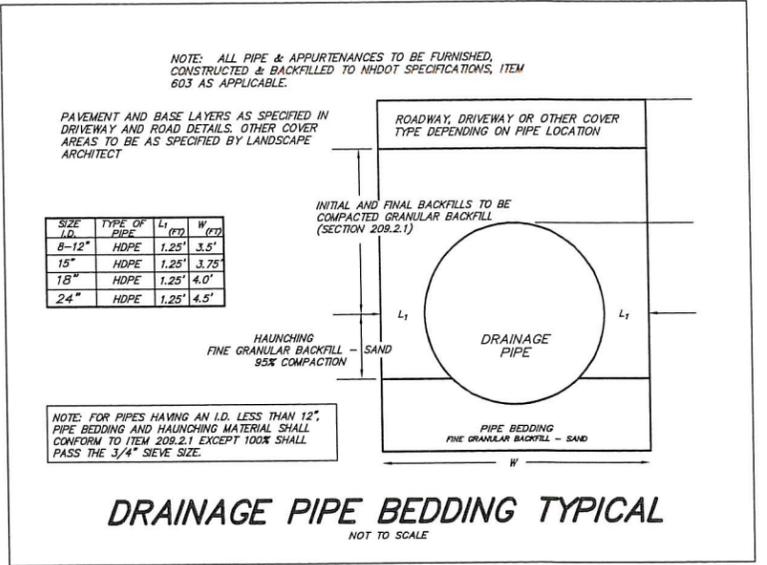
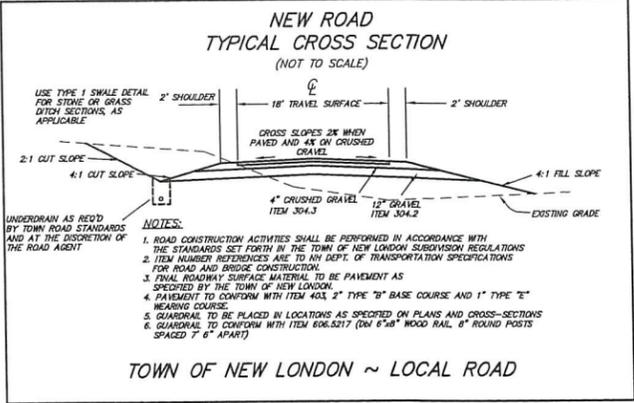
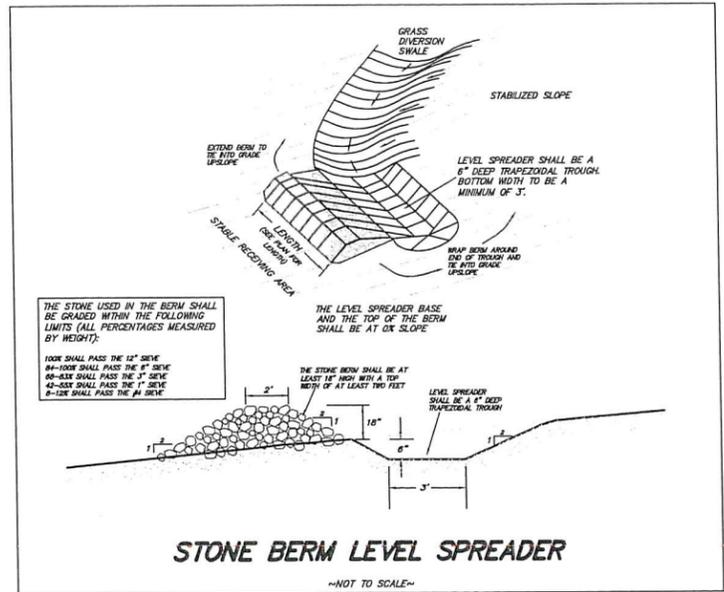
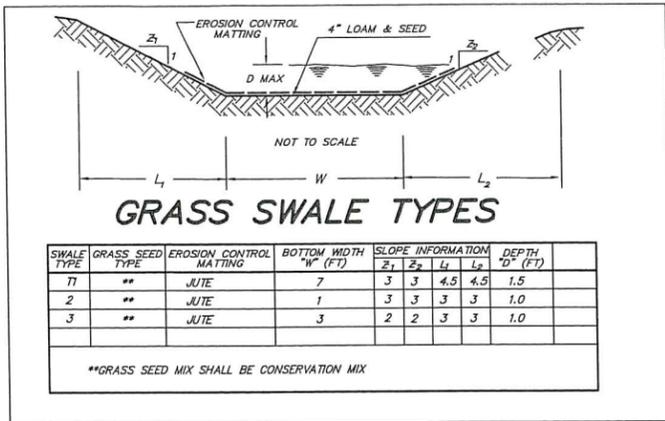
- HARDWOOD TREE
- SOFTWOOD TREE
- 518 --- EXISTING GRADE CONTOUR
- 823+4 EXISTING GROUND SPOT ELEV.
- 1482 FINISH CONTOUR GRADE
- 503.2 FINISH GRADE, SPOT ELEV.
- IRON PIPE OR ROD, FOUND
- △ SURVEY HUB
- 3" --- PROPOSED SEDIMENT BARRIER (FILTREXX SILT SOXX OR SILT FENCE per DETAIL)
- --- EXISTING CULVERT/STORMDRAIN
- --- PROPOSED CULVERT, ADS N-12
- IIIIII PROPOSED GRASS SWALE
- --- EDGE OF WETLAND OR SURFACE WATER

ROADWAY PLAN & PROFILE ~ ROAD EXTENSION

PREPARED FOR PROPERTY OWNED BY
CRIMI LAND HOLDINGS OF NH LLC
 TAX MAP 127, LOT 1
 LIGHTHOUSE VIEW ROAD
 NEW LONDON, NEW HAMPSHIRE
 SEPTEMBER 30, 2018

BLAKEMAN ENGINEERING, INC.
 P.O. BOX 4 ROUTE 114
 NORTH SUTTON, NEW HAMPSHIRE 03260
 (603) 927-4163





TOWN OF NEW LONDON
SELECTMEN'S OFFICE
OCT 02 2018
RECEIVED

- GENERAL SITE LEGEND**
- HARDWOOD TREE
 - SOFTWOOD TREE
 - EXISTING GRADE CONTOUR
 - EXISTING GROUND SPOT ELEV.
 - FINISH CONTOUR GRADE
 - FINISH GRADE, SPOT ELEV.
 - IRON PIPE OR ROD, FOUND
 - SURVEY HUB
 - PROPOSED SEDIMENT BARRIER (FILTEREX, SILT SOXX OR SILT FENCE per DETAIL)
 - EXISTING CULVERT/STORMDRAIN
 - PROPOSED CULVERT, ADS N-12
 - PROPOSED GRASS SWALE
 - EDGE OF WETLAND OR SURFACE WATER

CONSTRUCTION/DRAINAGE DETAILS

PREPARED FOR PROPERTY OWNED BY
CRIMI LAND HOLDINGS OF NH LLC
TAX MAP 127, LOT 1
LIGHTHOUSE VIEW ROAD
NEW LONDON, NEW HAMPSHIRE
SEPTEMBER 30, 2018

BLAKEMAN ENGINEERING, INC.
P.O. BOX 4 ROUTE 114
NORTH SUTTON, NEW HAMPSHIRE 03260
(603) 927-4163

PETER J. BLAKEMAN
No. 8229
PROFESSIONAL ENGINEER
LICENSED

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