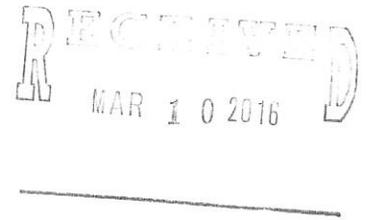




LANDSCAPE ARCHITECTURE, CONSTRUCTION & FINE GARDENING  
169 KEARSARGE MOUNTAIN ROAD : WARNER, NH 03275 : (603)456-3675



Dale R. Keirstead  
NHDES Wetlands Bureau  
P.O. Box 95  
29 Hazen Drive  
Concord, NH 03302

02 March 16

Re: File # 2015-01284  
Project Name: Judith R Breed Revocable Trust  
Location: 47 Moyah's Lane, New London, NH  
Tax Map/ Lot #103/ 12

Dear Dale,

As always, thank you for your thorough review of our application, your phone call regarding this application, and your subsequent discussions with Rene and Darlene. Pursuant to your Request For More Information (RFMI) dated January 19, 2016, we provide the following information, formatted to coincide with each numbered item outlined in your letter:

1. Based on my conversation with you, and George's conversation with Darlene, we have revised the proposed plan to reflect those discussions. We have eliminated the new wall (structure) along the shore intended to support the ramp to the water. In its place, the shoreline will be restored in this area with weathered boulders ( $\pm$  1 cu. yd. to 3 cu. yds. in size) and native vegetation. The images on the new photo sheet (attached) show the character of the existing shoreline on the property further to the north. The intent is to mirror this character in the restored portions shown on the revised plan (Impact Area 'A').

Between the restored shoreline, and the rebuilt wall, there will be a 6' wide permanent footpath to the beach area, in accordance with RSA 483-B:9 V(a)(2)(D)(ix). This path will have a handrail adjacent to it for those with limited mobility. Please see the attached sheet (L 01) containing existing condition photos, adjacent to 3-D renderings, showing the proposed relationship of the aforementioned elements.

2. By removing the 'ramp' and new wall, we have eliminated the elements that might have been considered a structure. Furthermore, the restoration of the bank in this area, with weathered boulders and native vegetation, minimize physical impacts to the wetlands. Equally important, are the visual impacts to the wetlands. A wooden or metal structure built over the bank has far more negative visual impact on the wetlands complex, and was one of the reasons our client was called to task in the first place.

The ADA (Americans with Disabilities Act) and RSA 483-B:9 V(a)(2)(D)(ix) both allow for permanent access for those with limited mobility. Therefore, a seasonal ramp structure is impractical, as their mobility is limited year round. Consequently, the least impacting alternative is to restore the shoreline and provide a footpath from the top of bank to the beach.

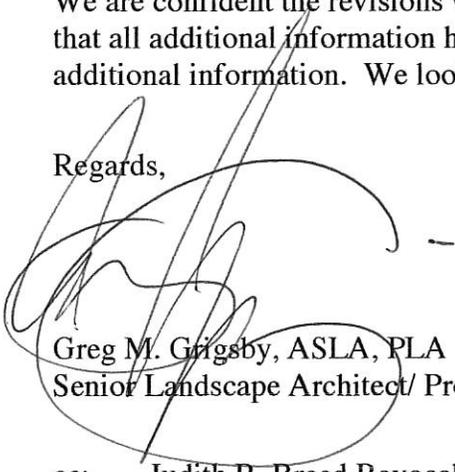
3. We have identified the 'top of bank' as the 1098' contour on the plan. The heavy red line that runs

along the shoreline/wall represents this contour. In addition, since we envision this construction to require small equipment, we have also identified areas where we suspect there will be temporary disturbance to the sand, which will simply be raked out upon completion of work. Accordingly, we have included a check for the added temporary impacts.

- 4. While not on the RFMI, the Reference Line elevation of Sunapee Lake was suggested in your email communication, dated March 1, 2016, as elevation 1094.15. However, the NHDES Consolidated List of Waterbodies references 1093.15'. Additionally, all of our applications (wetland and shoreland) for about the last 10 years or so, have been approved using the 1093.15 contour. For the purposes of this review, the 1094 contour is shown on the plan, and using the higher elevation would have no impact on what is being proposed.

We are confident the revisions we have made assuage any concerns with what is being proposed, and that all additional information has been addressed in full, clarifying and completing the request for additional information. We look forward to your prompt approval of this project.

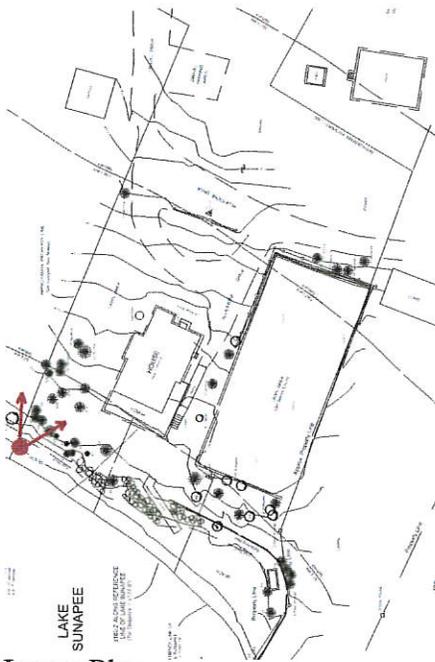
Regards,



Greg M. Grigsby, ASLA, PLA  
Senior Landscape Architect/ Project Manager

cc: Judith R. Breed Revocable Trust  
Town of New London

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MAR 10 2016



Locus Plan  
Not To Scale



Existing Shoreland

**Legend**

Photo Location/View



Locus Plan  
Not To Scale



Existing Shoreland

**Legend**

Photo Location/View

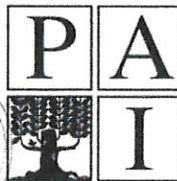
**Breed Residence**

47 Moyah's Ln, New London, NH

Existing Site Conditions

10 Oct. 2015

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MAR 10 2016



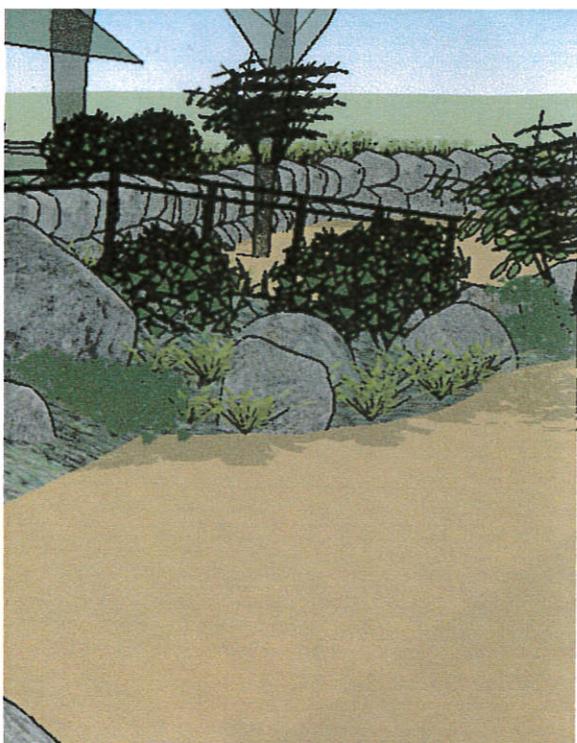
**Pellettieri Associates, Inc**

Landscape Architecture & Construction

169 Kearsarge Mountain Road Warner, NH 03278

Phone (603) 456-3678 Fax (603) 456-3229

E-mail: ggrigsby@pellettieriassoc.com



**Existing Conditions**

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MAR 10 2016

**DRAWN BY**  
PAI-CGG

**DESCRIPTION**  
Breed Shoreland Restoration

**PROJECT NO.**  
N/A

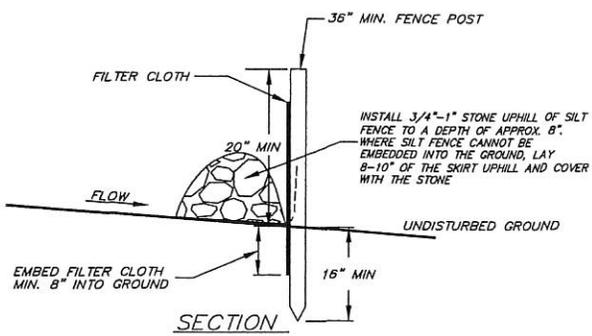
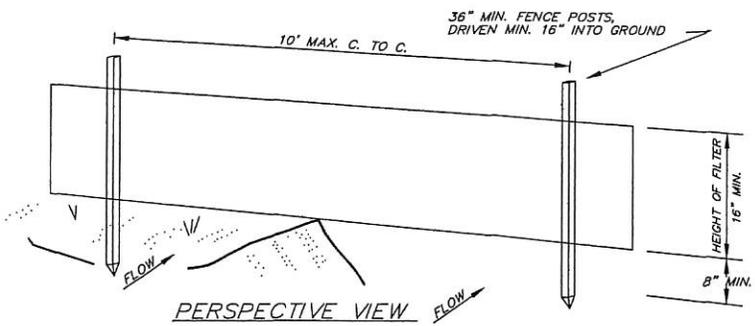
**PROJECT**  
Breed Project

**ISSUE**  
03.03.16

**RE-ISSUE**  
N/A

01

- Sedum -
- Thermopsis -
- Osmunda -
- Veronia -
- Stenolop -
- Lupin -
- Royal Fern -
- Iorn Weed -



**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE.**

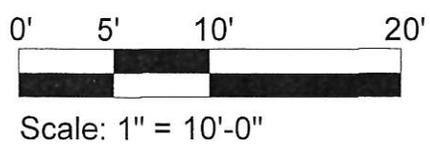
1. FILTER CLOTH TO BE FASTENED SECURELY TO FENCE POST WITH TIES AT TOP, MID SECTION AND BOTTOM.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED STAPLED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT "BULGES" IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

**MAINTENANCE REQUIREMENTS**

1. INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL AND DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-EIGHTH THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

**SILT FENCE DETAIL**  
(NOT TO SCALE)

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 MAR 10 2016



Project

**Breed Property**

Title **Proposed Wetlands Plan**

Job No.

Scale

1" = 10'

Date

2 Oct. '15

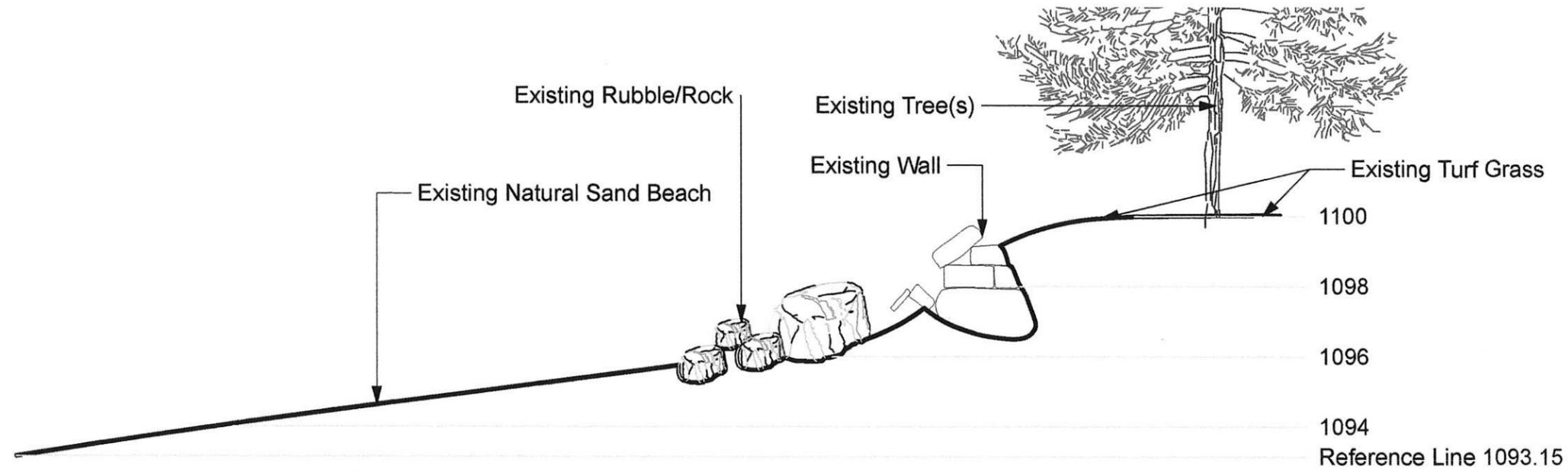
Revised

02 March 16

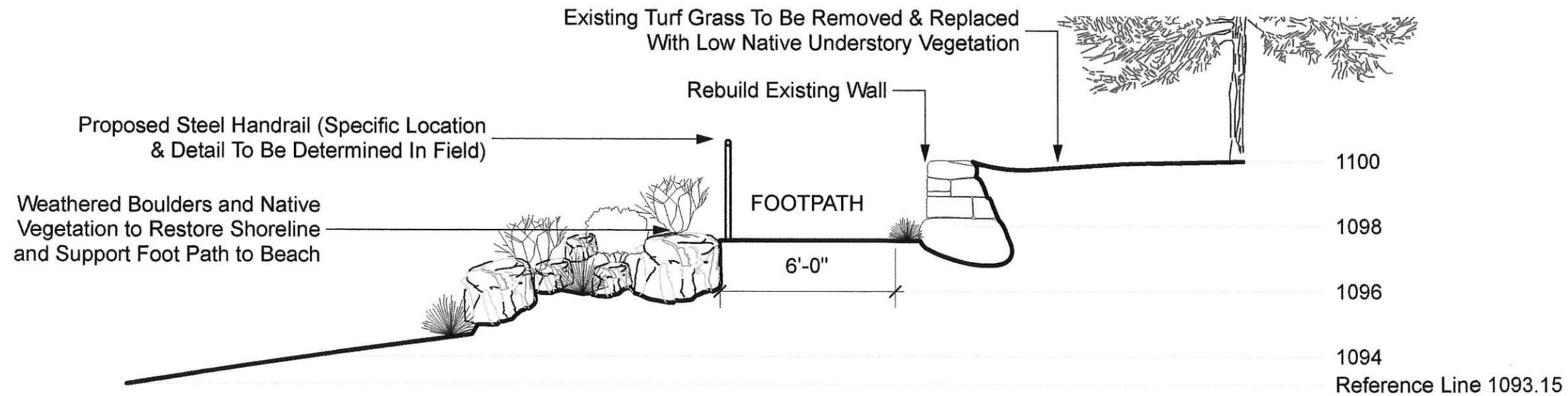
Drawn by

GMG

**P2**



**B-B'**  
1 Existing Conditions Cross-Section (Typical)  
Scale 1/4" = 1'-0"



**B-B'**  
1 Proposed Conditions Cross-Section (Typical)  
Scale 1/4" = 1'-0"

**Notes:**

1. See proposed site plan for limits of shoreline stabilization.
2. All excavated spoils to be removed and disposed of off site, and/or outside of jurisdictional areas.
3. See SWQPA plans for tree cell counts



Judith R. Breed Revocable Trust  
47 Moyahs Lane  
New London, NH 03257

**PAPELLETTIERI ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTURE, CONSTRUCTION & FINE GARDENING  
100 BLISSVILLE AVENUE, SUITE 100  
WARREN, NH 03270

Project: Breed Property  
Title: Revised Cross-Section B-B'

RECEIVED  
MAR 10 2016

Job No.  
Scale  
Date: 2 Oct. '15  
Revised: 02 Mar 16  
Drawn by: GMG

**S2**