

# "NEW LONDON PLACE" PLANNED UNIT DEVELOPMENT

## TAX MAP 72, LOT 17

### 273 COUNTY ROAD, NEW LONDON, NH



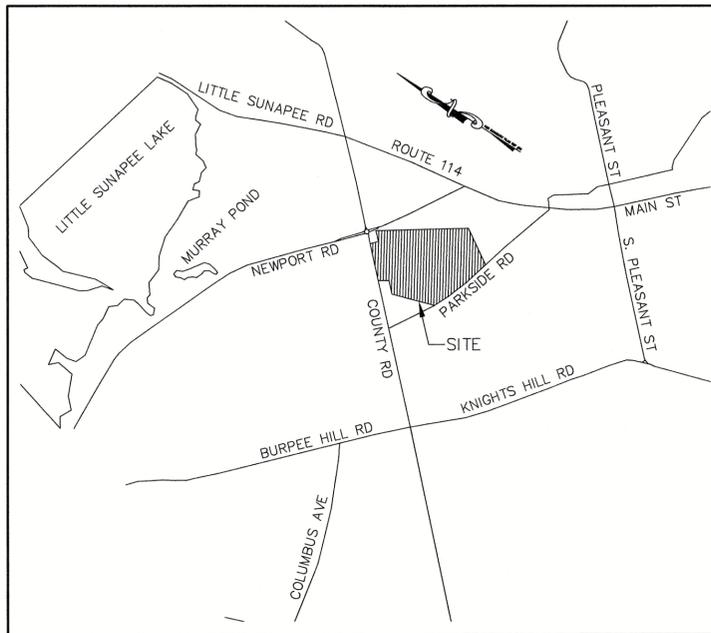
Know what's below  
811 before you dig

#### GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEMASS
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	TEST PIT
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	WETLAND IMPACT
---	---	RIPRAP
---	---	FRESHWATER WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

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LOCUS MAP  
SCALE 1" = 2000'

#### PERMITS

TYPE OF PERMIT	STATUS	TYPE OF PERMIT	STATUS
NHDES ALTERATION OF TERRAIN PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES - WATER DIVISION 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 9/10/18 PERMIT NO. DATED: EXPIRATION:	NEW LONDON SITE PLAN APPROVAL: TOWN OF NEW LONDON PLANNING BOARD 375 MAIN STREET NEW LONDON, NEW HAMPSHIRE 03257 (603) 526-1247 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: 7/3/2018 PERMIT NO. DATED: EXPIRATION:
NHDES WETLAND PERMIT: NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES- WETLANDS BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302 (603) 271-2147 RESPONSIBLE CONSULTANT- GOVE ENVIRONMENTAL SERVICES, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:	NHDES SEWER CONNECTION PERMIT: NHDES - WASTEWATER ENGINEERING BUREAU 29 HAZEN DRIVE, P.O. BOX 95 CONCORD, NEW HAMPSHIRE 03302-0095 (603) 271-3503 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.	SUBMITTED: PERMIT NO. DATED: EXPIRATION:
USEPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT, NOTICE OF INTENT (NOI), AND NOTICE OF TERMINATION (NOT) TO BE FILED IN ACCORDANCE WITH FEDERAL AND LOCAL REGULATIONS PRIOR TO AND FOLLOWING CONSTRUCTION: EPA STORMWATER NOTICE PROCESSING CENTER MAIL CODE 4203M, US EPA 1200 PENNSYLVANIA AVENUE, NW WASHINGTON, DC 20460 RESPONSIBLE CONSULTANT: JONES & BEACH ENGINEERS, INC.			

**APPLICANT / DEVELOPER**  
CONTINUUM HEALTH SERVICES, INC.  
250 GODDARD ROAD  
LEWISTON, ME 04240  
(207) 782-4797  
CONTACT: MIKE BLACK  
EMAIL: MKB1205@GMAIL.COM

**FORESTER**  
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(603) 356-5636  
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EMAIL: KARLA@GARLANDLUMBER.NET

**LANDSCAPE DESIGNER**  
WOODBURN & COMPANY  
LANDSCAPE ARCHITECTURE, LLC  
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NEWMARKET, NH 03857  
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CONTACT: ROBBI WOODBURN  
EMAIL: ROBBI@WOODBURNANDCOMPANY.COM

**CIVIL ENGINEER / SURVEYOR**  
JONES & BEACH ENGINEERS, INC.  
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PO BOX 219  
STRATHAM, NH 03885  
(603) 772-4746  
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EMAIL: WMORRILL@JONESANDBEACH.COM

**WETLAND CONSULTANT**  
GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DRIVE  
EXETER, NH 03833  
(603) 778-0644  
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**ARCHITECT**  
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100 COMMERCIAL ST., SUITE 205  
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EMAIL: MARK@MUELLERARCHITECTS.COM

**OWNER OF RECORD**  
NEW LONDON HOSPITAL ASSOCIATION  
273 COUNTRY ROAD  
NEW LONDON, NH 03257  
CONTACT: BRUCE KING

**GEOTECHNICAL ENGINEER**  
S.W. COLE ENGINEERING, INC.  
13 DELTA DRIVE, UNIT 8  
LONDONDERRY, NH 03053  
(603) 692-0088  
CONTACT: CHAD MICHAUD, P.E.  
EMAIL: CMICHAUD@SWCOLE.COM

PROJECT PARCEL  
TOWN OF NEW LONDON  
TAX MAP 72, LOT 17

APPLICANT  
CONTINUUM HEALTH SERVICES, INC.  
250 GODDARD ROAD  
LEWISTON, ME 04240

TOTAL LOT AREA  
1,890,228 SQ. FT.  
43.39 ACRES

APPROVED - TOWN OF NEW LONDON  
PLANNING BOARD

DATE:

F:\CADD\MASTER STANDARD\dwg\UB-LAYOUTS.dwg 2/16/2017 12:25:50 PM EST

Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
2	11/16/2018	REVISED PER TOWN COMMENTS	EMP
1	9/10/2018	ISSUED FOR AOT REVIEW	EMP
0	7/3/2018	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

**Civil Engineering Services**

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	CS
SHEET 1 OF 49	JBE PROJECT NO. 17190

"NEW LONDON PLACE", COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH  
JBE # 17190 REV. 9/10/18

**SITE NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED PLANNED UNIT DEVELOPMENT (P.U.D.) ON TAX MAP 72, LOT 17 IN THE TOWN OF NEW LONDON. THE DEVELOPMENT WILL CONSIST OF A MULTI-LEVEL CONTINUING CARE BUILDING AND THIRTY-THREE (33) INDEPENDENT LIVING COTTAGES. THE PROPOSED DEVELOPMENT WILL BE SERVICED BY MUNICIPAL SEWER AND WATER WITH ALL BUILDINGS SPRINKLERED FOR FIRE PROTECTION.
- ZONING DISTRICT: URBAN RESIDENTIAL (R-1)  
LOT AREA MINIMUM = 20,000 SF (5 AC FOR P.U.D.)  
LOT FRONTAGE MINIMUM = 150'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 25'  
SIDE SETBACK = 15'  
REAR SETBACK = 15'  
P.U.D. BUFFER = 75'  
P.U.D. INTERNAL BUILDING SEP. = 25'  
P.U.D. MIN. OPEN SPACE = 50%
- PARKING SPACES PROVIDED:  
SPACES PROVIDED OUTSIDE WING 'A' = 16 + 2 HANDICAP ACCESSIBLE = 21  
SPACES PROVIDED WITHIN WING 'C' PARKING LEVEL = 14 + 3 HANDICAP ACCESSIBLE = 27  
SPACES PROVIDED OUTSIDE WING 'C' = 49 + 3 HANDICAP ACCESSIBLE = 52  
TOTAL SPACES PROVIDED = 100 SPACES  
REQUIRED PARKING AT THE DISCRETION OF THE PLANNING BOARD
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PARCEL IS LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NOS. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
- APPLICANT IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
- THE CONTRACTOR SHALL READ AND FOLLOW ALL RECOMMENDATIONS MADE IN THE SITE GEOTECHNICAL ENGINEER REPORT, PREPARED BY S.W. COLE ENGINEERING, INC.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL CURBING TO BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- OUTSIDE DELIVERIES SHALL BE LIMITED TO THE HOURS OF 7:00 AM AND 9:00 PM MONDAY THROUGH SATURDAY, AND 8:00 AM TO 8:00 PM ON SUNDAY.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL ARCHITECTURAL BLOCK RETAINING WALLS ARE TO BE DESIGNED AND STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER. CONTRACTOR TO COORDINATE WITH APPROVED MANUFACTURER PRIOR TO INSTALLATION.
- DUMPSTERS AND/OR ROLL-OFFS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- SEE LANDSCAPE DETAILS FOR FENCING ON TOP OF RETAINING WALLS.
- SEE TRAIL MAP PLAN FOR LOCATION OF EXISTING AND PROPOSED TRAIL LOCATIONS.
- DUMPSTERS AND REFUSE CONTAINERS FOR THE CONTINUING CARE FACILITY TO BE LOCATED WITHIN THE UNDERGROUND PARKING AREA. STAND-ALONE UNITS TO UTILIZE CURBSIDE TRASH PICK-UP.

**GRADING AND DRAINAGE NOTES:**

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- VERTICAL DATUM: ASSUMED PER CAD FILE FROM OTHERS. HORIZONTAL DATUM: NH STATE PLANE NAD86 2800. STATIC GPS RUN ON 6/5/18.
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL ROOF DRAINS FROM BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT THE END. ALL EXTERIOR ROOF DOWNSPOUTS ARE TO BE INSTALLED WITH OVERFLOW DEVICES.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED. SEE SHEETS C3-1 THROUGH C3-3 FOR DRAINAGE STRUCTURE SCHEDULE AND SHEETS D5-D10 FOR DRAINAGE DETAILS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IMMEDIATELY APPLY AND COMPACT STONE BASE FOR BUILDING PAD TO +/-1/2" PRIOR TO EXCAVATING INTERIOR AND PERIMETER FOOTINGS.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCES TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- IN AREAS WHERE GUTTERS ARE PROPOSED ON STRUCTURES, CONTRACTOR TO DRAIN INTO PERIMETER DRIP EDGE, UNLESS OTHERWISE SHOWN.

**UTILITY NOTES:**

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICH EVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- IF THE BUILDING IS REQUIRED TO HAVE A SPRINKLER SYSTEM, A PRECONSTRUCTION MEETING SHALL BE HELD BETWEEN THE CONTRACTOR, OWNER, ARCHITECT AND THE LOCAL FIRE DEPARTMENT PRIOR TO THE INSTALLATION.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- REFER TO ARCHITECTURAL PLANS SHEETS FOR LOCATION AND DETAIL OF FIRE LINE LEAD IN TO BUILDING.
- FIRE LINE SHALL BE STUBBED UP 1' ABOVE FINISH FLOOR ELEVATION IN SPRINKLER ROOM.
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN ALL PROJECT BUILDINGS IN ACCORDANCE WITH 101 LIFE SAFETY CODE/NFPA 1 AND LOCAL REGULATIONS. FIRE DEPARTMENT CONNECTION SHALL BE FIELD VERIFIED BY LOCAL FIRE DEPARTMENT TO ENSURE OPTIMUM PLACEMENT.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DISGASFED BEFORE CONSTRUCTION.
- ALL WATER LINES SHALL HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700.
- ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER.
- ENV-WQ 704.09 FORCE MAIN AND LOW PRESSURE SEWER TESTING: SHALL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600-05, AND AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.
- ENV-WQ 704.17 SEWER MANHOLES: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
- ENV-WQ 704.19(a) PROTECTION OF WATER LINES: SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. UNLESS OTHERWISE REFLECTED ON PLANS APPROVED BY NHDES, SEWER SHALL BE LOCATED BELOW A WATER MAIN WITH A MINIMUM VERTICAL SEPARATION OF NO LESS THAN 18" AND SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
- ENV-WQ 704.04(b) DESIGN & CONSTRUCTION OF GRAVITY SEWERS: SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION THE WIDTH OF THE SEWER TRENCH TO BE INSTALLED 12-INCHES OVER SEWER PIPE (ABOVE SEWER BLANKET) IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- ALL WATER AND SANITARY LEADS TO BUILDING(S) SHALL END AT RIGHT OF WAY AS SHOWN ON PLANS AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE TOWN SEWER DEPARTMENT.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT.
- THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO USERS AT ALL TIMES. REQUIREMENTS BY THE TOWN WATER DEPARTMENT REGARDING NOTIFICATION FOR INTERRUPTION OF SERVICE SHOULD BE INCLUDED (TYPICALLY 24 HOURS) AND ALLOWABLE INTERRUPTION DURATION. WATER TESTING AND DISINFECTION REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH TOWN AND NHDES REGULATIONS.
- ALL PROPOSED COTTAGES TO BE SERVICED BY A 4" GRAVITY SEWER, 1 1/2" HDPE DOMESTIC WATER, AND 4" HDPE FIRE SERVICE TO BE CONNECTED TO MAIN LINE OF UTILITY.
- UNDERGROUND LP TANKS TO BE SIZED & LOCATED BY OTHERS PRIOR TO INSTALLATION.

**UTILITY CONTACTS**

**WATER**  
NEW LONDON/SPRINGFIELD  
WATER SYSTEM PRECINCT  
72 OLD DUMP ROAD  
NEW LONDON, NH 03257  
(603) 526-4441  
CONTACT: ROBERT THORPE

**SEWER**  
NEW LONDON PUBLIC WORKS DIVISION  
375 MAIN STREET  
NEW LONDON, NH 03257  
(603) 526-6337

**CABLE/INTERNET**  
COMCAST  
166 HANOVER STREET  
LEBANON, NH 03766  
(800) 266-2278

**ELECTRIC**  
EVERSOURCE  
780 N. COMMERCIAL ST.  
MANCHESTER, NH 03101  
(800) 662-7764

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GENERAL NOTES**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **G1**

SHEET 2 OF 49  
JBE PROJECT NO. 17190

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		

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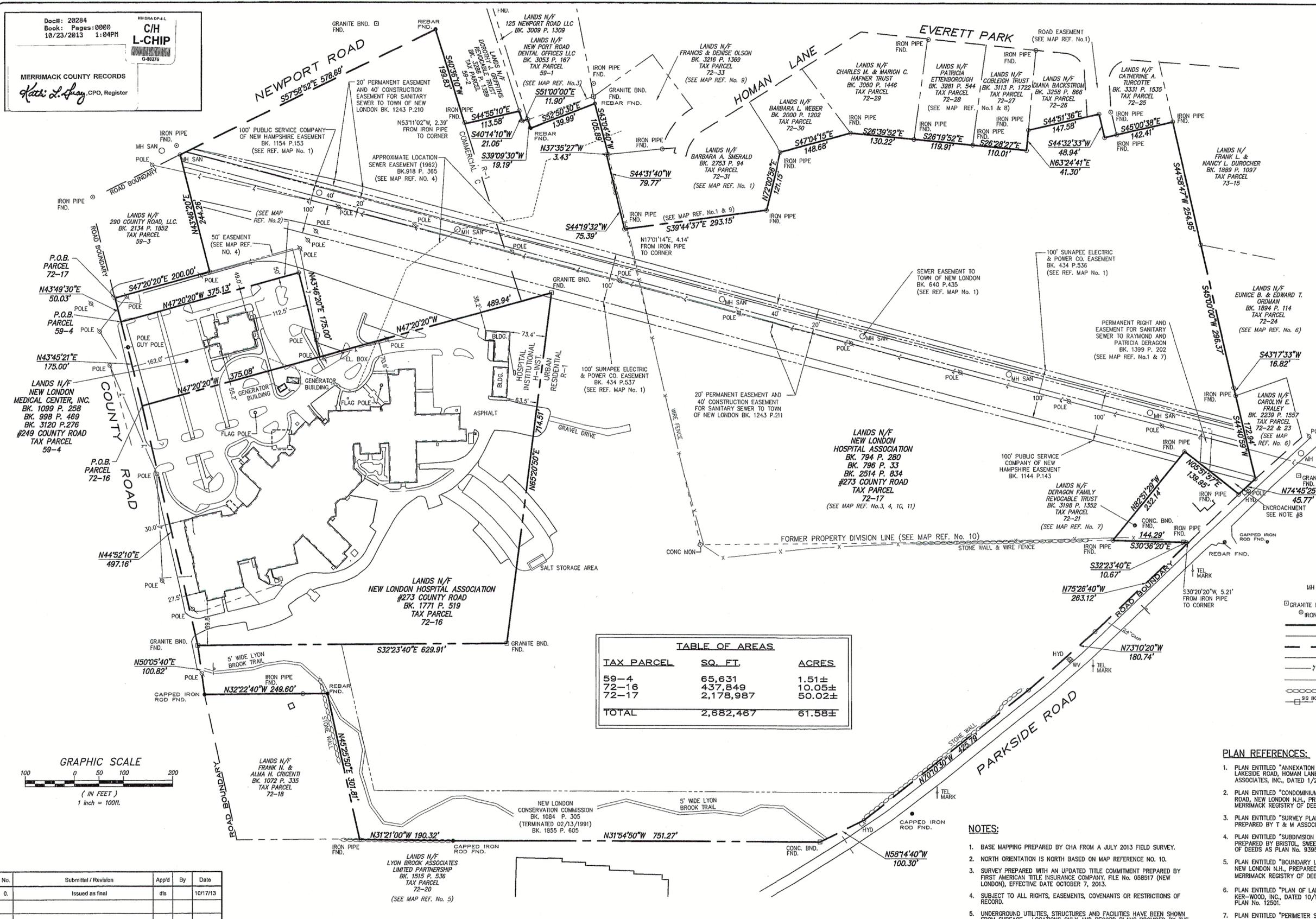
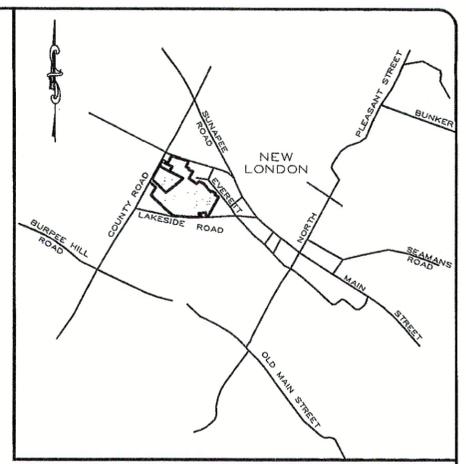


REV.	DATE	REVISION	BY
2	1/16/2018	REVISED PER TOWN COMMENTS	EMP
1	9/10/2018	ISSUED FOR AOT REVIEW	EMP
0	7/3/2018	ISSUED FOR REVIEW	EMP

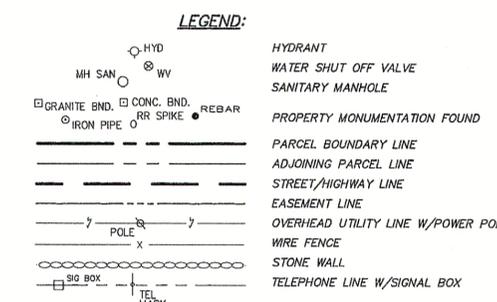


MERRIMACK COUNTY RECORDS

*David L. Standinger, CPO, Register*

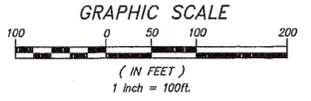


TAX PARCEL	SQ. FT.	ACRES
59-4	65,631	1.51±
72-16	437,849	10.05±
72-17	2,178,987	50.02±
<b>TOTAL</b>	<b>2,682,467</b>	<b>61.58±</b>



- PLAN REFERENCES:**
- PLAN ENTITLED "ANNEKATION ESTATE OF LAURA E. HOMAN LAURA M. DOW EXECUTRIX & JULIE KATE DOW", LAKESIDE ROAD, HUMAN LANE & EVERETT PARK, NEW LONDON N.H., PREPARED BY BRISTOL, SWEET & ASSOCIATES, INC., DATED 1/27/2003, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 16347.
  - PLAN ENTITLED "CONDOMINIUM SITE PLAN FOR NEW LONDON MEDICAL CENTER EAST CONDOMINIUM", COUNTY ROAD, NEW LONDON N.H., PREPARED BY T & M ASSOCIATES, INC., DATED 3/30/1994, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 12949.
  - PLAN ENTITLED "SURVEY PLAN PREPARED FOR NEW LONDON HOSPITAL", COUNTY ROAD, NEW LONDON N.H., PREPARED BY T & M ASSOCIATES, INC., DATED 12/22/1993, AND REVISED 3/25/1994.
  - PLAN ENTITLED "SUBDIVISION NEW LONDON HOSPITAL ASSOCIATION, INC.", COUNTY ROAD, NEW LONDON N.H., PREPARED BY BRISTOL, SWEET & ASSOCIATES, INC., DATED 11/24/1986, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 9395.
  - PLAN ENTITLED "BOUNDARY LINE SURVEY CHARLES & MARY AVERY LAND", LAKESIDE ROAD & COUNTY ROAD, NEW LONDON N.H., PREPARED BY RICHARD GREGOR ASSOCIATES, INC., DATED 2/15/1965, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 8219.
  - PLAN ENTITLED "PLAN OF LAND, PROPERTY OF EUNICE B. ORDMAN", NEW LONDON N.H., PREPARED BY KER-WOOD, INC., DATED 10/1983 AND REVISED 10/1991, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 12501.
  - PLAN ENTITLED "PERIMETER SURVEY FOR RAYMOND R. & PATRICIA J. DERAGON", NEW LONDON N.H., PREPARED BY WALTER H. MORSE, DATED 6/1981, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 6798.
  - PLAN ENTITLED "SUB-DIVISION, HENRY HOMAN", NEW LONDON N.H., PREPARED BY KENNETH A. LECLAIR ASSOCIATES, INC., DATED 7/6/1988, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 2267.
  - PLAN ENTITLED "SUB-DIVISION, HENRY HOMAN", ROUTE 11, NEW LONDON N.H., PREPARED BY KENNETH A. LECLAIR, DATED 5/29/1964, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 2176.
  - PLAN ENTITLED "SURVEY PLAN FOR THE NEW LONDON HOSPITAL ASSOCIATION, INC., COUNTY ROAD - NEW LONDON - MERRIMACK COUNTY, N.H.", PREPARED BY T&M ASSOCIATES, INC., DATED JANUARY 31, 1995, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 13205.
  - PLAN ENTITLED "NEW LONDON HOSPITAL PROPERTY LAYOUT", PREPARED BY IRA LITTLEFIELD, DATED 1956, RECORDED AT MERRIMACK REGISTRY OF DEEDS AS PLAN NO. 1456.
  - PLAN ENTITLED "LANDS OWNED BY NEW LONDON HOSPITAL ASSOCIATION & NEW LONDON MEDICAL CENTER, INC.", PREPARED BY CHA, DATED AUGUST 2007. CHA PROJECT #15177-1011.

- NOTES:**
- BASE MAPPING PREPARED BY CHA FROM A JULY 2013 FIELD SURVEY.
  - NORTH ORIENTATION IS NORTH BASED ON MAP REFERENCE NO. 10.
  - SURVEY PREPARED WITH AN UPDATED TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 058517 (NEW LONDON), EFFECTIVE DATE OCTOBER 7, 2013.
  - SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
  - UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN SHOWN FROM SURFACE LOCATIONS ONLY AND RECORD PLANS PROVIDED BY THE CLIENT.
  - LOTS 59-4, 72-16 AND 72-17 FALL WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEW LONDON, MERRIMACK COUNTY, NEW HAMPSHIRE COMMUNITY PANEL NUMBER 33013C0095E, EFFECTIVE DATE APRIL 19, 2010 AND PANEL NUMBER 33013C0115E, EFFECTIVE DATE APRIL 19, 2010.
  - ZONING INFORMATION: URBAN RESIDENTIAL (R-1); FRONT 25', SIDE 20'+30'=50' TOTAL, BACK 15' COMMERCIAL (C); FRONT 30', SIDE 10', BACK 10' HOSPITAL INSTITUTIONAL (H INST); FRONT 25', SIDE & BACK.
  - OCCUPANTS OF TAX PARCEL 72-21 ("DERAGON") CURRENTLY MAINTAIN PROPERTY BETWEEN DWELLING AND STREAM. A.K.A. "CUTLAGE" ENCROACHMENT.



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No.	Submittal / Revision	App'd	By	Date
0.	Issued as final	ds		10/17/13

**SU-1**  
Sheet 1 of 1

**Boundary Survey Plan**  
 prepared for  
**The New London Hospital Association, Inc.**

Town of New London County of Merrimack  
 State of New Hampshire

Date: October 2013 Project No.: 26992 Scale: 1" = 100'

Drawing Copyright © 2013

211 King Court • Keene, NH 03431-4648  
 Main: (603) 357-2445 • www.chacompanies.com

I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF BETTER THAN ONE PART IN TEN THOUSAND (1:10,000). I HEREBY CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

*David L. Standinger*  
 DAVID L. STANDINGER, NH LLS NO. 958  
 17 OCT. 2013 DATE

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF APPLICABLE STATE AND/OR LOCAL LAWS

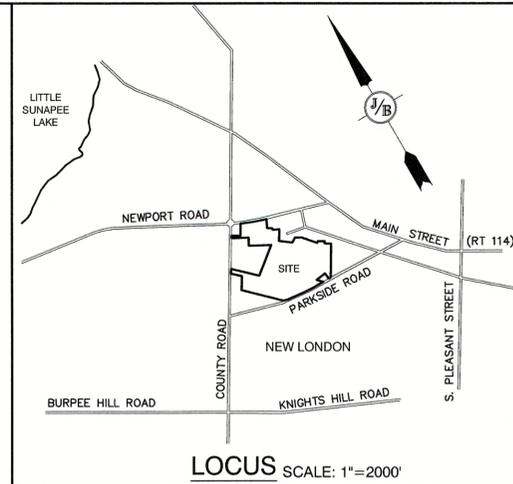
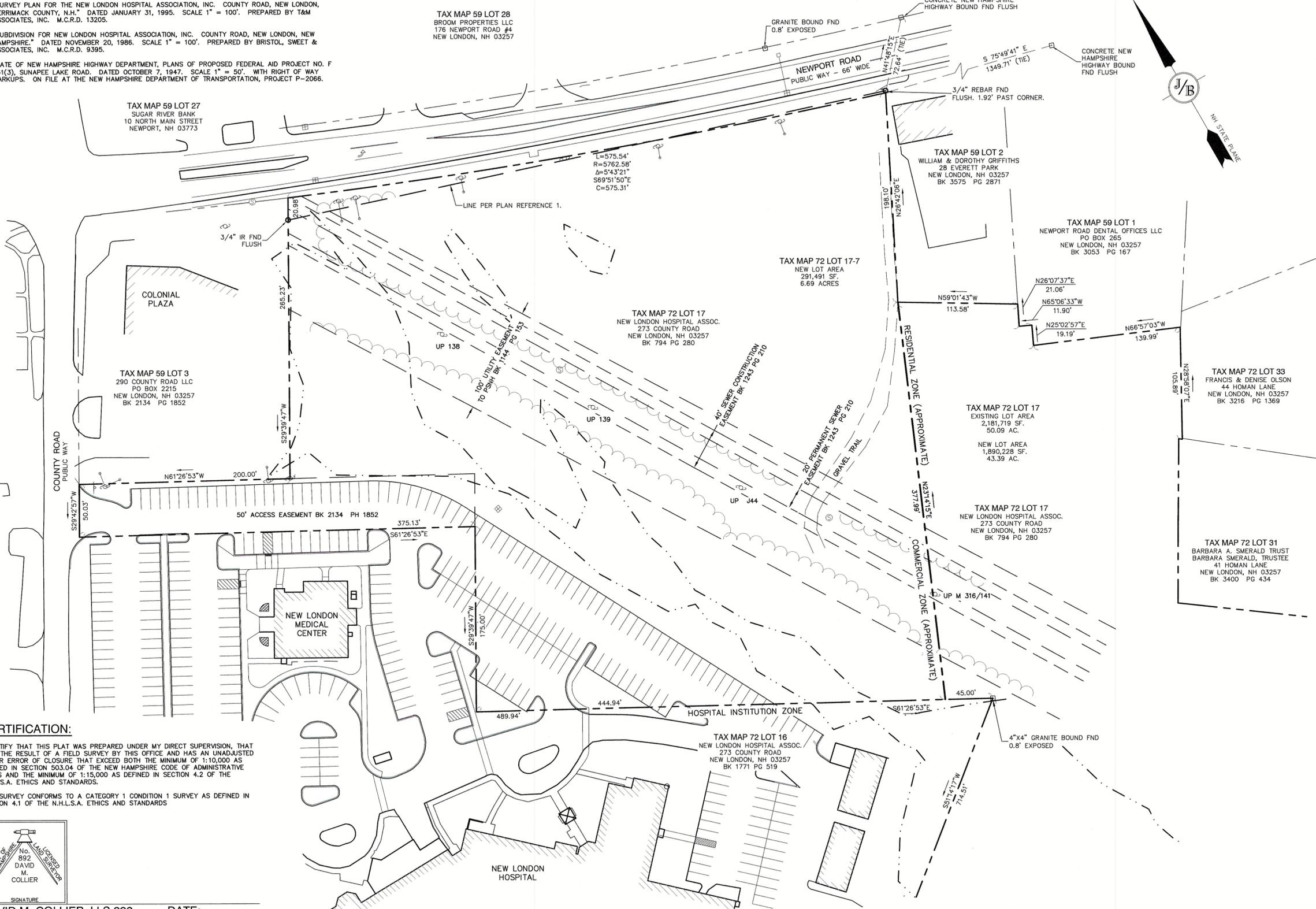
**PLAN REFERENCES:**

- "BOUNDARY SURVEY PLAN PREPARED FOR THE NEW LONDON HOSPITAL ASSOCIATION, INC. TOWN OF NEW LONDON, COUNTY OF MERRIMACK, STATE OF NEW HAMPSHIRE." DATED OCTOBER, 2013. SCALE 1" = 100'. PREPARED BY CHA. M.C.R.D. 20284.
- "SURVEY PLAN FOR THE NEW LONDON HOSPITAL ASSOCIATION, INC. COUNTY ROAD, NEW LONDON, MERRIMACK COUNTY, N.H." DATED JANUARY 31, 1995. SCALE 1" = 100'. PREPARED BY T&M ASSOCIATES, INC. M.C.R.D. 13205.
- "SUBDIVISION FOR NEW LONDON HOSPITAL ASSOCIATION, INC. COUNTY ROAD, NEW LONDON, NEW HAMPSHIRE." DATED NOVEMBER 20, 1986. SCALE 1" = 100'. PREPARED BY BRISTOL, SWEET & ASSOCIATES, INC. M.C.R.D. 9395.
- "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT NO. F 241(3), SUNAPEE LAKE ROAD. DATED OCTOBER 7, 1947. SCALE 1" = 50'. WITH RIGHT OF WAY MARKUPS. ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, PROJECT P-2066.

TAX MAP 59 LOT 29  
LAKE SUNAPEE BANK  
PO BOX 29  
NEWPORT, NH 03773

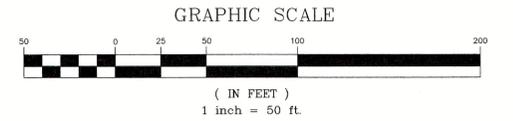
TAX MAP 59 LOT 28  
BROOM PROPERTIES LLC  
176 NEWPORT ROAD #4  
NEW LONDON, NH 03257

TAX MAP 59 LOT 27  
SUGAR RIVER BANK  
10 NORTH MAIN STREET  
NEWPORT, NH 03773



**NOTES:**

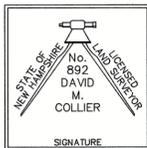
- THE INTENT OF THIS PLAN IS TO SUBDIVIDE NEW LONDON TAX MAP 72 LOT 17 INTO TWO PARCELS. A PERIMETER BOUNDARY SURVEY HAS NOT BEEN PERFORMED ON THE ENTIRE SUBJECT PARCEL. BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCE ARE FROM RECORD PLAN #1.
- ZONING DISTRICT: URBAN RESIDENTIAL R1 AND COMMERCIAL. LOT AREA MINIMUM = 2 ACRES. LOT FRONTAGE MINIMUM = 150'. BUILDING SETBACKS (MINIMUM): FRONT SETBACK = 25'. SIDE SETBACK = 20' SINGLE SIDE, WITH AGGREGATE MINIMUM 50'. REAR SETBACK = 15'. MAX. BUILDING HEIGHT = 7'. MAX. LOT COVERAGE = %. SUBJECT LOT ALSO COVERED BY PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT, AND BY WORKFORCE HOUSING OVERLAY DISTRICT.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NOS. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
- BASIS OF BEARING: HORIZONTAL - NH STATE PLAN. VERTICAL - ASSUMED.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF NEW LONDON TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF NEW LONDON ASSESSORS' OFFICE AND THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY BRENDEN WALDEN OF GOVE ENVIRONMENTAL SERVICES IN AUGUST 2017 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
  - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
  - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
  - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
  - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.



**CERTIFICATION:**

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEED BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS



DAVID M. COLLIER, LLS 892 DATE: \_\_\_\_\_  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

Design: WGM	Draft: MJS	Date: 7/3/18
Checked: DMC	Scale: 1" = 50'	Project No.: 17190
Drawing Name: 17190-SUBDIVISION.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

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1	7/18/18	REVISED BOUNDARY	MJS
0	7/3/18	ISSUED FOR REVIEW	MJS

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**J/B Jones & Beach Engineers, Inc.**

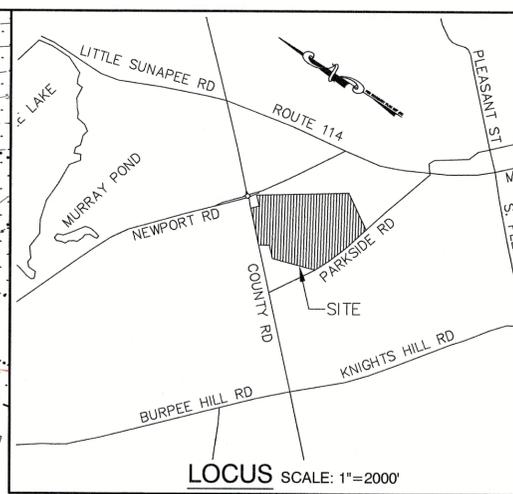
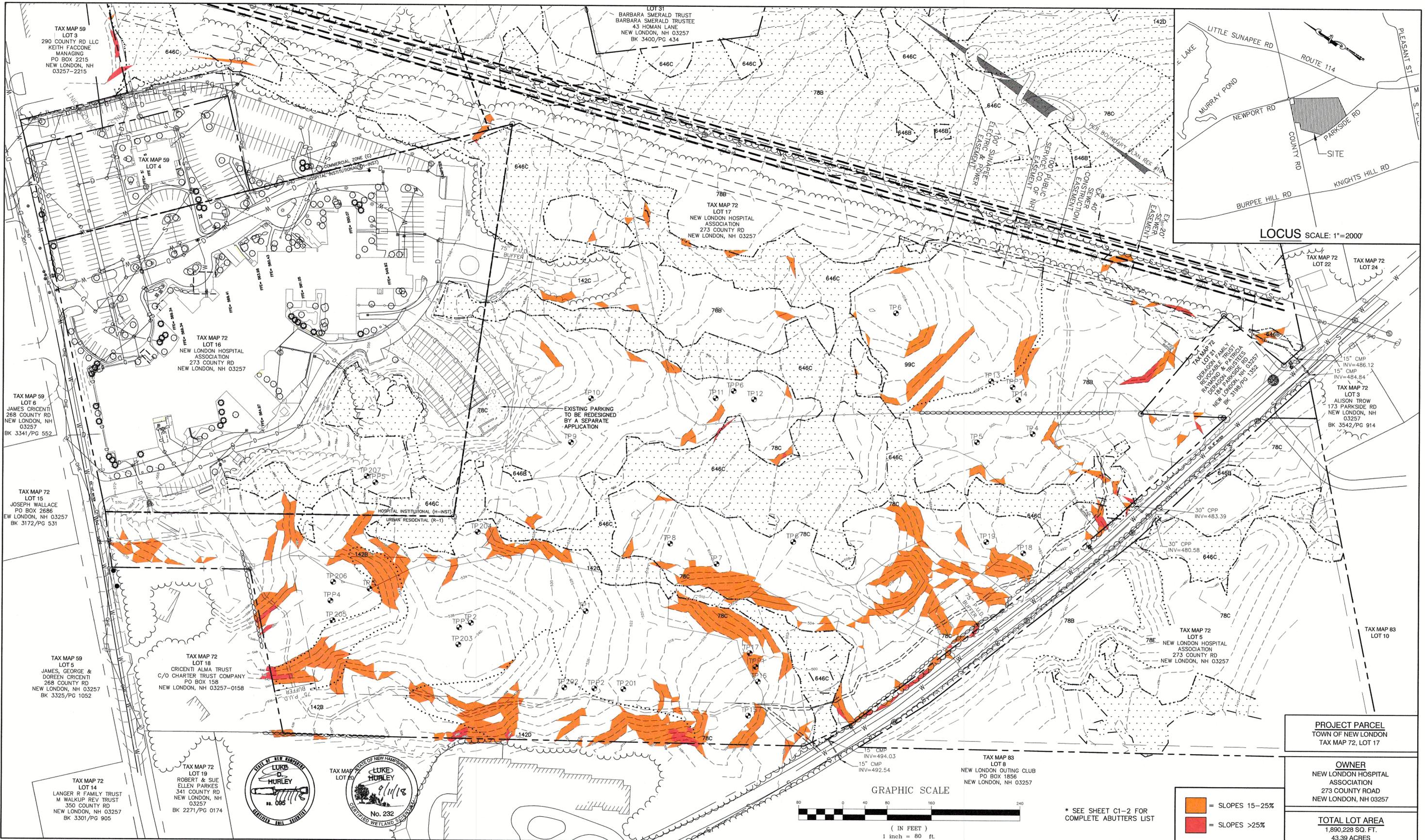
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SUBDIVISION PLAN</b>
Project:	<b>TAX MAP 72 LOT 17 NEWPORT ROAD &amp; COUNTY ROAD, NEW LONDON, NH</b>
Owner of Record:	<b>NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257</b>

DRAWING No.	<b>SU2</b>
SHEET 4 OF 49	JBE PROJECT NO. 17190



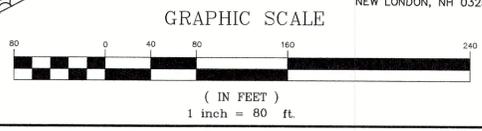
**PROJECT PARCEL**  
TOWN OF NEW LONDON  
TAX MAP 72, LOT 17

**OWNER**  
NEW LONDON HOSPITAL  
ASSOCIATION  
273 COUNTY ROAD  
NEW LONDON, NH 03257

**TOTAL LOT AREA**  
1,890,228 SQ. FT.  
43.99 ACRES

- = SLOPES 15-25%
- = SLOPES >25%

\* SEE SHEET C1-2 FOR COMPLETE ABUTTERS LIST



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Design: BWG    Draft: ISM    Date: 7/3/18  
 Checked: WGM    Scale: AS NOTED    Project No.: 17190  
 Drawing Name: 17190-EX-CONDITIONS.DWG  
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1	9/10/18	ISSUED FOR AOT REVIEW	EMP
0	7/3/18	ISSUED FOR REVIEW	EMP

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**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave.    Civil Engineering Services    603-772-4746  
 PO Box 219    Stratham, NH 03885    FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**

Project: **"NEW LONDON PLACE" COUNTY RD & PARKSIDE RD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY RD, NEW LONDON, NH 03257**

DRAWING No. **C1-1**

SHEET 5 OF 49  
 JBE PROJECT NO. 17190

**GENERAL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINES
		SETBACK LINES
		CENTERLINE
		FRESHWATER WETLANDS LINE
		TIDAL WETLANDS LINE
		STREAM CHANNEL
		TREE LINE
		STONEMALL
		BARBED WIRE
		FENCE
		STOCKADE FENCE
		SOIL BOUNDARY
		AQUIFER PROTECTION LINE
		FLOOD PLAIN LINE
		ZONELINE
		EASEMENT
		MAJOR CONTOUR
		MINOR CONTOUR
		EDGE OF PAVEMENT
		VERTICAL GRANITE CURB
		SLOPE GRANITE CURB
		CAPE COD BERM
		POURED CONCRETE CURB
		SILT FENCE
		DRAINAGE LINE
		SEWER LINE
		SEWER FORCE MAIN
		GAS LINE
		WATER LINE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		GUARDRAIL
		UNDERDRAIN
		FIRE PROTECTION LINE
		THRUST BLOCK
		IRON PIPE/IRON ROD
		DRILL HOLE
		IRON ROD/DRILL HOLE
		STONE/GRAVITE BOUND
		SPOT GRADE
		PAVEMENT SPOT GRADE
		CURB SPOT GRADE
		BENCHMARK (TBM)
		DOUBLE POST SIGN
		SINGLE POST SIGN
		WELL
		TEST PIT
		FAILED TEST PIT
		MONITORING WELL
		PERC TEST
		PHOTO LOCATION
		TREES AND BUSHES
		UTILITY POLE
		LIGHT POLES
		DRAIN MANHOLE
		SEWER MANHOLE
		HYDRANT
		WATER GATE
		WATER SHUT OFF
		REDUCER
		SINGLE GRATE CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		TRANSFORMER
		CULVERT W/WINGWALLS
		CULVERT W/FLARED END SECTION
		CULVERT W/STRAIGHT HEADWALL
		STONE CHECK DAM
		DRAINAGE FLOW DIRECTION
		4K SEPTIC AREA
		WETLAND IMPACT
		VEGETATED FILTER STRIP
		RIPRAP
		OPEN WATER
		FRESHWATER WETLANDS
		TIDAL WETLANDS
		STABILIZED CONSTRUCTION ENTRANCE
		CONCRETE
		GRAVEL
		SNOW STORAGE
		RETAINING WALL

**ADDITIONAL ABUTTERS:**

TAX MAP 59, LOT 1 NEWPORT ROAD DENTAL OFFICES, LLC PO BOX 265 NEW LONDON, NH 03257 BK 3053/ PG 167	TAX MAP 72, LOT 7 LOUIS BOTTA WILLIAM HICKEY 433 COUNTY RD NEW LONDON, NH 03257 BK 3410/PG 233	TAX MAP 72, LOT 40 35 NEWPORT RD LLC 35 NEWPORT RD NEW LONDON, NH 03257 BK 3094/ PG 1626	TAX MAP 73, LOT 24 DONNA SPARKS CYNTHIA SPARKS 127 EVERETT PARK NEW LONDON, NH 03257 BK 3582, PG 1490
TAX MAP 59, LOT 2 WILLIAM & DOROTHY GRIFFITHS 28 EVERETT PARK NEW LONDON, NH 03257 BK 3548/ PG 1590	TAX MAP 72, LOT 8 DAVOR & DINKA NOVAK 419 COUNTY RD NEW LONDON, NH 03257 BK 1994/PG 185	TAX MAP 72, LOT 41 TAX MAP 73, LOT 16 TAX MAP 73, LOT 17 HARRY SNOW III PO BOX 1372 NEW LONDON, NH 03257	TAX MAP 73, LOT 25 NEW LONDON BARN PLAYHOUSE INC PO BOX 9 NEW LONDON, NH 03257 BK 3204/PG 551
TAX MAP 59, LOT 8 MOUNTAIN VIEW SHOPPING CENTER LLC C/O CROSSPOINT ASSOCIATES 300 THIRD AVE, STE 2 WALTHAM, MA 02451 BK 3280/ PG 1141	TAX MAP 72, LOT 9 KOZIKOWSKI FAMILY TRUST ROBERT & KATHLEEN KOZIKOWSKI 461 COUNTY RD NEW LONDON, NH 03257	TAX MAP 72, LOT 42 DONNA & ROBERT YOUNG 25 EVERETT PARK NEW LONDON, NH 03257	TAX MAP 73, LOTS 26, 27, & 28 DONALD & SUSAN COX 165 EVERETT PARK NEW LONDON, NH 03257 BK 3566/PG 1434
TAX MAP 59, LOT 14 DORTHEA BEWLEY REVOCABLE TRUST THOMAS MARSH & DORNA BEWLEY TRUSTEES 6 BICENTENNIAL SQUARE CONCORD, NH 03301 BK 3277/ PG 1927	TAX MAP 72, LOT 11 CYNTHIA BRADY 392 COUNTY RD NEW LONDON, NH 03257 BK 3511/PG 2726	TAX MAP 72, LOT 43 GINTER FAMILY REVOCABLE TRUST THOMAS & DIANA GINTER CO-TRUSTEES PO BOX 1877 NEW LONDON, NH 03257 BK 3031/ PG 499	TAX MAP 73, LOT 42 SPARKS LIVING TRUST DONALD & MARY SPARKS TRUSTEES PO BOX 132 NEW LONDON, NH 03257
TAX MAP 59, LOT 15 INFORMATION UNAVAILABLE ONLINE	TAX MAP 72, LOT 12 WALTER & REBECCA PARTRIDGE JR PO BOX 1353 NEW LONDON, NH 03257 BK 1987/PG 777	TAX MAP 72, LOT 44 RAYMOND HEATH & JUDITH FRANCIS COTTRELL PO BOX 524 NEW LONDON, NH 03257 BK 2717/PG 430	TAX MAP 73, LOT 43 MARCIA GOULART 12 WILLIAMS DR NEW LONDON, NH 03257 BK 3169/PG 546
TAX MAP 59, LOT 16 PUBLIC SERVICE OF NH PO BOX 270 HARTFORD, CT 06141-0270	TAX MAP 72, LOT 13 GRAIG MCINTOSH 135 MARBLE CANYON DR FOLSOM, CA 95630 BK 3549/PG 973	TAX MAP 72, LOT 45 KARL & ELIZABETH PANKOW LIVING TRUST 113 SQUIRES LANE NEW LONDON, NH 03257 BK 3463/ PG 1133	TAX MAP 73, LOT 44 CONSTANCE MARRION TRUST CONSTANCE MARRION TRUSTEE 62 MAIN ST NEW LONDON, NH 03257 BK 3339/PG 350
TAX MAP 59, LOT 17 LEDYARD NATIONAL BANK 38 MAIN ST HANOVER, NH 03755 BK 2162/PG 1280	TAX MAP 72, LOT 20 HAROLD WHEELER TRUST JAMES P WHEELER TRUSTEE 177 MYRTLE ST NEW LONDON, NH 03257	TAX MAP 73, LOT 6 JONATHAN & SERENA BOEDDIKER 177 MYRTLE ST CLAREMONT, NH 03743 BK 3566/PG 1158	TAX MAP 73, LOT 45 BENJAMIN BARTON PO BOX 154 NEW LONDON, NH 03257 BK 3432/PG 1374
TAX MAP 59, LOT 18 DORTHEA G BEWLEY REVOCABLE TRUST JON LANG & DORTHEA BEWLEY CO-TRUSTEES 1 ELECTRIC AVE PENACOOK, NH 03303 BK 3568/PG 2612	TAX MAP 72, LOT 22 TAX MAP 72, LOT 23 CAROLYN FRALEY 172 PARKSIDE RD NEW LONDON, NH 03257 BK 2239/PG 1557	TAX MAP 73, LOT 7 JEFFREY & PATRICIA NORTH 119 PARKSIDE RD NEW LONDON, NH 03257 BK 3442/ PG 316	TAX MAP 73, LOTS 46 & 47 FRANK ANZALONE ET AL 79 DEACON HILL RD NEW LONDON, NH 03257 BK 3534/PG 2171
TAX MAP 59, LOT 24 WHITEBIRD INC 143 COUNTY RD NEW LONDON, NH 03257 BK 2386/PG 359	TAX MAP 72, LOT 24 TAX MAP 73, LOT 14 EUNICE & EDWARD ORDMAN 4045 GRAHAM OAKS CIRCLE MEMPHIS, TN 38122	TAX MAP 73, LOT 8 P&K VEDOVA MELLER FAMILY TRUST 123 PARKSIDE RD NEW LONDON, NH 03257 BK 3379/PG 1802	TAX MAP 73, LOT 48 DONNA RICHARDS PO BOX 1354 NEW LONDON, NH 03257 BK 3034/PG 1451
TAX MAP 59, LOT 25 TOMIE DEPAOLA REVOCABLE TRUST TOMIE DEPAOLA TRUSTEE 143 COUNTY RD NEW LONDON, NH 03257 BK 3049/PG 519	TAX MAP 72, LOT 25 CATHERINE TURCOTTE PO BOX 511 NEW LONDON, NH 03257 BK 3331/PG 1535	TAX MAP 73, LOT 9 JON & MARGARET NELSON PO BOX 882 NEW LONDON, NH 03257 BK 3374/ PG 254	TAX MAP 73, LOT 49 MOUNTAIN YARD ASSOCIATION INC 33 WINN HILL RD SUNAPEE, NH 03782
TAX MAP 59, LOTS 25-1 & 25-2 NEW LONDON HISTORICAL SOCIETY PO BOX 965 NEW LONDON, NH 03257	TAX MAP 72, LOT 26 MARGARET & STEPHEN THEROUX 69 PRESSEY CT NEW LONDON, NH 03257 BK 3568/PG 267	TAX MAP 73, LOT 11 PETER & KAREN HOGLUND 459 KNIGHTS HILL RD NEW LONDON, NH 03257 BK 3067/PG 1030	TAX MAP 73, LOT 50 BARBILL PROPERTIES INC 19 NEWPORT RD NEW LONDON, NH 03257
TAX MAP 59, LOT 26 TOM REAL ESTATE LLC 227 MECHANIC ST LEBANON, NH 03766 BK 2407/PG 910	TAX MAP 72, LOT 27 COBLEIGH TRUST JOHN AKIN TRUSTEE 115 LAMP POST LOOP AIKEN, SC 29803 BK 3113/PG 1722	TAX MAP 73, LOT 11-1 EDWARD BLANCHARD NANCY PUTNAM 154 EVERETT PARK NEW LONDON, NH 03257 BK 3028/ PG 855	TAX MAP 83, LOT 10 NEW LONDON OUTING CLUB PO BOX 1856 NEW LONDON, NH 03257
TAX MAP 59, LOT 27 SUGAR RIVER BANK 10 NORTH MAIN ST NEWPORT, NH 03773 BK 2407/PG 907	TAX MAP 72, LOT 28 PATRICIA ETENBOROUGH PO BOX 1095 NEW LONDON, NH 03257 BK 3281/PG 544	TAX MAP 73, LOT 12 WENDY PARKER TRUST WENDY PARKER TRUSTEE 144 EVERETT PARK NEW LONDON, NH 03257 BK 3567/PG 2065	TAX MAP 83, LOT 9 TOWN OF NEW LONDON 375 MAIN ST NEW LONDON, NH 03257 BK 1117/PG 13
TAX MAP 59, LOT 28 BROOM PROPERTIES LLC 176 NEWPORT RD #4 NEW LONDON, NH 03257 BK 2713/PG 257	TAX MAP 72, LOT 29 CHARLES & MARION HAFNER TRUST CHARLES & MARION HAFNER TRUSTEES PO BOX 144 NEW LONDON, NH 03257 BK 3060/PG 1446	TAX MAP 73, LOT 13 EUNICE & EDWARD ORDMAN 4045 GRAHAM OAKS CIRCLE MEMPHIS, TN 38122	TAX MAP 144, LOT 1 HILLTOP PLACE MASTER CARD 1-147 HILLTOP PLACE NEW LONDON, NH 03257
TAX MAP 59, LOT 29 LAKE SUNAPEE BANK PO BOX 29 NEWPORT, NH 03773	TAX MAP 72, LOT 30 BARBARA WEBER 25 HOMAN LANE NEW LONDON, NH 03257 BK 2000/PG 1202	TAX MAP 73, LOT 15 NANCY & FRANK DUROCHER 108 EVERETT PARK NEW LONDON, NH 03257	
TAX MAP 59, LOT 30 SPLIT RAIL PROPERTIES LLC 247 NEWPORT RD NEW LONDON, NH 03257 BK 3539/PG 2344	TAX MAP 72, LOT 33 FRANCIS & DENISE OLSON 44 HOMAN LANE NEW LONDON, NH 03257 BK 3216/PG 1369	TAX MAP 73, LOT 18 ELIZABETH PARRISH 7 PRESCOTT LANE NEW LONDON, NH 03257 BK 3257/PG 624	
TAX MAP 59, LOT 32 THOMAS & VICKY MILLS TRUSTS 96 BURPEE HILL RD NEW LONDON, NH 03257 BK 3058/PG 1982	TAX MAP 72, LOT 35 VIRGINIA ANTHONY SOULE TRUST ALAN COOPER TRUSTEE PO BOX 342 SUNAPEE, NH 03782	TAX MAP 73, LOT 19 WEST REVOCABLE TRUST ALAN & PRISCILLA WEST TRUSTEES 17 PRESCOTT LANE NEW LONDON, NH 03257 BK 2005/PG 805	
TAX MAP 59, LOT 33 TWELVE NEWPORT RD LLC PO BOX 719 SUNAPEE, NH 03782	TAX MAP 72, LOT 36 WILLIAM & DOROTHY GRIFFITHS IRREVOCABLE TRUST WILLIAM GRIFFITHS TRUSTEE 28 EVERETT PARK NEW LONDON, NH 03257 BK 3575/PG 2969	TAX MAP 73, LOT 20 FREDERICK & KAREN MANSFIELD 33 PRESCOTT LANE NEW LONDON, NH 03257 BK 3258/PG 1549	
TAX MAP 59, LOT 34 LDS CHURCH TAX ADMINISTRATIVE FILE #538-6691 50 E. NORTH TEMPLE, ROOM 2225 SALT LAKE CITY, UT 84150-0022	TAX MAP 72, LOT 37 SCYTHEVILLE ROW ASSOCIATION LLC PO BOX 177 NEW LONDON, NH 03257	TAX MAP 73, LOT 21 FREDERICK STECKER IV ANN PAGE PO BOX 293 NEW LONDON, NH 03257	
TAX MAP 60, LOT 2 ERNEST COLLIER 34 NEWPORT RD NEW LONDON, NH 03257 BK 2667/PG 468	TAX MAP 72, LOT 38 JEFFREY & MELISSA OWEN PO BOX 84 GEORGE MILLS, NH 03751 BK 3354/PG 689	TAX MAP 73, LOT 22 PEPPER POT PLACE LLC 52 SIMON WILLARD RD CONCORD, MA 01742 BK 3567/PG 45	
TAX MAP 72, LOT 1 GREGORY & SHARON NIZICH 201 APRIL BLOOM LANE CARY, NC 27519 BK 3294/PG 460	TAX MAP 72, LOT 39 LAKE SUNAPEE REGION VISITING NURSE ASSOC. PO BOX 2209 NEW LONDON, NH 03257 BK 2661/PG 1285	TAX MAP 73, LOT 23 DAVID & MARION ROMANOFF LIVING TRUST DAVID & MARION ROMANOFF LIVING TRUSTEES PO BOX 38 NEW LONDON, NH 03257 BK 2978/PG 455	

**EXISTING CONDITIONS NOTES:**

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
- VERTICAL DATUM: ASSUMED PER CAD FILE FROM OTHERS. HORIZONTAL DATUM: NH STATE PLAN NAD86 2800.
- BASE ELEVATION WAS ESTABLISHED THROUGH STATIC GPS RUN ON 6/5/18.
- SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD AREA DESIGNATION (ZONE X) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), AS SHOWN ON FLOOD INSURANCE RATE MAP NOS. 33013C0095E AND 33013C0115E, BOTH WITH EFFECTIVE DATE OF APRIL 19, 2010.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY LUKE HURLEY, GOVE ENVIRONMENTAL DURING FALL, 2017, USING (EQUIPMENT) AND IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
  - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
  - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
  - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
  - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- HIGH INTENSITY SOIL MAPPING WAS PERFORMED BY LUKE HURLEY, GOVE ENVIRONMENTAL DURING SPRING, 2010, TO THE STANDARDS OF HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE: STANDARDS (2002: SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND).
- SITE-SPECIFIC SOIL MAPPING WAS PERFORMED BY GOVE ENVIRONMENTAL SERVICES, INC. DURING SPRING, 2010, AND IS BASED ON THE STANDARDS OF SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT, VERSION 2.0 (1999: SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND). THE MAP IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT INTENDED FOR THE USE(S) REQUIRING THE SITE SPECIFIC SOIL SURVEY AND IS PRODUCED BY A CERTIFIED SOIL SCIENTIST. IT IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. A NARRATIVE REPORT IS A COMPONENT OF THE MAP.
- A TEMPORARY CULVERT AND ROADBED SHALL BE IN PLACE PRIOR TO ANY USE OF A WETLAND CROSSING.
- WETLAND IMPACTS SHALL NOT OCCUR UNTIL ALL PERMITS HAVE BEEN ACQUIRED AND IMPACT MITIGATION REQUIREMENTS HAVE BEEN SATISFIED.
- TEST PITS PERFORMED BY WAYNE MORRILL, JONES & BEACH ENGINEERS, INC.
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.

**PROJECT PARCEL**  
TOWN OF NEW LONDON  
TAX MAP 72, LOT 17

**OWNER**  
NEW LONDON HOSPITAL  
ASSOCIATION  
273 COUNTY ROAD  
NEW LONDON, NH 03257

**TOTAL LOT AREA**  
1,890,228 SQ. FT.  
43.39 ACRES

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Design: BWG	Draft: ISM	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-EX-CONDITIONS.DWG		
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REV.	DATE	REVISION	BY
1	9/10/18	ISSUED FOR AOT REVIEW	EMP
0	7/3/18	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

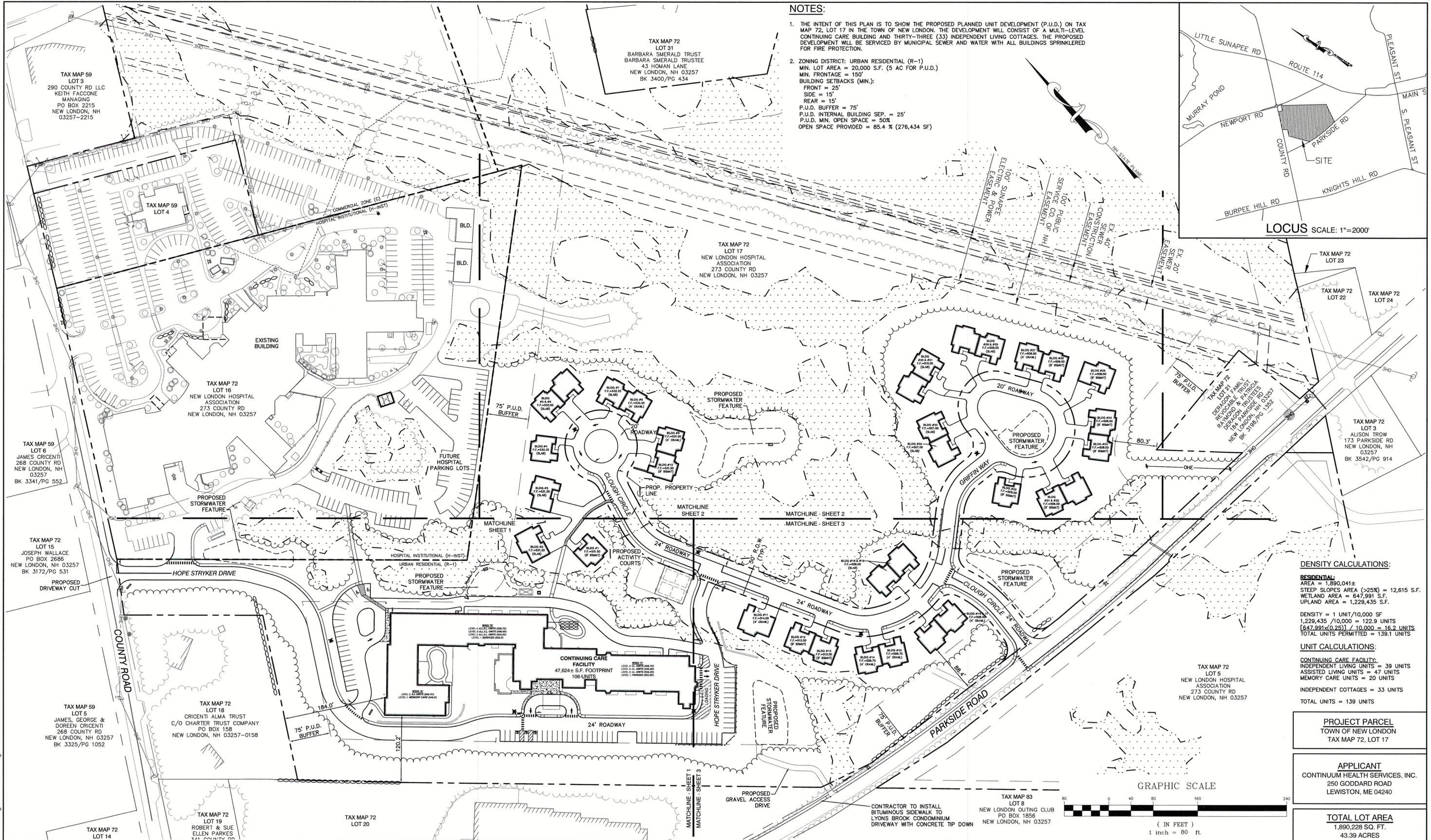
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746  
603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

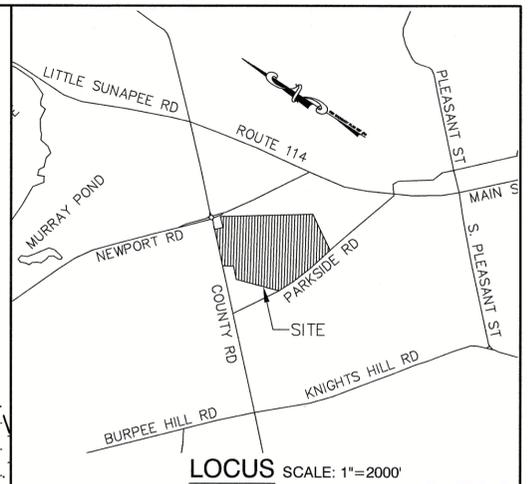
Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	"NEW LONDON PLACE" COUNTY RD & PARKSIDE RD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY RD, NEW LONDON, NH 03257

DRAWING No.	<b>C1-2</b>
SHEET 6 OF 49	JBE PROJECT NO. 17190



**NOTES:**

1. THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED PLANNED UNIT DEVELOPMENT (P.U.D.) ON TAX MAP 72, LOT 17 IN THE TOWN OF NEW LONDON. THE DEVELOPMENT WILL CONSIST OF A MULTI-LEVEL CONTINUING CARE BUILDING AND THIRTY-THREE (33) INDEPENDENT LIVING COTTAGES. THE PROPOSED DEVELOPMENT WILL BE SERVICED BY MUNICIPAL SEWER AND WATER WITH ALL BUILDINGS SPRINKLERED FOR FIRE PROTECTION.
2. ZONING DISTRICT: URBAN RESIDENTIAL (R-1)  
 MIN. LOT AREA = 20,000 S.F. (5 AC FOR P.U.D.)  
 MIN. FRONTAGE = 150'  
 BUILDING SETBACKS (MIN.):  
 FRONT = 25'  
 SIDE = 15'  
 REAR = 15'  
 P.U.D. BUFFER = 75'  
 P.U.D. INTERNAL BUILDING SEP. = 25'  
 P.U.D. MIN. OPEN SPACE = 50%  
 OPEN SPACE PROVIDED = 85.4 % (276,434 SF)



**DENSITY CALCULATIONS:**

RESIDENTIAL:  
 AREA = 1,890,041±  
 STEEP SLOPES AREA (>25%) = 12,615 S.F.  
 WETLAND AREA = 847,991 S.F.  
 UPLAND AREA = 1,229,435 S.F.

DENSITY = 1 UNIT/10,000 SF  
 1,229,435 / 10,000 = 122.9 UNITS  
 (847,991 x 0.25) / 10,000 = 16.2 UNITS  
 TOTAL UNITS PERMITTED = 139.1 UNITS

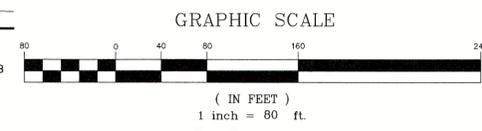
**UNIT CALCULATIONS:**

CONTINUING CARE FACILITY - 106 UNITS  
 INDEPENDENT LIVING UNITS = 39 UNITS  
 ASSISTED LIVING UNITS = 47 UNITS  
 MEMORY CARE UNITS = 20 UNITS  
 INDEPENDENT COTTAGES = 33 UNITS  
 TOTAL UNITS = 139 UNITS

**PROJECT PARCEL**  
 TOWN OF NEW LONDON  
 TAX MAP 72, LOT 17

**APPLICANT**  
 CONTINUUM HEALTH SERVICES, INC.  
 250 GODDARD ROAD  
 LEWISTON, ME 04240

**TOTAL LOT AREA**  
 1,890,228 SQ. FT.  
 43.39 ACRES



Design: BWG Draft: EMP Date: 7/3/18  
 Checked: WGM Scale: AS NOTED Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg

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0	7/3/2018	ISSUED FOR REVIEW	EMP

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**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERALL SITE PLAN**

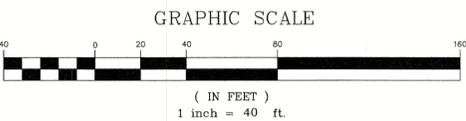
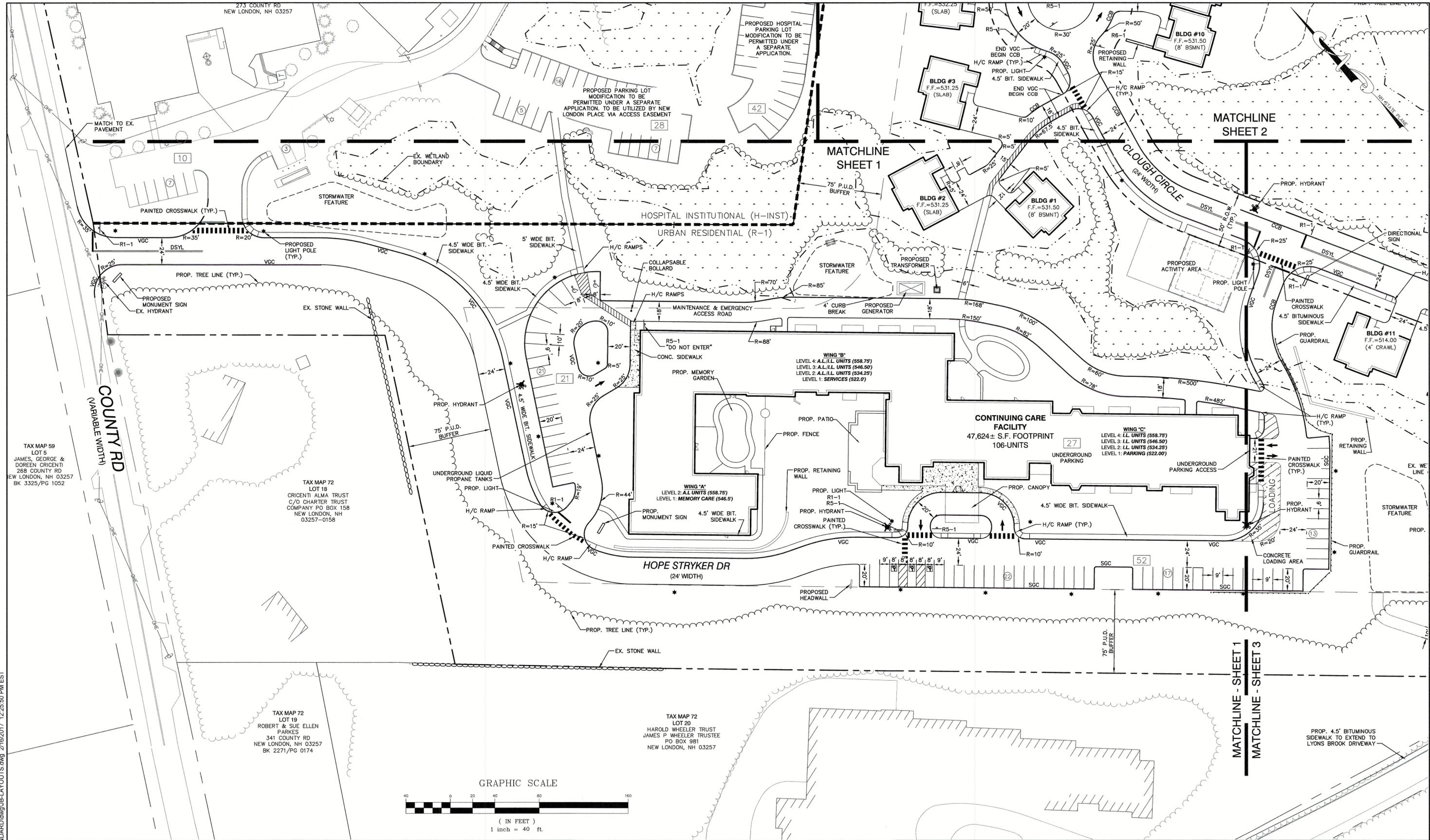
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **C2**

SHEET 7 OF 49  
 JBE PROJECT NO. 17190

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Drawing Name: 17190-PLAN.dwg		
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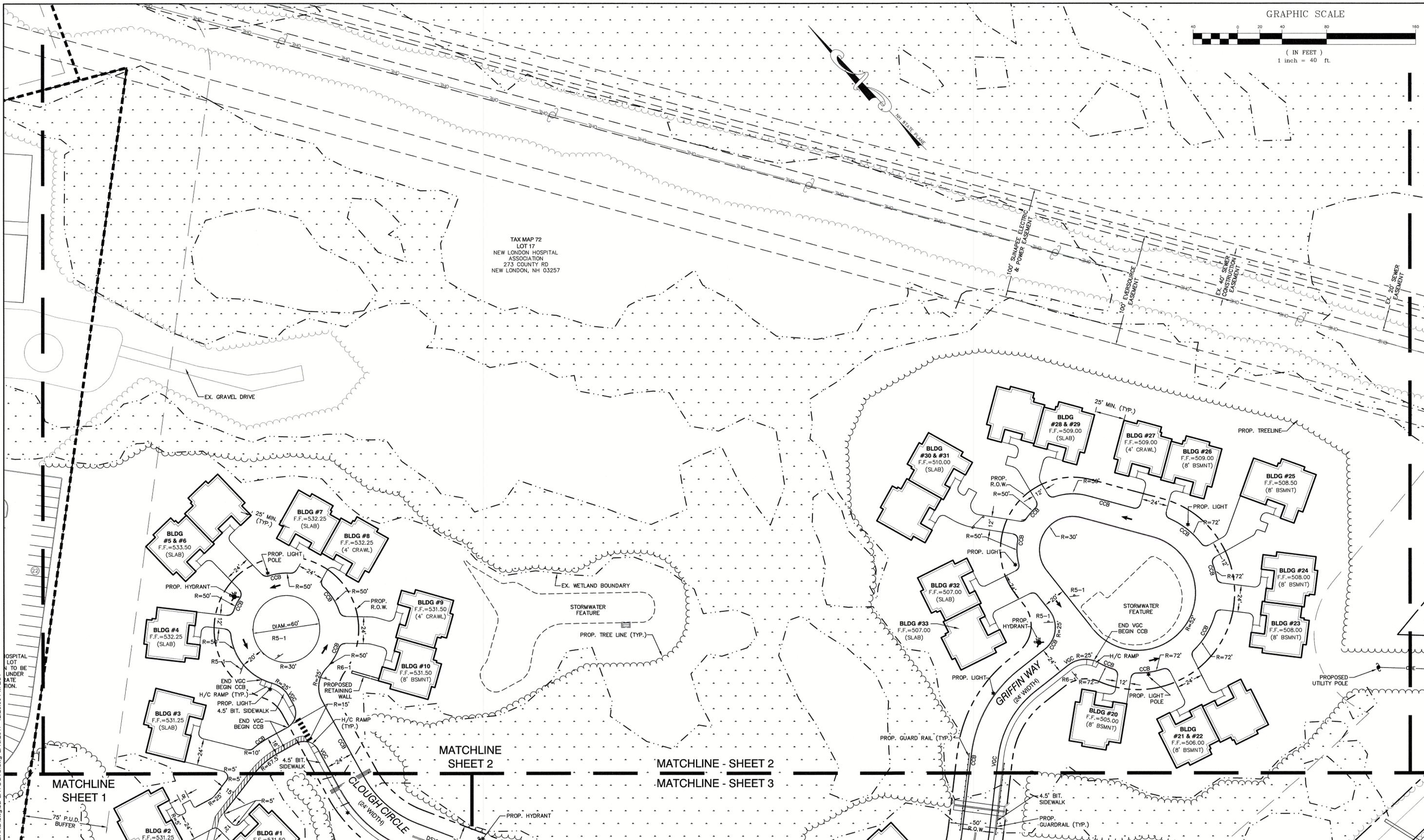
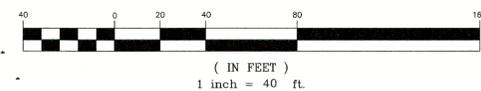
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SITE PLAN</b>
Project:	<b>"NEW LONDON PLACE" COUNTY ROAD &amp; PARKSIDE ROAD, NEW LONDON, NH</b>
Owner of Record:	<b>NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257</b>

DRAWING No.	<b>C2-1</b>
SHEET 8 OF 49	JBE PROJECT NO. 17190

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GRAPHIC SCALE



TAX MAP 72  
LOT 17  
NEW LONDON HOSPITAL  
ASSOCIATION  
273 COUNTY RD  
NEW LONDON, NH 03257

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Design: BWG Draft: EMP Date: 7/3/18  
Checked: WGM Scale: AS NOTED Project No.: 17190  
Drawing Name: 17190-PLAN.dwg  
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0	7/3/2018	ISSUED FOR REVIEW	EMP

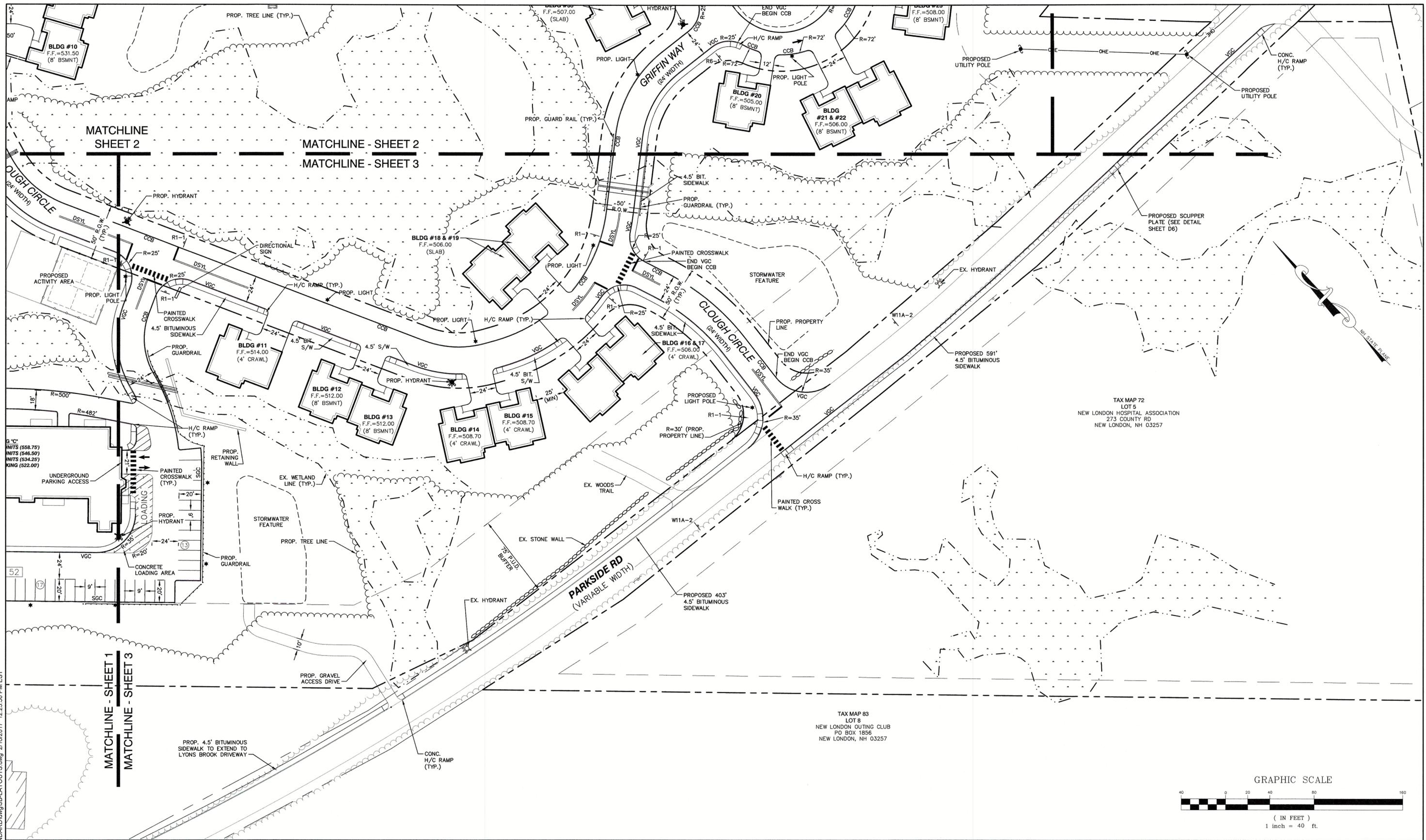
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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

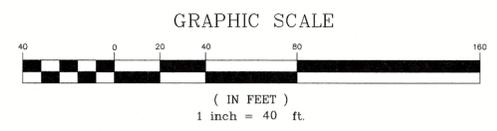
Plan Name: **SITE PLAN**  
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**  
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **C2-2**  
SHEET 9 OF 49  
JBE PROJECT NO. 17190



TAX MAP 72  
 LOT 5  
 NEW LONDON HOSPITAL ASSOCIATION  
 273 COUNTY RD  
 NEW LONDON, NH 03257

TAX MAP 83  
 LOT 8  
 NEW LONDON OUTING CLUB  
 PO BOX 1856  
 NEW LONDON, NH 03257



Design: BWG | Draft: EMP | Date: 7/3/18  
 Checked: WGM | Scale: AS NOTED | Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg

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0	7/3/2018	ISSUED FOR REVIEW	EMP

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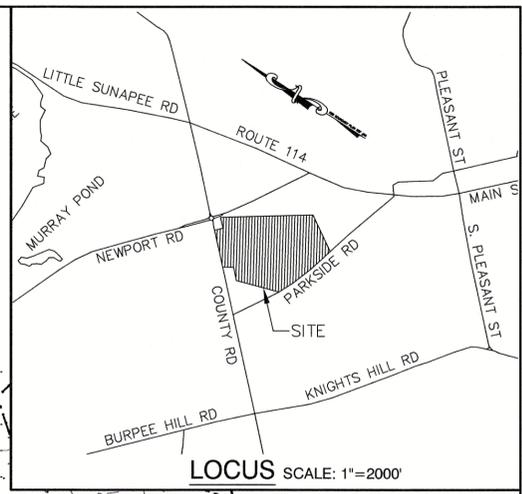
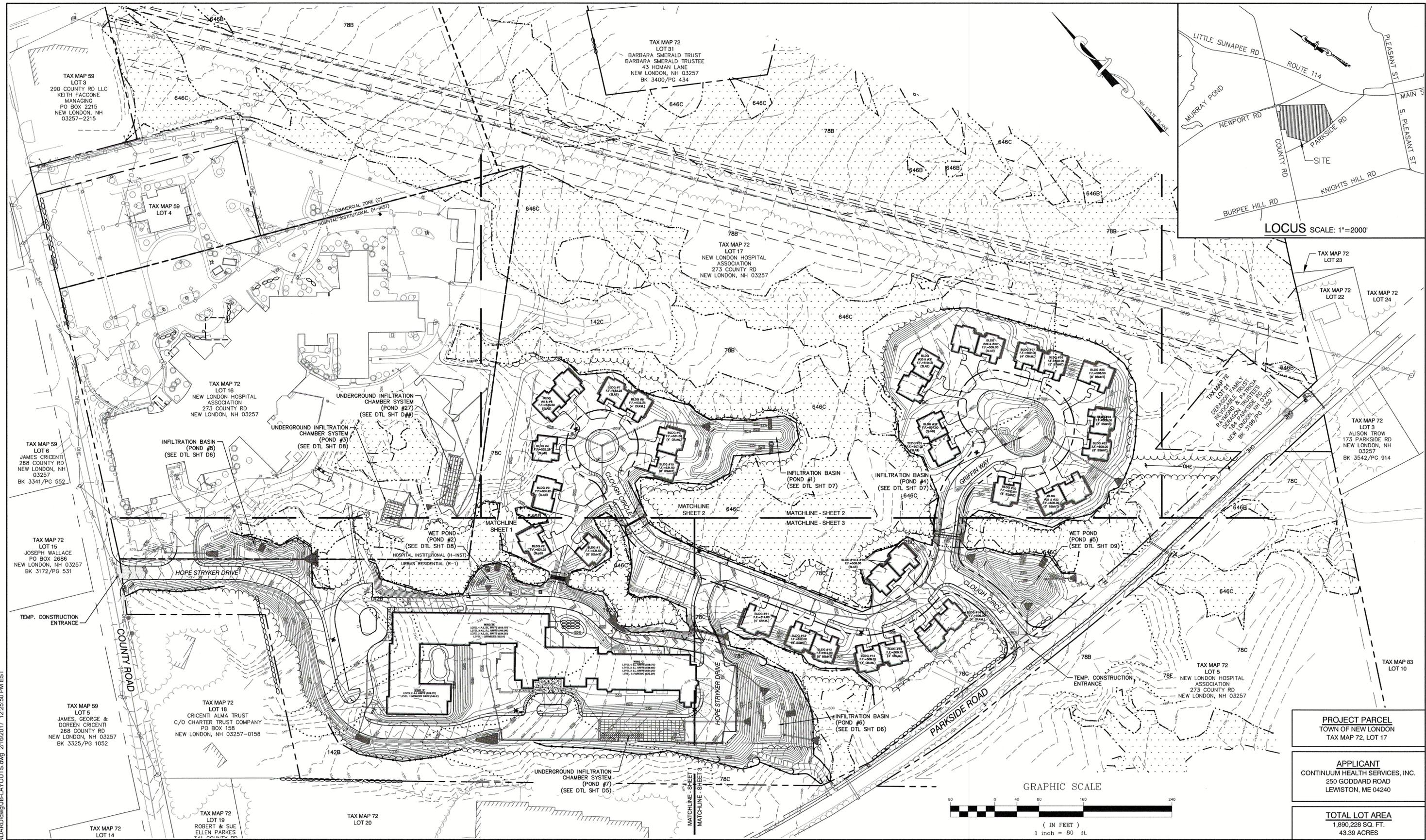
**J/B Jones & Beach Engineers, Inc.**  
 Civil Engineering Services

85 Portsmouth Ave. | PO Box 219 | Stratham, NH 03885  
 603-772-4746 | FAX: 603-772-0227 | E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SITE PLAN**  
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**  
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **C2-3**  
 SHEET 10 OF 49  
 JBE PROJECT NO. 17190

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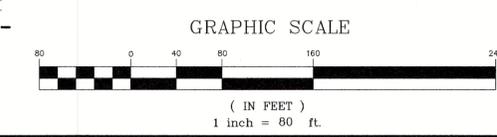


TAX MAP 72 LOT 23  
TAX MAP 72 LOT 24  
TAX MAP 72 LOT 25  
TAX MAP 72 LOT 26  
TAX MAP 72 LOT 27  
TAX MAP 72 LOT 28  
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TAX MAP 72 LOT 97  
TAX MAP 72 LOT 98  
TAX MAP 72 LOT 99  
TAX MAP 72 LOT 100

**PROJECT PARCEL**  
TOWN OF NEW LONDON  
TAX MAP 72, LOT 17

**APPLICANT**  
CONTINUUM HEALTH SERVICES, INC.  
250 GODDARD ROAD  
LEWISTON, ME 04240

**TOTAL LOT AREA**  
1,890,228 SQ. FT.  
43.39 ACRES



Design: BWG    Draft: EMP    Date: 7/3/18  
Checked: WGM    Scale: AS NOTED    Project No.: 17190  
Drawing Name: 17190-PLAN.dwg

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1	9/10/2018	ISSUED FOR AOT REVIEW	EMP
0	7/3/2018	ISSUED FOR REVIEW	EMP

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**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

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603-772-4746    FAX: 603-772-0227    E-MAIL: JBE@JONESANDBEACH.COM

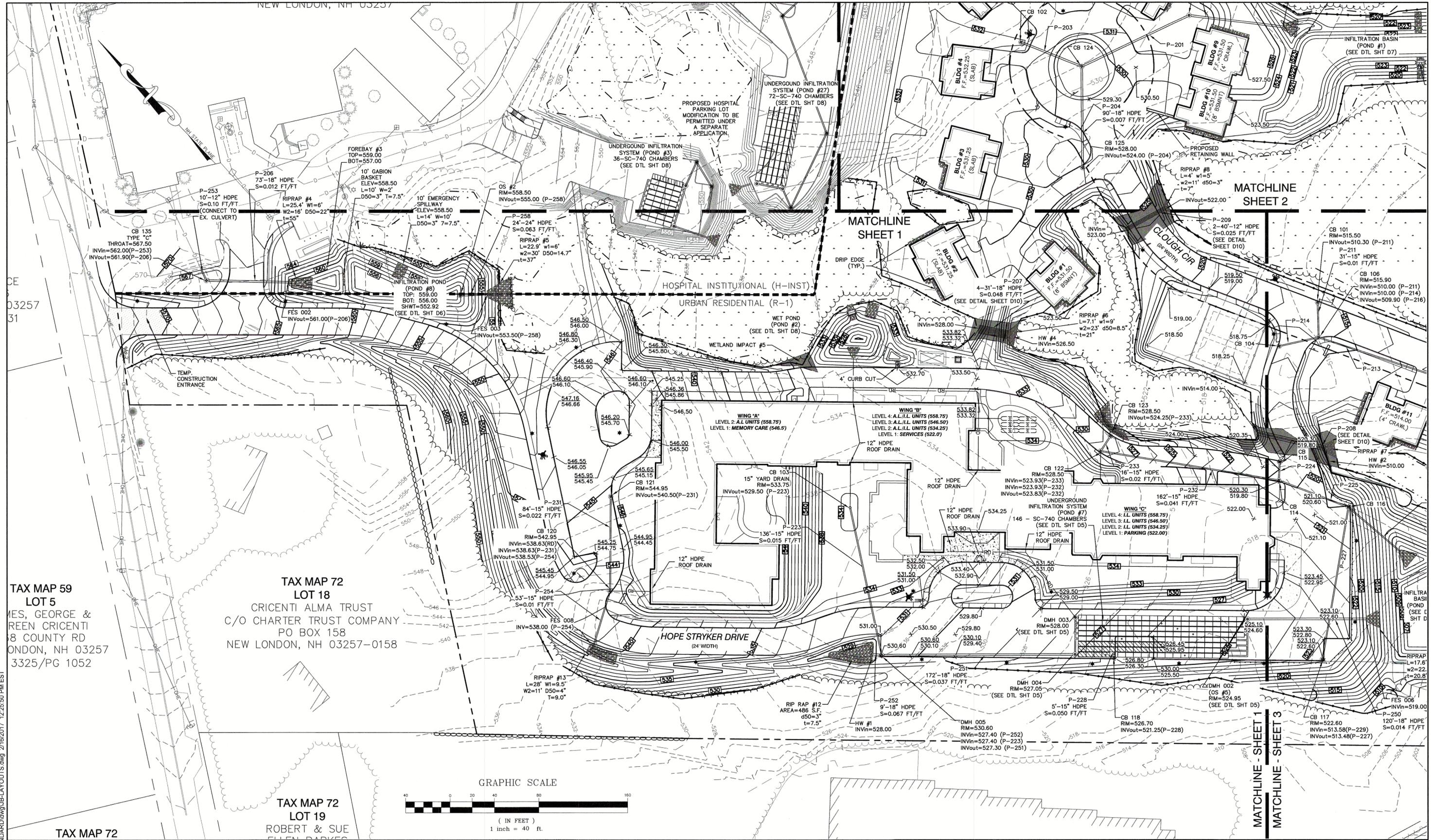
Plan Name: **OVERALL GRADING & DRAINAGE PLAN**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION  
273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No.  
**C3**  
SHEET 11 OF 49  
JBE PROJECT NO. 17190

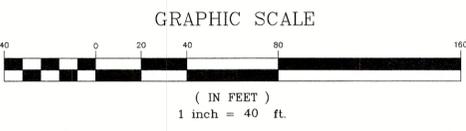
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TAX MAP 59  
 LOT 5  
 MES, GEORGE &  
 REEN CRICENTI  
 8 COUNTY RD  
 NEW LONDON, NH 03257  
 3325/PG 1052

TAX MAP 72  
 LOT 18  
 CRICENTI ALMA TRUST  
 C/O CHARTER TRUST COMPANY  
 PO BOX 158  
 NEW LONDON, NH 03257-0158

TAX MAP 72  
 LOT 19  
 ROBERT & SUE  
 FLENN PARKER



Design: BWG	Draft: EMP	Date: 7/3/18
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**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

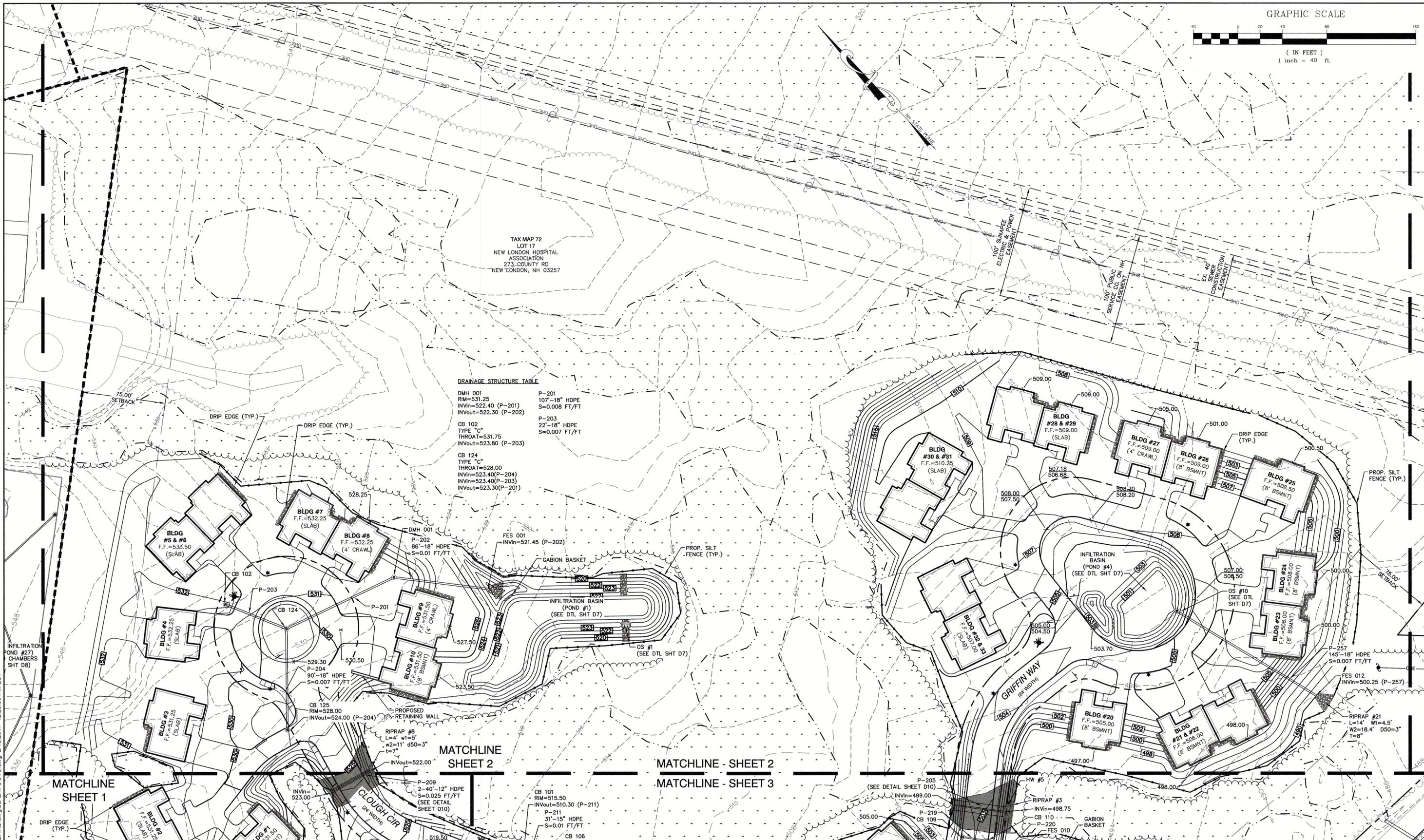
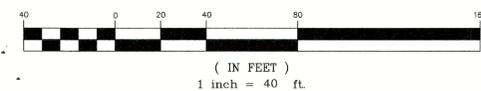
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GRADING & DRAINAGE PLAN
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	C3-1
SHEET 12 OF 49	JBE PROJECT NO. 17190

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**DRAINAGE STRUCTURE TABLE**

DMH 001 RIM=531.25 INVin=522.40 (P-201) INVout=522.30 (P-202)	P-201 107'-18" HDPE S=0.008 FT/FT
P-203 22'-18" HDPE S=0.007 FT/FT	
CB 102 TYPE "C" THROAT=531.75 INVout=523.80 (P-203)	
CB 124 TYPE "C" THROAT=528.00 INVin=523.40(P-204) INVin=523.40(P-203) INVout=523.30(P-201)	

Design: BWG    Draft: EMP    Date: 7/3/18  
 Checked: WGM    Scale: AS NOTED    Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg

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*Civil Engineering Services*

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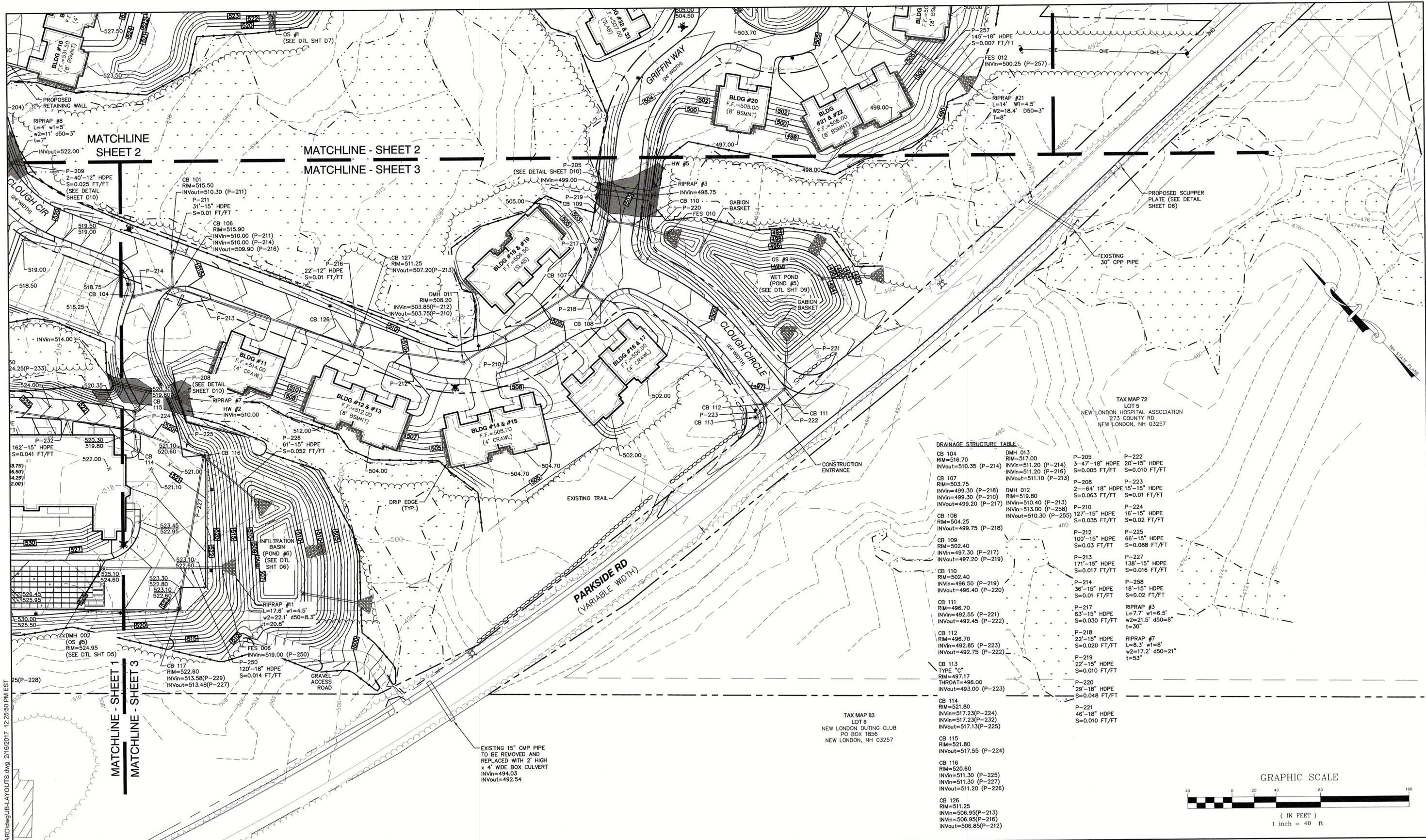
Plan Name: **GRADING & DRAINAGE PLAN**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION  
 273 COUNTY ROAD, NEW LONDON, NH 03257**

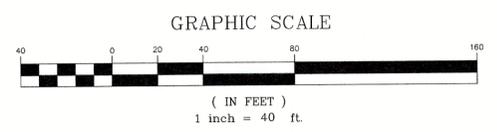
DRAWING No. **C3-2**

SHEET 13 OF 49  
 JBE PROJECT NO. 17190



**DRAINAGE STRUCTURE TABLE**

CB 104 RIM=516.70 INVin=510.35 (P-214) INVout=510.35 (P-214)	DMH 013 RIM=517.00 INVin=511.20 (P-214) INVout=511.10 (P-213)	P-205 3'-47"-18" HDPE S=0.005 FT/FT	P-222 20'-15" HDPE S=0.010 FT/FT
CB 107 RIM=503.75 INVin=499.30 (P-218) INVout=499.20 (P-217)	DMH 012 RIM=519.80 INVin=510.40 (P-213) INVout=513.00 (P-258)	P-208 2'-84" 18" HDPE S=0.063 FT/FT	P-223 15'-15" HDPE S=0.01 FT/FT
CB 108 RIM=504.25 INVin=499.75 (P-218)	DMH 010 RIM=519.80 INVin=510.40 (P-213) INVout=510.30 (P-255)	P-210 127'-15" HDPE S=0.035 FT/FT	P-224 16'-15" HDPE S=0.02 FT/FT
CB 109 RIM=502.40 INVin=497.30 (P-217) INVout=497.20 (P-219)	P-212 100'-15" HDPE S=0.03 FT/FT	P-225 66'-15" HDPE S=0.088 FT/FT	
CB 110 RIM=502.40 INVin=496.50 (P-219) INVout=496.40 (P-220)	P-213 171'-15" HDPE S=0.017 FT/FT	P-227 138'-15" HDPE S=0.016 FT/FT	
CB 111 RIM=496.70 INVin=492.55 (P-221) INVout=492.45 (P-222)	P-214 36'-15" HDPE S=0.01 FT/FT	P-258 18'-15" HDPE S=0.02 FT/FT	
CB 112 RIM=496.70 INVin=492.85 (P-223) INVout=492.75 (P-222)	P-217 63'-15" HDPE S=0.030 FT/FT	RIPRAP #3 L=7.7' w1=6.5' w2=21.5' d50=8" t=30"	
CB 113 TYPE "C" RIM=497.17 THROAT=496.00 INVout=493.00 (P-223)	P-218 22'-15" HDPE S=0.020 FT/FT	RIPRAP #7 L=8.3' w1=8" w2=17.2' d50=21" t=53"	
CB 114 RIM=521.80 INVin=517.23(P-224) INVin=517.23(P-232) INVout=517.13(P-225)	P-219 22'-15" HDPE S=0.010 FT/FT		
CB 115 RIM=521.80 INVout=517.55 (P-224)	P-220 29'-18" HDPE S=0.048 FT/FT		
CB 116 RIM=520.60 INVin=511.30 (P-225) INVin=511.30 (P-227) INVout=511.20 (P-226)	P-221 46'-18" HDPE S=0.010 FT/FT		
CB 126 RIM=511.25 INVin=506.95(P-213) INVin=506.95(P-216) INVout=506.85(P-212)			



Design: BWG Draft: EMP Date: 7/3/18  
 Checked: WGM Scale: AS NOTED Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg  
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0	7/3/2018	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746  
 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING & DRAINAGE PLAN**

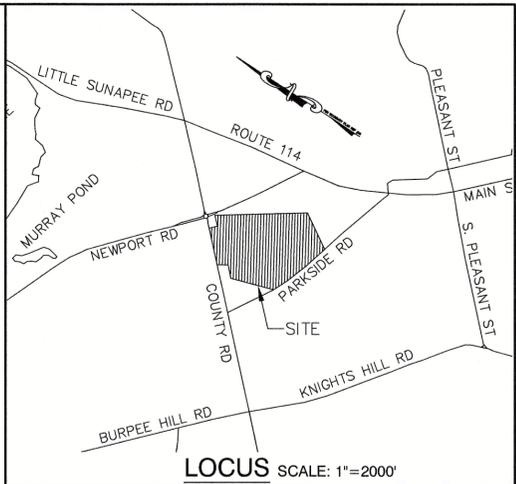
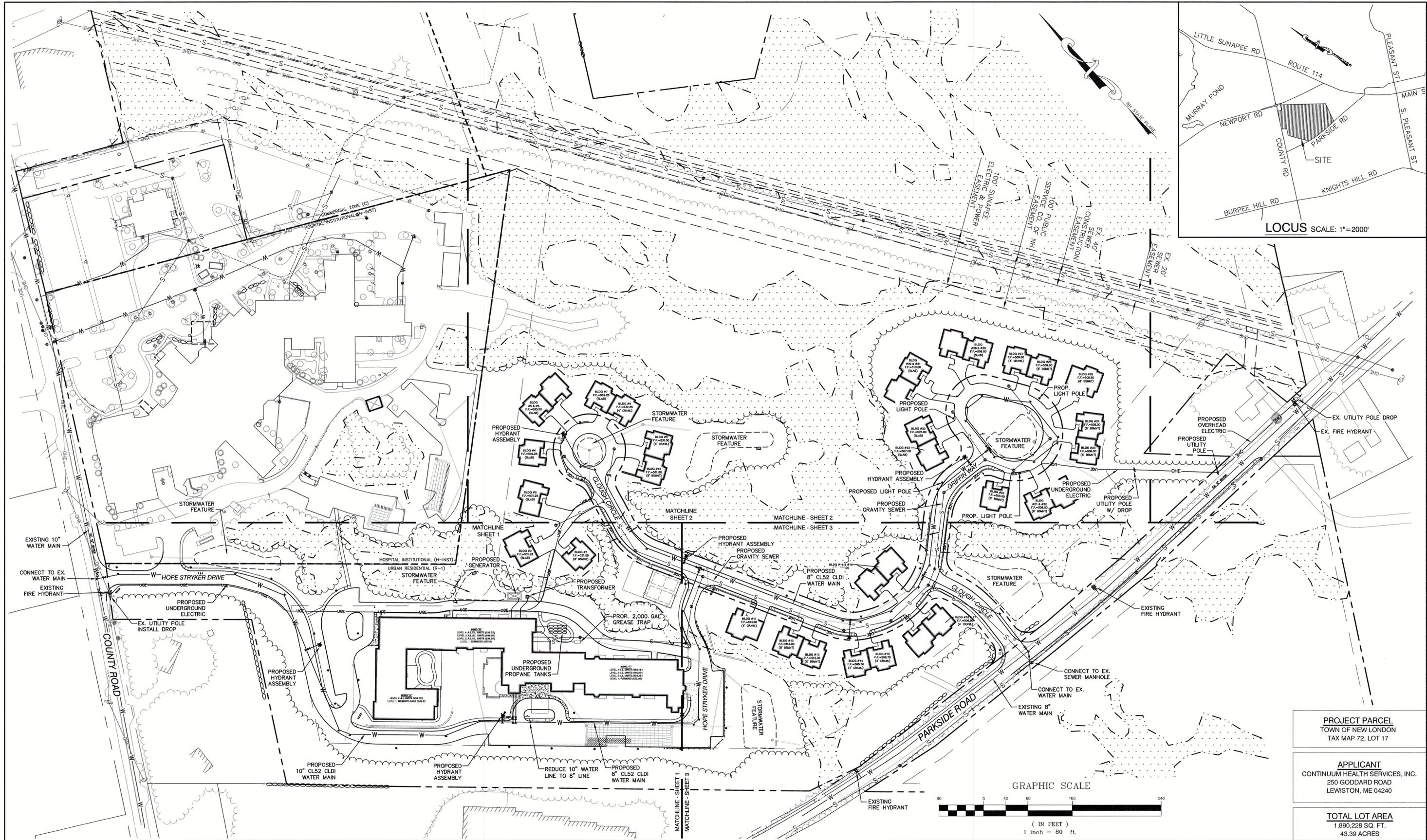
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **C3-3**

SHEET 14 OF 49  
 JBE PROJECT NO. 17190

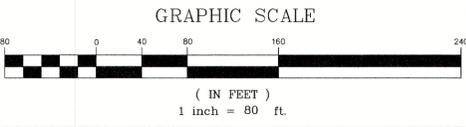
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**PROJECT PARCEL**  
TOWN OF NEW LONDON  
TAX MAP 72, LOT 17

**APPLICANT**  
CONTINUUM HEALTH SERVICES, INC.  
250 GODDARD ROAD  
LEWISTON, ME 04240

**TOTAL LOT AREA**  
1,890,228 SQ. FT.  
43.39 ACRES



Design: BWG Draft: EMP Date: 7/3/18  
Checked: WGM Scale: AS NOTED Project No.: 17190  
Drawing Name: 17190-PLAN.dwg

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Designed and Produced in NH

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Civil Engineering Services

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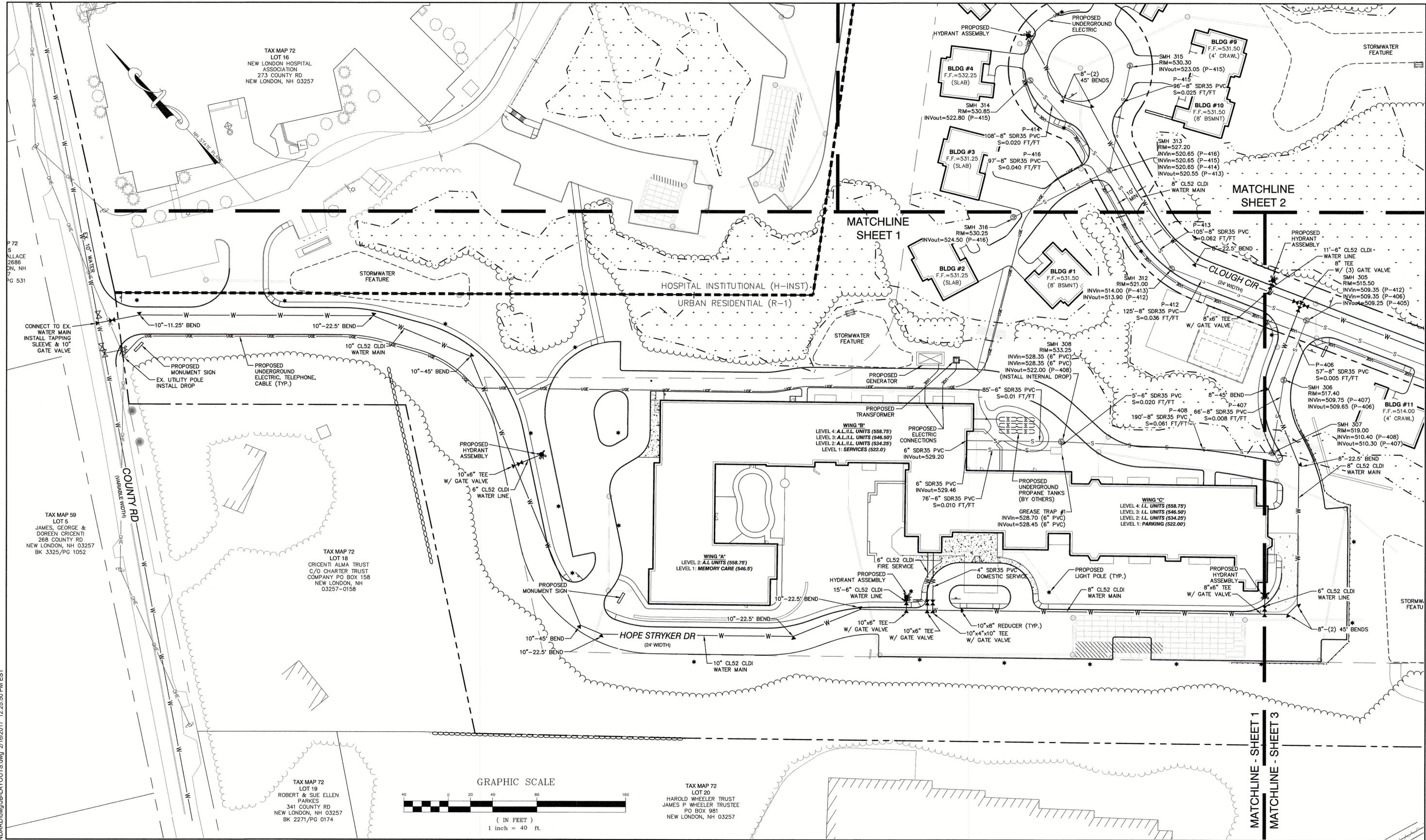
Plan Name: **OVERALL UTILITY PLAN**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **C4**

SHEET 15 OF 49  
JBE PROJECT NO. 17190



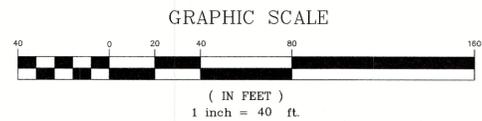
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Design: BWG    Draft: EMP    Date: 7/3/18  
 Checked: WGM    Scale: AS NOTED    Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg

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0	7/3/2018	ISSUED FOR REVIEW	EMP



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**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*

85 Portsmouth Ave.    PO Box 219    Stratham, NH 03885  
 603-772-4746    FAX: 603-772-0227    E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**  
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**  
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **C4-1**  
 SHEET 16 OF 49  
 JBE PROJECT NO. 17190

TAX MAP 59  
 LOT 5  
 JAMES, GEORGE & DOREEN CRICENTI  
 268 COUNTY RD  
 NEW LONDON, NH 03257  
 BK 3325/PG 1052

COUNTY RD  
 (VARIABLE WIDTH)

TAX MAP 72  
 LOT 16  
 NEW LONDON HOSPITAL ASSOCIATION  
 273 COUNTY RD  
 NEW LONDON, NH 03257

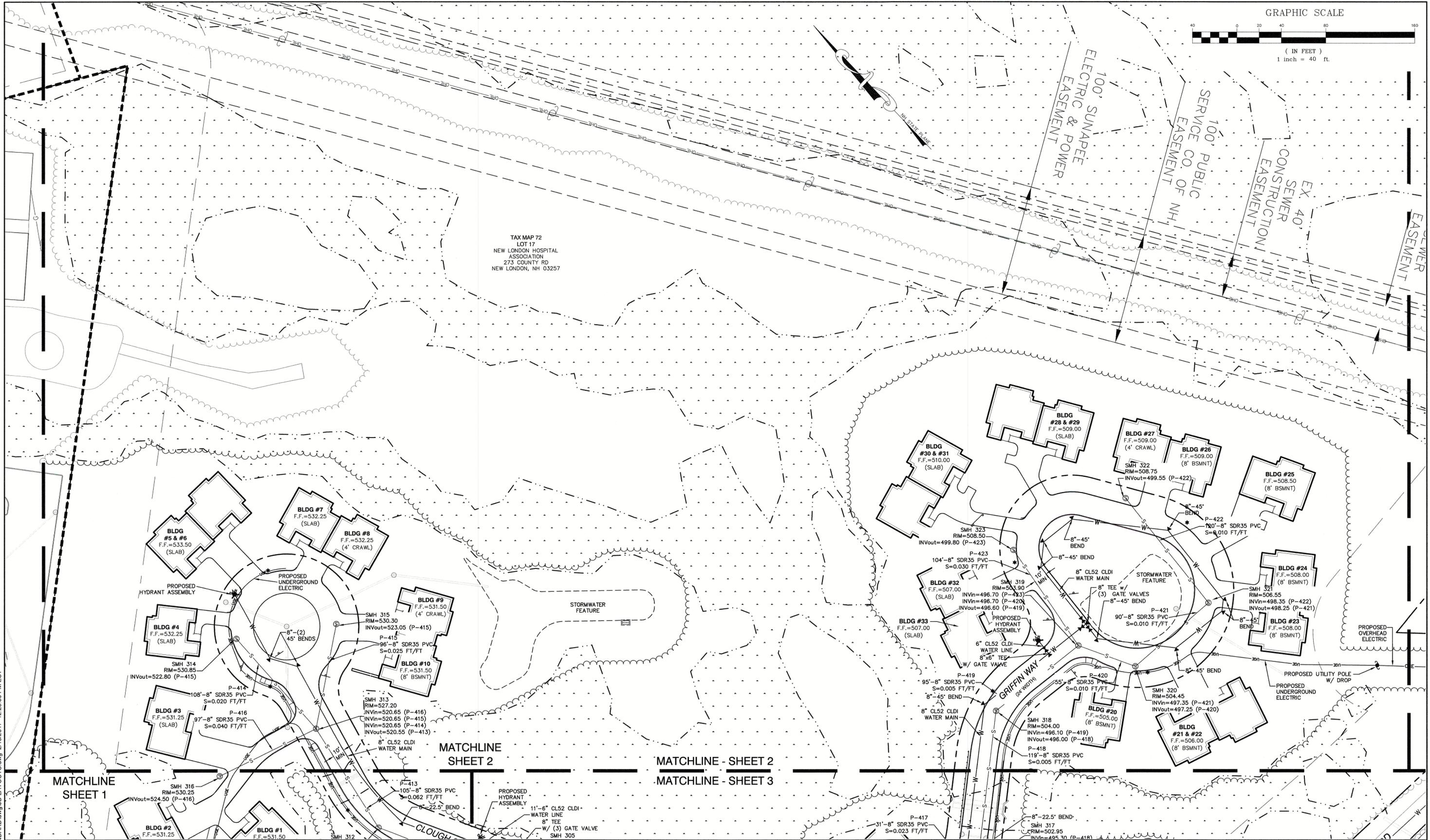
TAX MAP 72  
 LOT 18  
 CRICENTI ALMA TRUST  
 C/O CHARTER TRUST COMPANY PO BOX 158  
 NEW LONDON, NH 03257-0158

TAX MAP 72  
 LOT 19  
 ROBERT & SUE ELLEN PARKS  
 341 COUNTY RD  
 NEW LONDON, NH 03257  
 BK 2271/PG 0174

TAX MAP 72  
 LOT 20  
 HAROLD WHEELER TRUST  
 JAMES P. WHEELER TRUSTEE  
 PO BOX 991  
 NEW LONDON, NH 03257



( IN FEET )  
1 inch = 40 ft.



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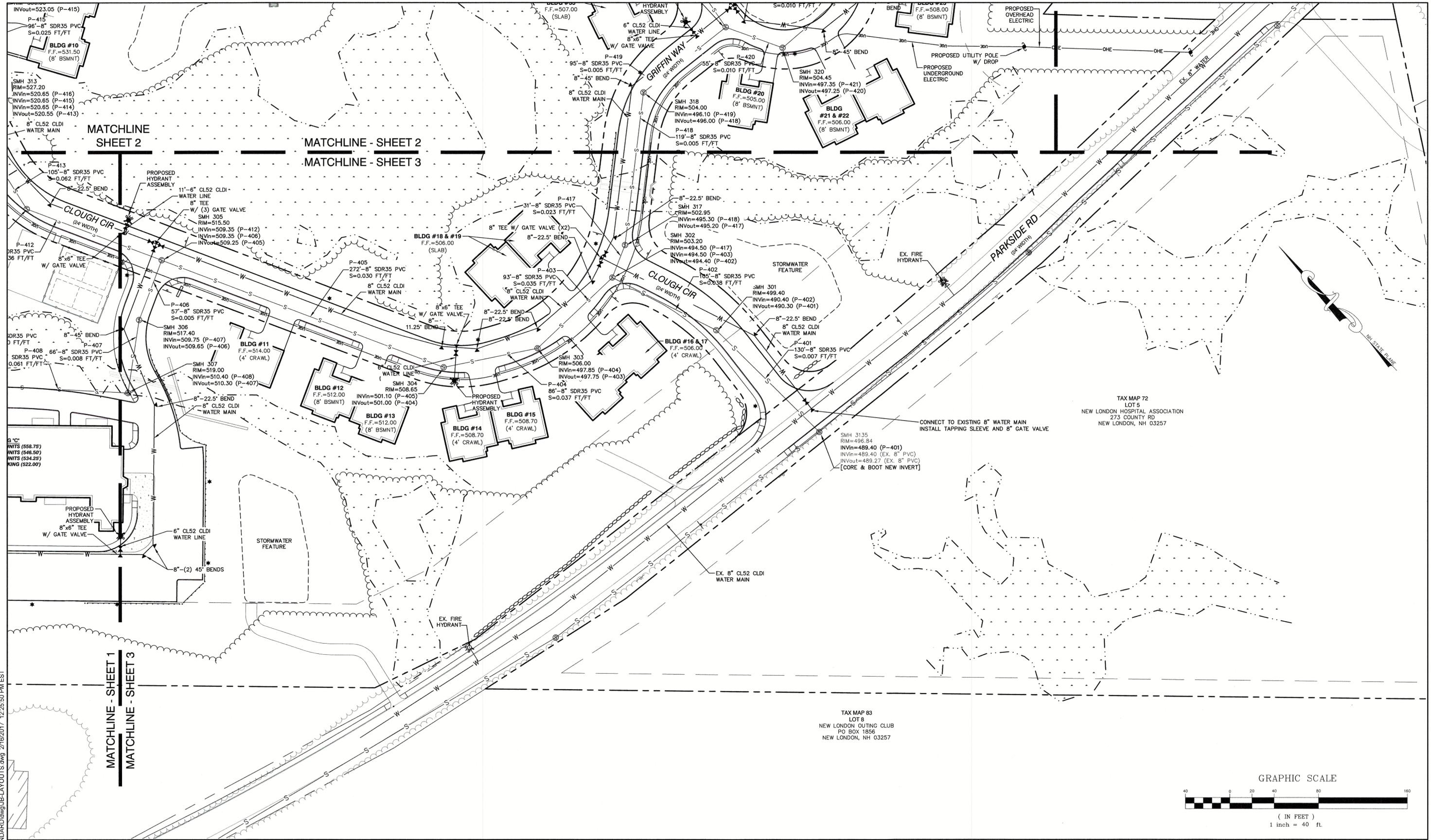
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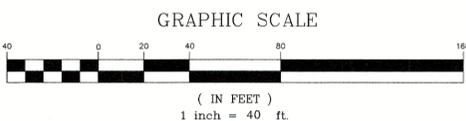
Plan Name:	<b>UTILITY PLAN</b>
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.  
**C4-2**  
SHEET 17 OF 49  
JBE PROJECT NO. 17190



TAX MAP 72  
LOT 5  
NEW LONDON HOSPITAL ASSOCIATION  
273 COUNTY RD  
NEW LONDON, NH 03257

TAX MAP 83  
LOT B  
NEW LONDON OUTING CLUB  
PO BOX 1856  
NEW LONDON, NH 03257



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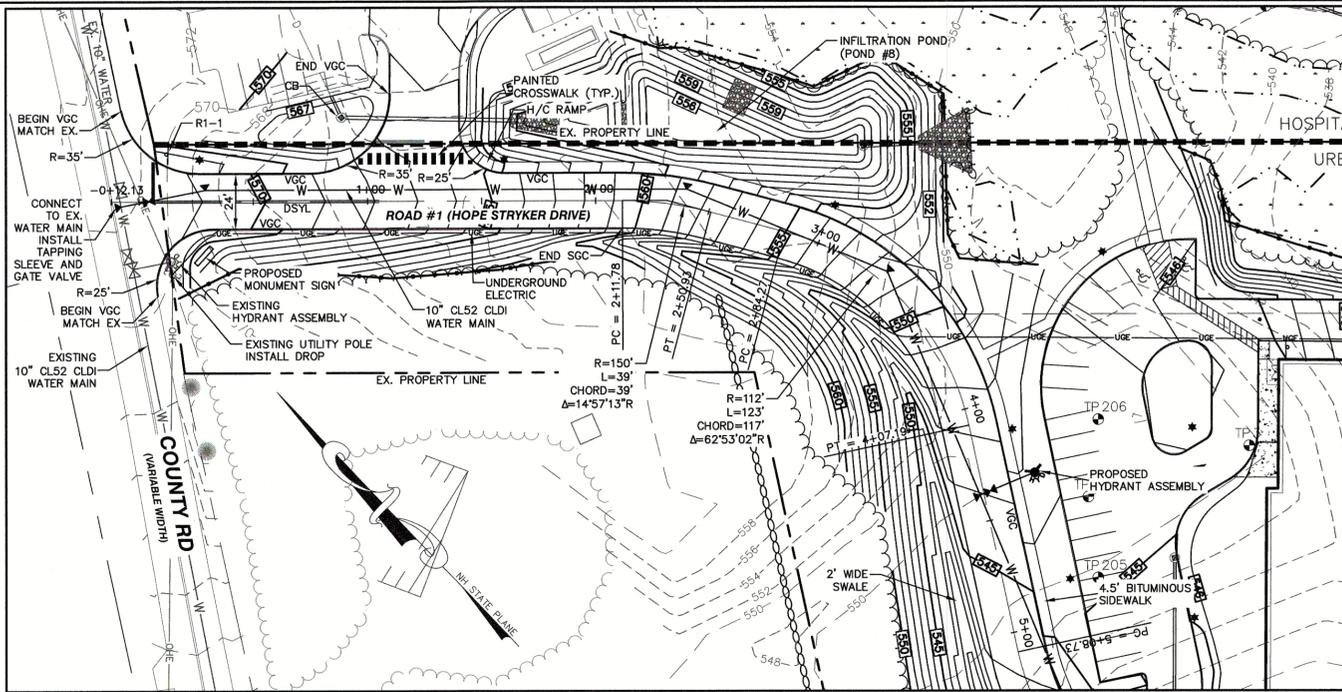


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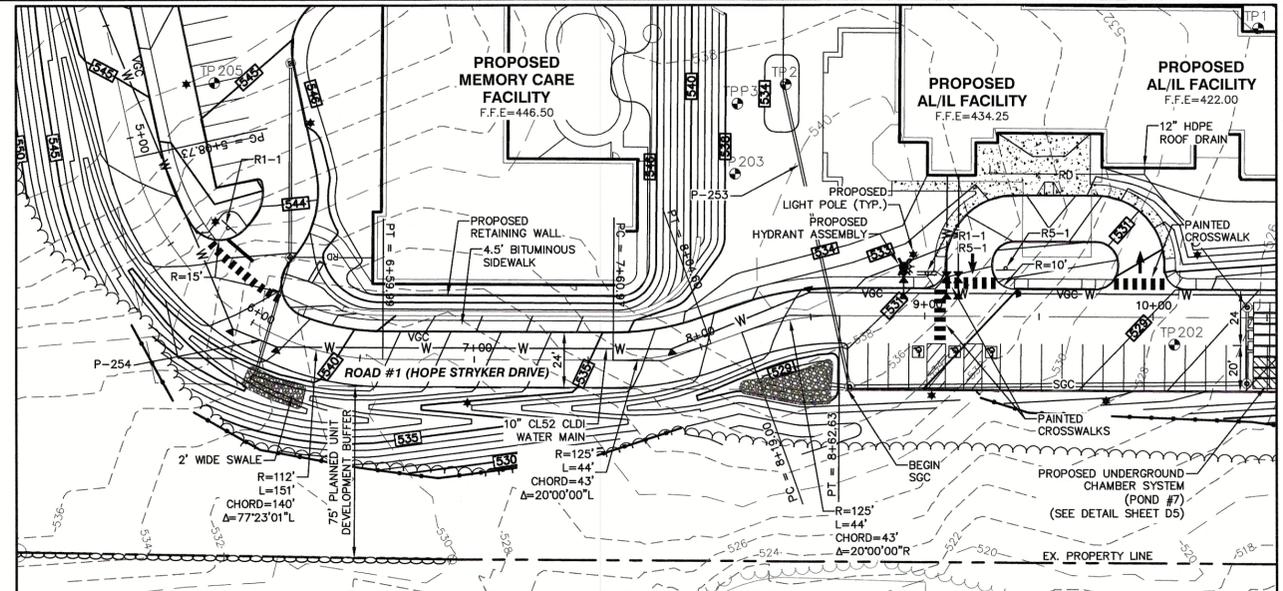
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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**  
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**  
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

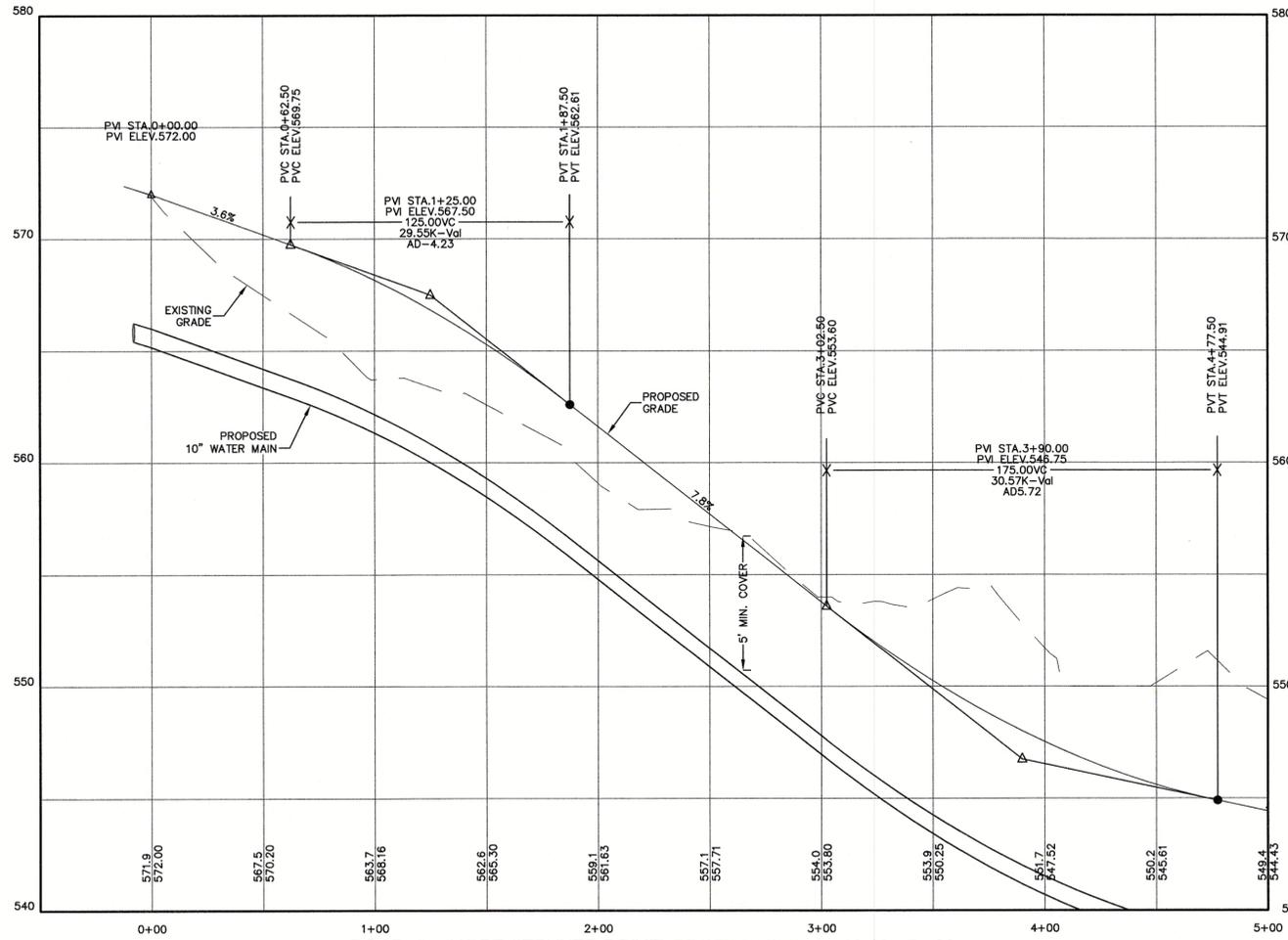
DRAWING No. **C4-3**  
SHEET 18 OF 49  
JBE PROJECT NO. 17190



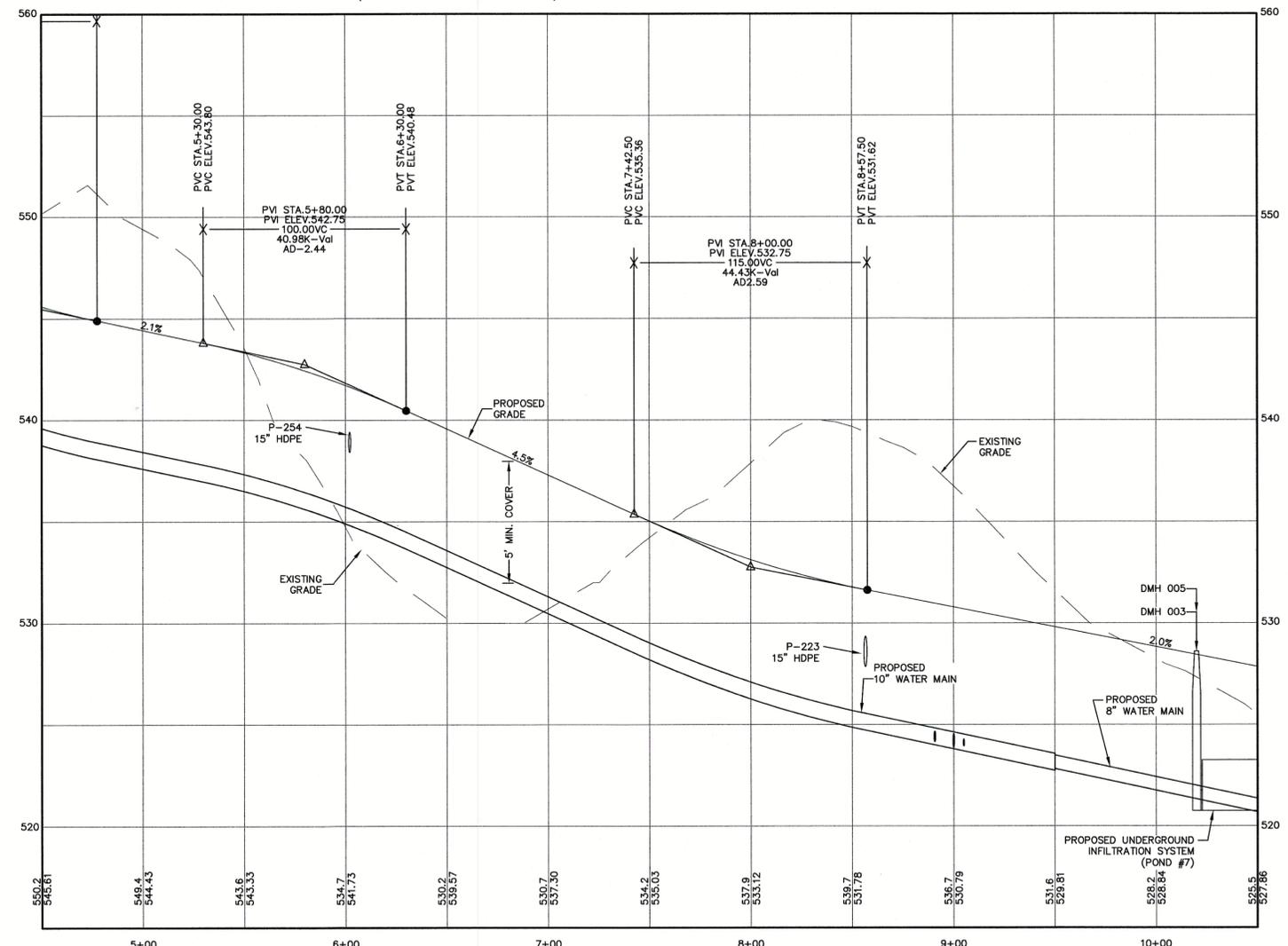
ROAD #1 (HOPE STRYKER DRIVE) PLAN: STA 0+00 - 5+00



ROAD #1 (HOPE STRYKER DRIVE) PLAN: STA 5+00 - 10+00



ROAD #1 (HOPE STRYKER DRIVE) PROFILE: STA 0+00 - 5+00



ROAD #1 (HOPE STRYKER DRIVE) PROFILE: STA 5+00 - 10+00

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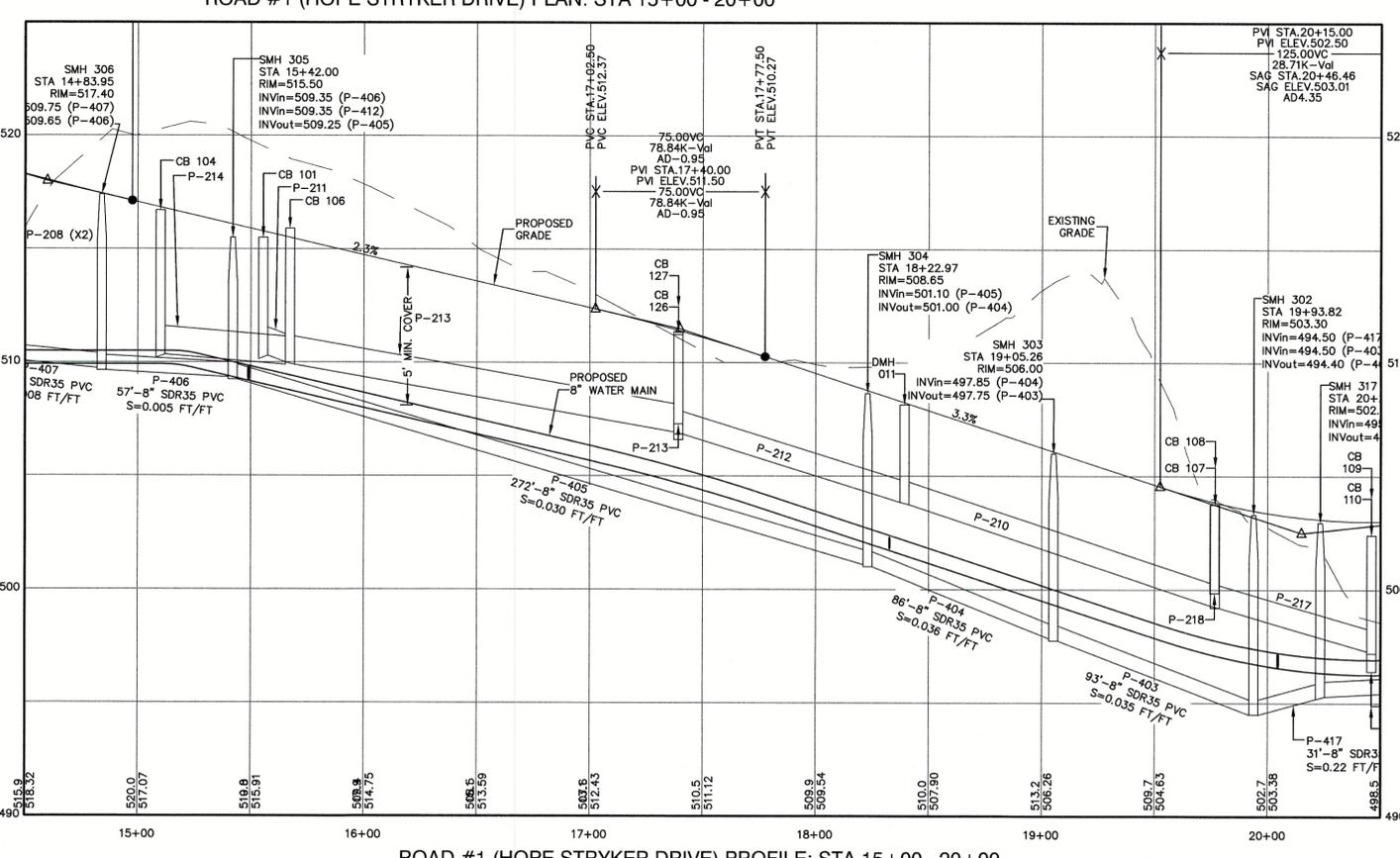
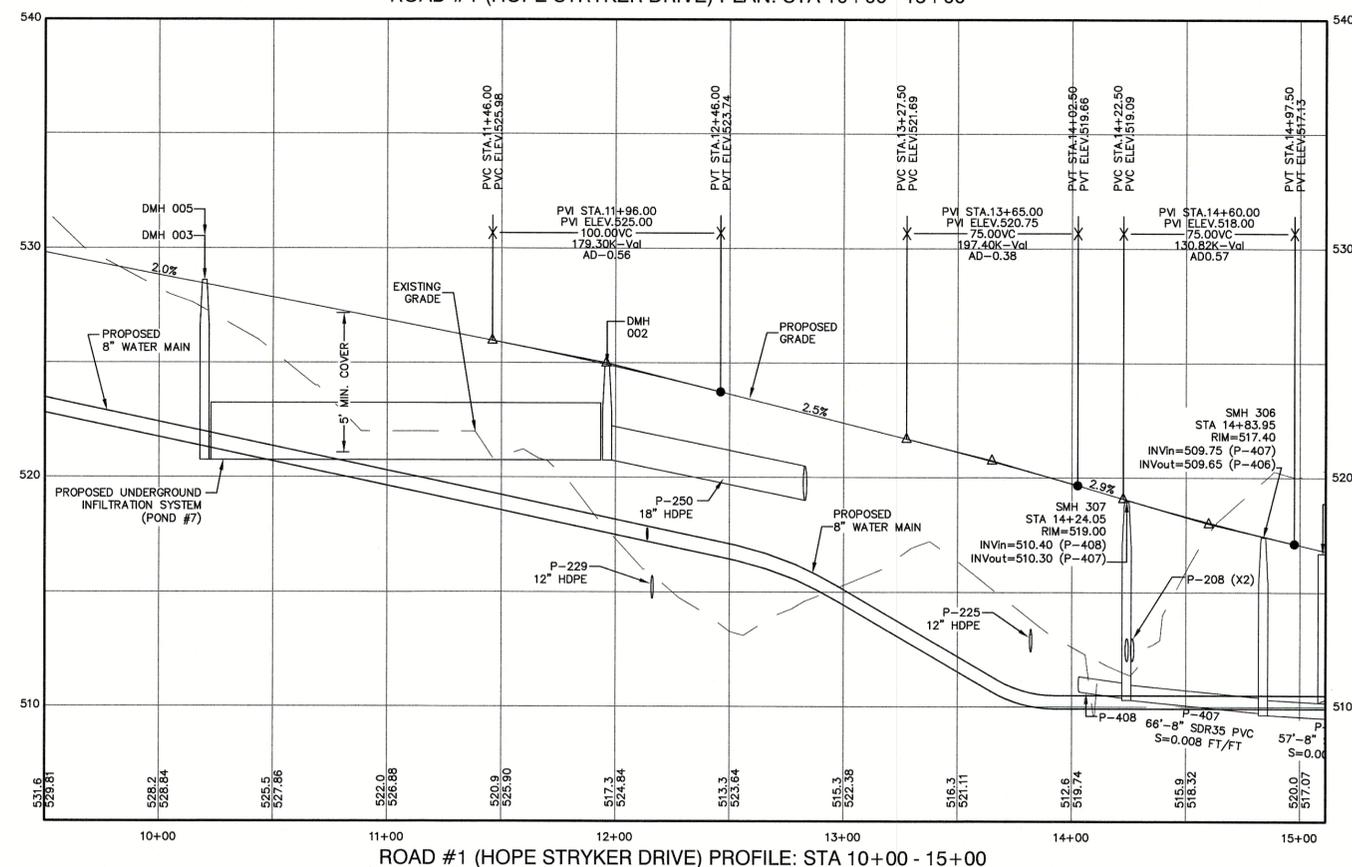
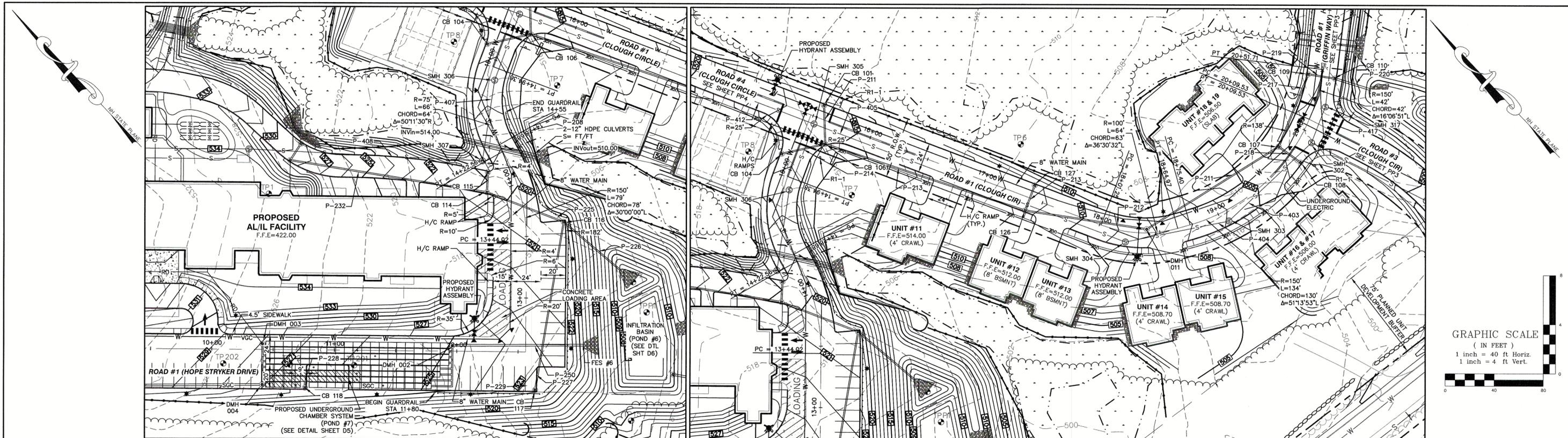


REV.	DATE	REVISION	BY
2	11/16/2018	REVISED PER TOWN COMMENTS	EMP
1	9/10/2018	ISSUED FOR AOT REVIEW	EMP
0	7/3/2018	ISSUED FOR REVIEW	EMP

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**J/B Jones & Beach Engineers, Inc.**  
*Civil Engineering Services*  
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE - ROAD #1**  
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**  
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **PP1**  
 SHEET 19 OF 49  
 JBE PROJECT NO. 17190



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Design: BWG    Draft: EMP    Date: 7/3/18  
 Checked: WGM    Scale: AS NOTED    Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg  
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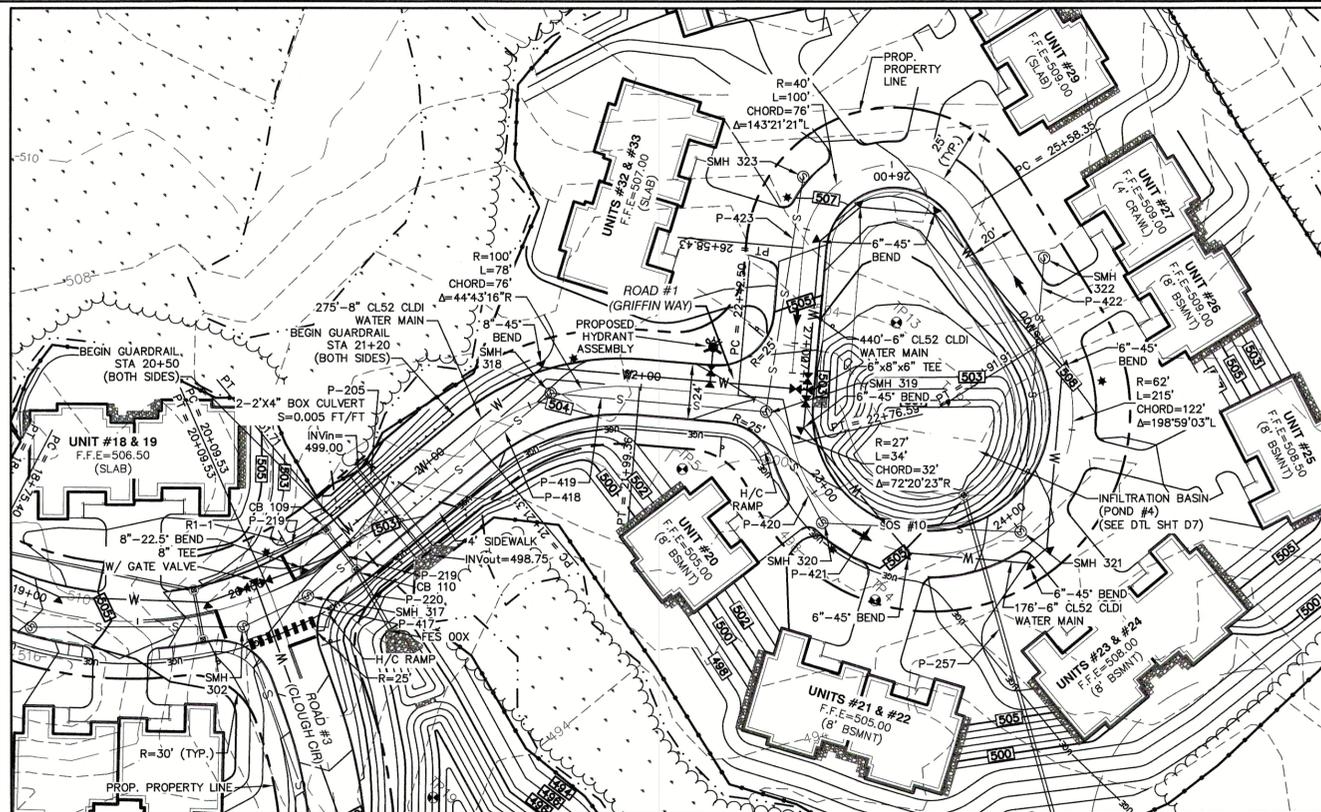
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Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

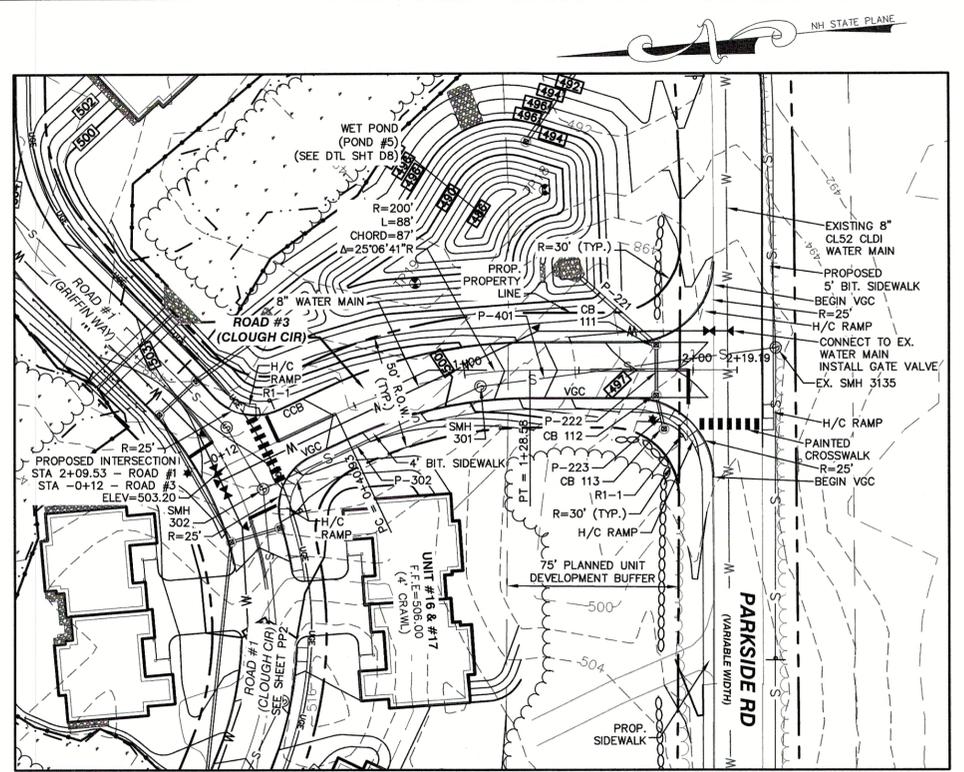
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION  
273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **PP2**

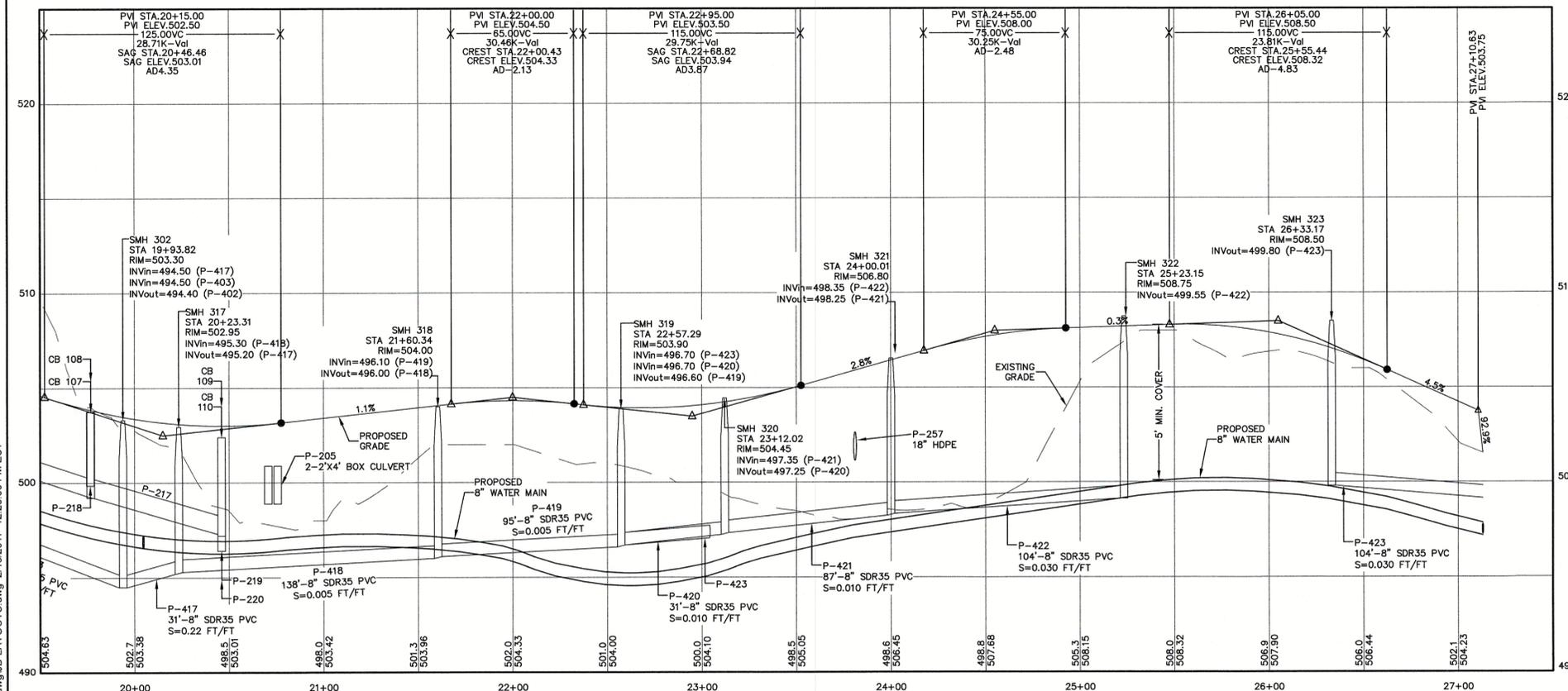
SHEET 20 OF 49  
JBE PROJECT NO. 17190



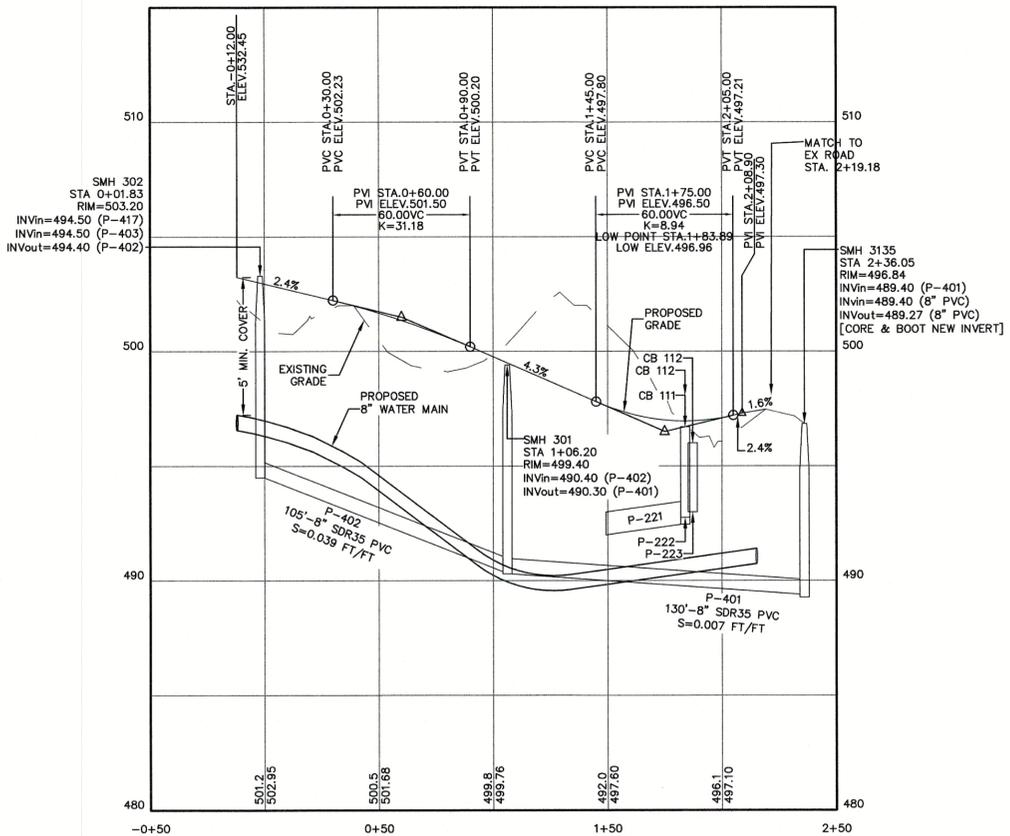
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ROAD #3 (HOPE STRYKER DRIVE) PLAN: STA -0+12 - 2+19.19



ROAD #1 (GRIFFIN WAY) PROFILE: STA 20+00 - 27+13



ROAD #3 (HOPE STRYKER DRIVE) PROFILE: STA -0+12 - 2+19.19

Design: BWG Draft: EMP Date: 7/3/18  
 Checked: WGM Scale: AS NOTED Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg  
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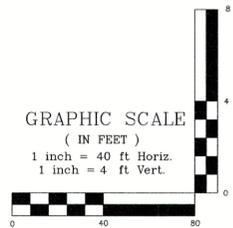
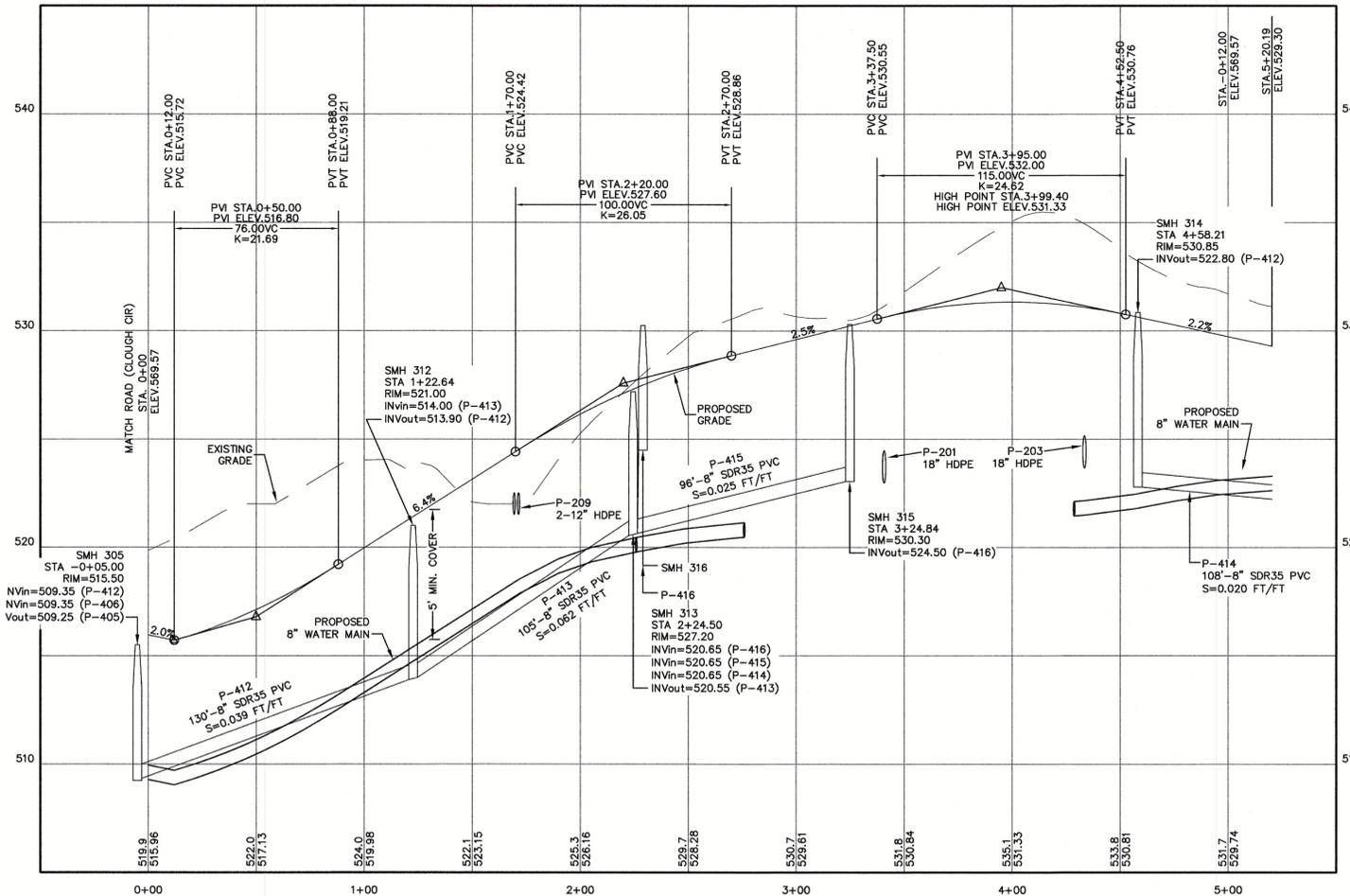
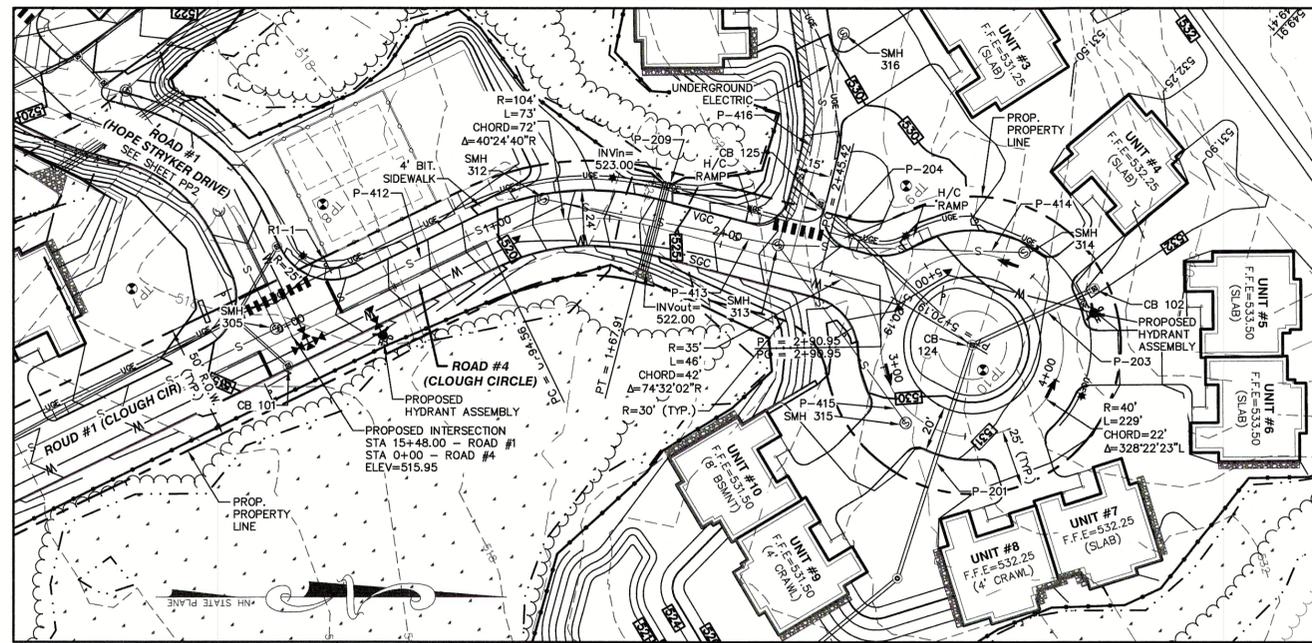
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 603-772-4746 FAX: 603-772-0227  
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN & PROFILE - ROAD #1 & ROAD #3**  
 Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**  
 Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **PP3**  
 SHEET 21 OF 49  
 JBE PROJECT NO. 17190

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
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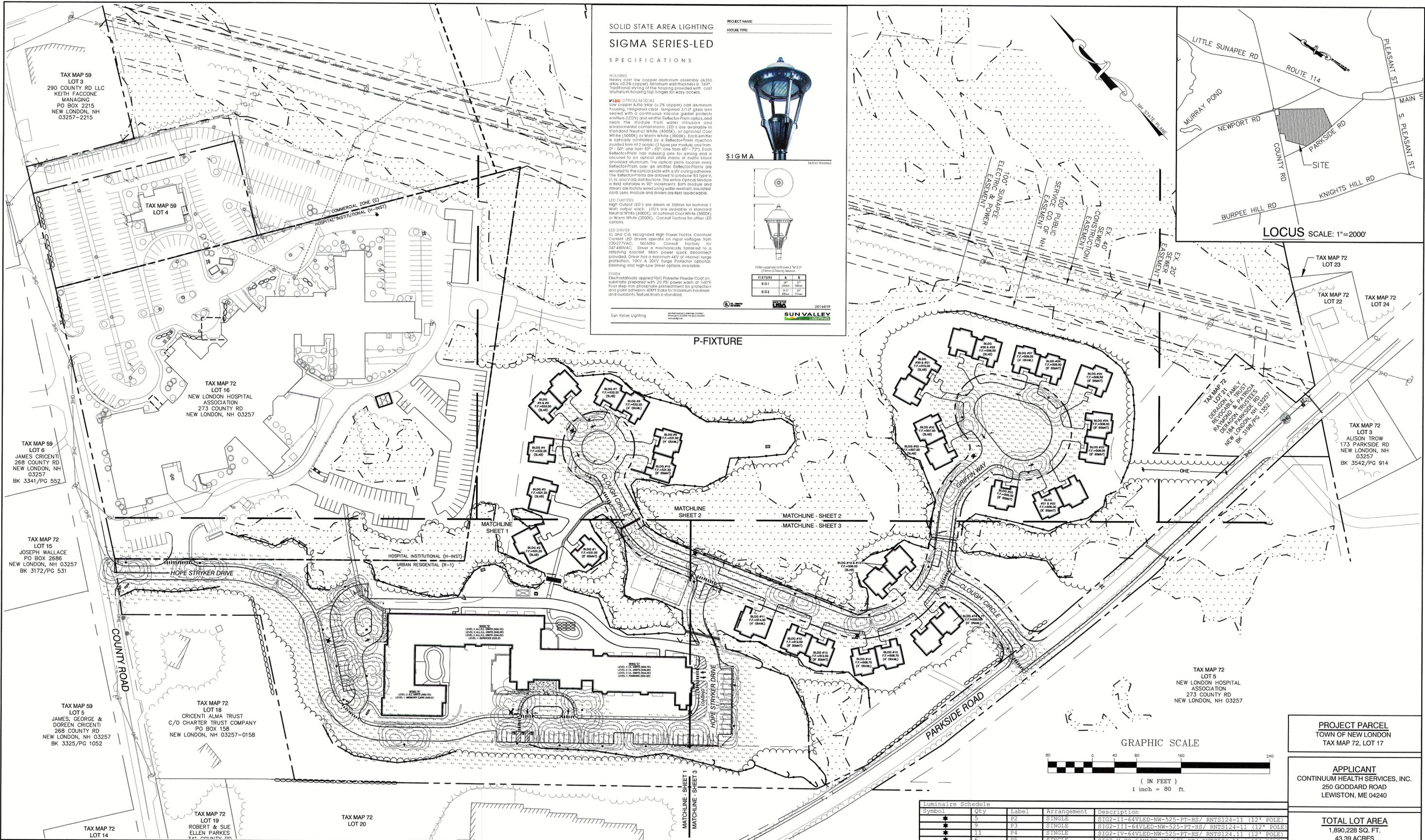
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Civil Engineering Services

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603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	PLAN & PROFILE - ROAD #4 & ROAD #5
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	PP4
SHEET 22 OF 49	JBE PROJECT NO. 17190



**SOLID STATE AREA LIGHTING  
SIGMA SERIES-LED  
SPECIFICATIONS**

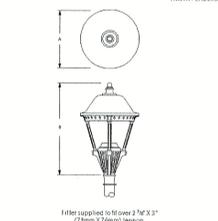
**HOUSING**  
Heavy cast low copper aluminum assembly (A356 280V, 0.2% copper). Minimum wall thickness is .168". Traditional styling of the housing provided with cast aluminum housing top hinges for easy access.

**LENS OPTICAL MODULE**  
Low copper alloy (0.2% copper) cast aluminum housing. Integrated clear tempered 3/16" glass lens sealed with a continuous silicone gasket protects lenses (LED's) and reflector-prim optics and seals the module from water intrusion and environmental contaminants. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Each emitter is optically controlled by a Reflector-Prim injection molded from H12 acrylic (3 types per module) one from 2" - 50" one from 50" - 60" one from 60" - 72". Each Reflector-Prim has indexing pins for aiming and is secured to an optional plate made of matte black anodized aluminum. The optional plate locates away Reflector-Prims over an entire Reflector-Prim and is secured to the optical plate with a UV curing adhesive. The Reflector-Prims are designed to produce 83 type III, IV, and V-Six distributions. The entire Optical Module is field adjustable in 50° increments. Both module and driver are factory wind-up water resistant, insulated cord. Lens, module and drivers are field replaceable.

**LED DRIVERS**  
High Output LED's are driven at 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

**LED DRIVER**  
UL and CUL recognized High Power Factor, Constant Current LED drivers operate on input voltages from 120V-277VAC. 50/60Hz. Consult Factory for 347-480VAC. Driver is mechanically fastened to a mounting bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection. 120V & 200V Surge Protector optional. Dimming and High-Low Driver options available.

**FINISH**  
Electrocoat applied TSP Polyester Powder Coat on aluminum provided with 20 PSI powder wash or 140PSI. Four step iron phosphate pretreatment for protection and paint adhesion. AODT finish for maximum corrosion and durability. Texture finish is standard.



**P-FIXTURE**



SUN VALLEY LIGHTING  
2014019

Design: BWG Draft: EMP Date: 7/3/18  
Checked: WGM Scale: AS NOTED Project No.: 17190  
Drawing Name: 17190-PLAN.dwg  
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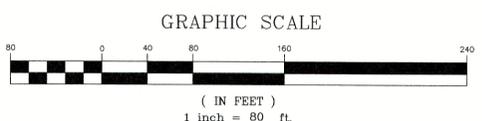
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0	7/3/2018	ISSUED FOR REVIEW	EMP

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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
Civil Engineering Services  
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERALL LIGHTING PLAN**  
Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**  
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

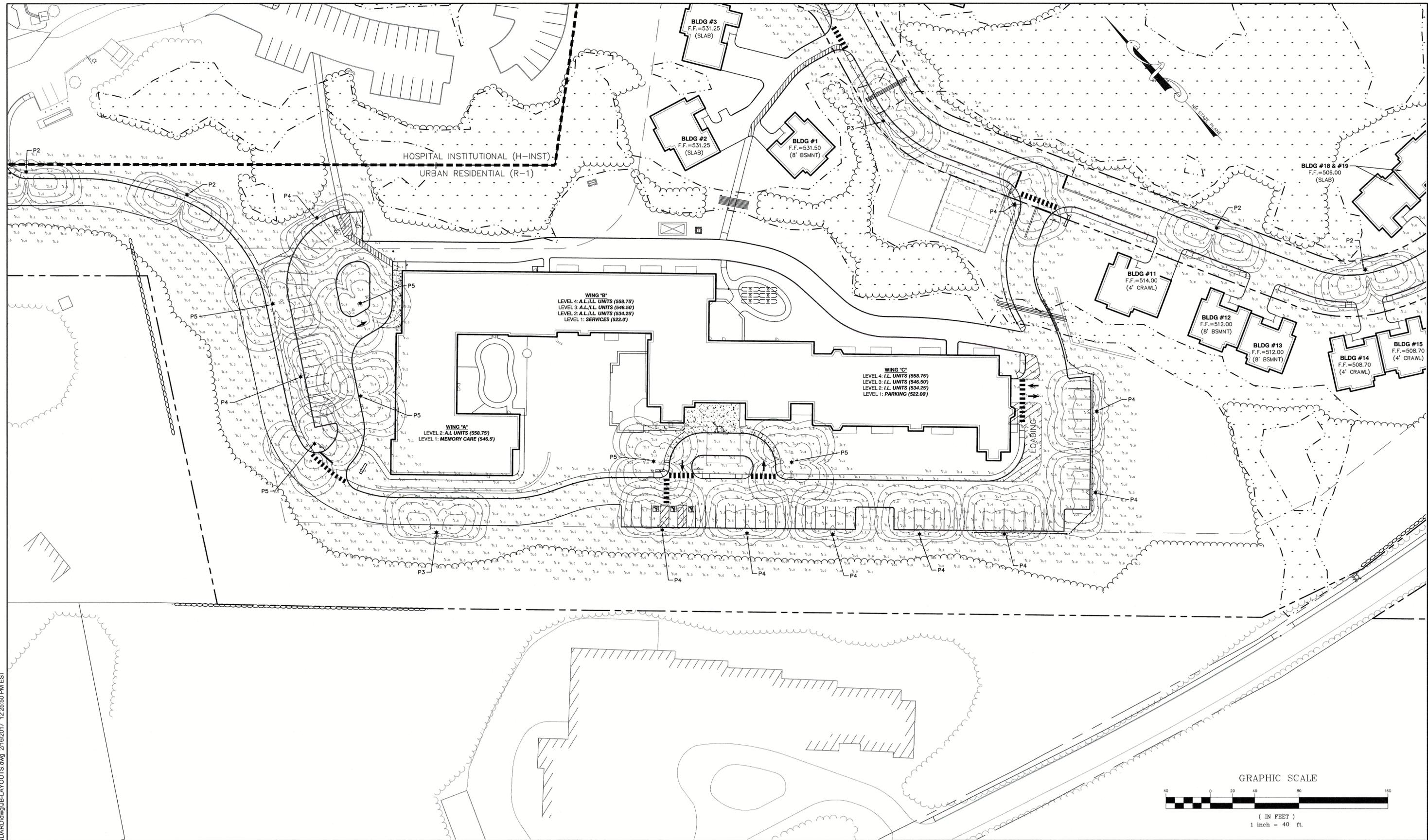
DRAWING No. **LP1**  
SHEET 23 OF 49  
JBE PROJECT NO. 17190

PROJECT PARCEL  
TOWN OF NEW LONDON  
TAX MAP 72, LOT 17  
APPLICANT  
CONTINUUM HEALTH SERVICES, INC.  
250 GODDARD ROAD  
LEWISTON, ME 04240  
TOTAL LOT AREA  
1,890,228 SQ. FT.  
43.39 ACRES



Symbol	Qty	Label	Arrangement	Description
★	5	P2	SINGLE	SG2-II-64VLED-NW-525-PT-HS/ RNTS124-11 (12' POLE)
★	9	P3	SINGLE	SG2-III-64VLED-NW-525-PT-HS/ RNTS124-11 (12' POLE)
★	11	P4	SINGLE	SG2-IV-64VLED-NW-525-PT-HS/ RNTS124-11 (12' POLE)
★	6	P5	SINGLE	SG2-V-SQ-64VLED-NW-525-PT/ RNTS124-11 (12' POLE)

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Drawing Name: 17190-PLAN.dwg		
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Designed and Produced in NH

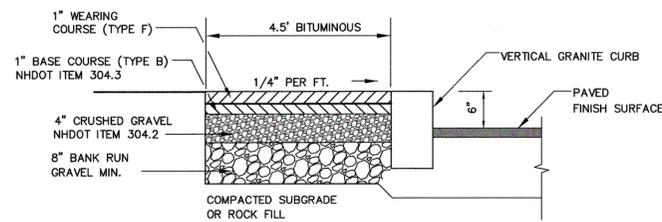
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave.  
PO Box 219  
Stratham, NH 03885

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

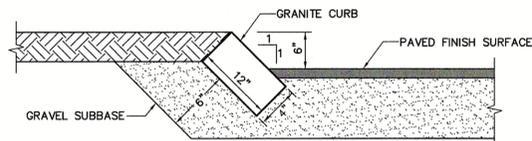
Plan Name:	<b>LIGHTING PLAN</b>
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	<b>LP1-1</b>
SHEET 24 OF 49 JBE PROJECT NO. 17190	



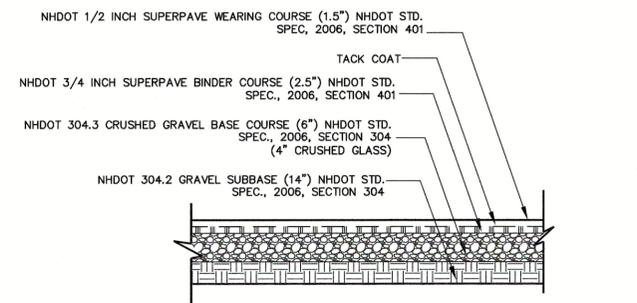
**BIT. SIDEWALK W/ VERTICAL GRANITE CURB**

NOT TO SCALE



**SLOPED GRANITE CURB**

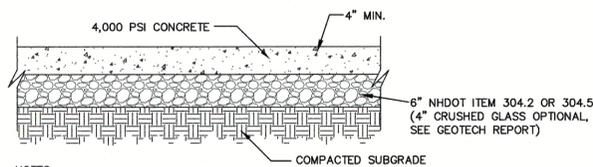
NOT TO SCALE



- NOTES:**
- PAVEMENT SUBGRADES SHOULD BE PROOF ROLLED IN ORDER TO DENSIFY THE SUBGRADES USING A MINIMUM OF 4 PASSES WITH A 10-TON VIBRATORY DRUM COMPACTOR. THE GRAVEL BORROW SUBGRADE COURSE AND CRUSHED GRAVEL BASE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM-D698).
  - PAVEMENT SECTION SUBJECT TO CHANGE BASED ON GEOTECHNICAL INVESTIGATION.

**STANDARD DUTY ASPHALT PAVEMENT SECTION**

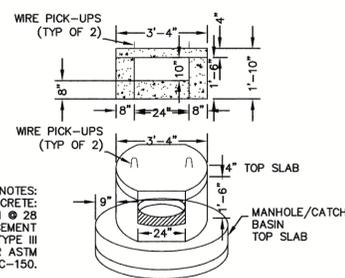
NOT TO SCALE



- NOTES:**
- CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH
  - EXPANSION JOINTS 24' O/C
  - ALL JOINTS SEALED PER SPEC

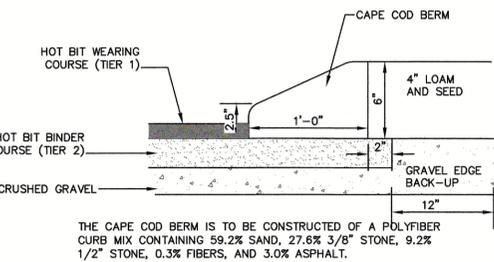
**CONCRETE SIDEWALK DETAIL**

NOT TO SCALE



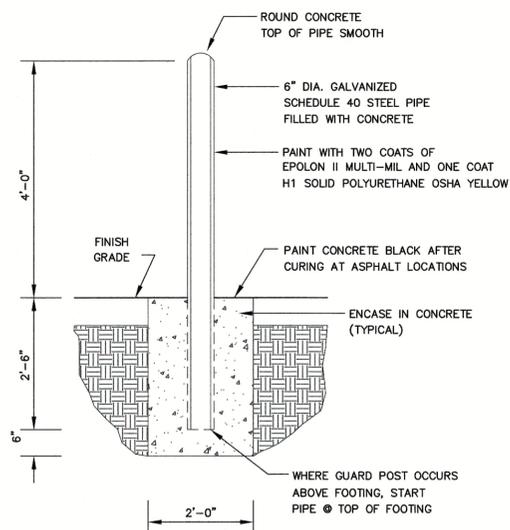
**NHDOT CATCH BASIN TYPE "C" THROAT**

NOT TO SCALE



**CAPE COD BERM**

NOT TO SCALE

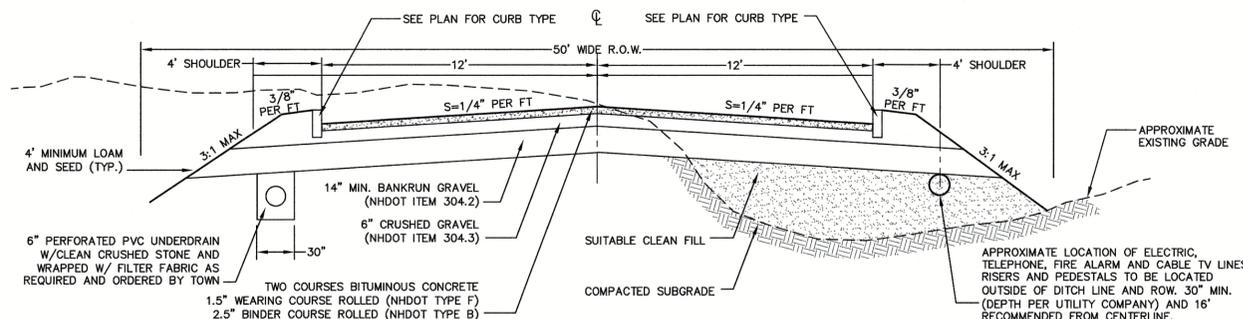


**BOLLARD**

NOT TO SCALE

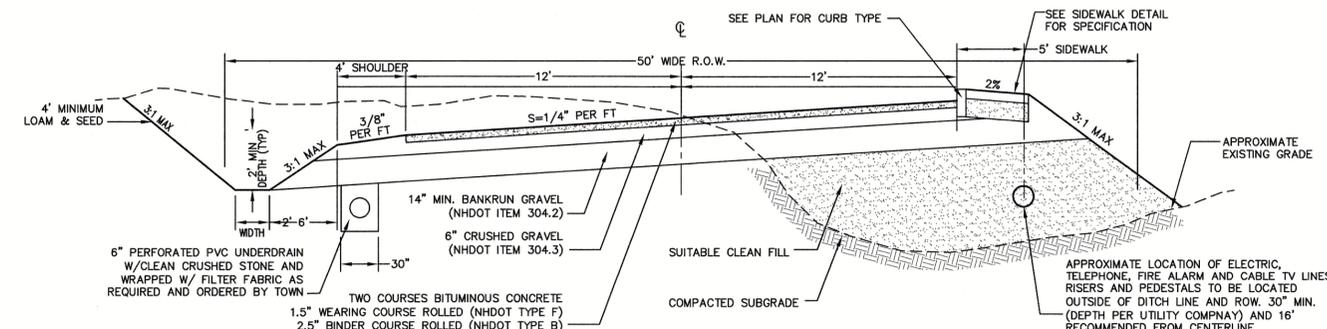
**NOTES:**

- REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
- ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
- TOWN MAY REQUIRE UNDERDRAIN, ADDITIONAL GRAVEL AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.
- WOVEN GEOTEXTILE FABRIC SHALL BE PLACED ABOVE SUBGRADE AT ALL WETLAND CROSSINGS.



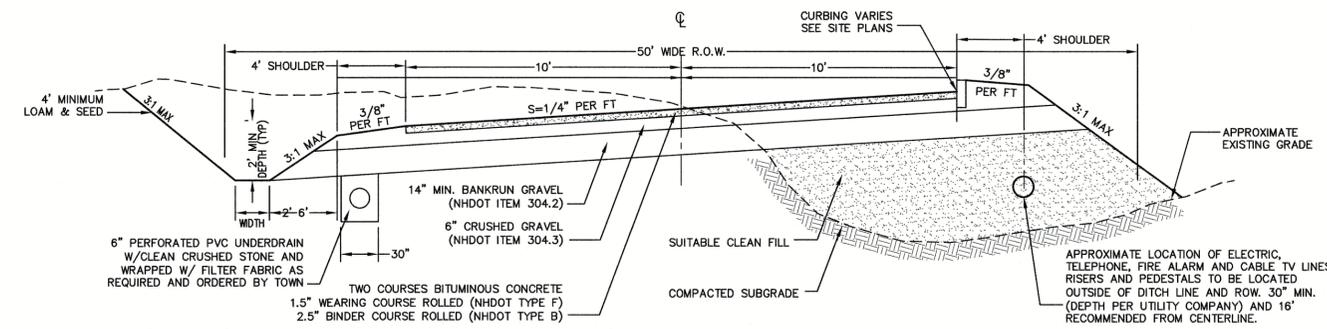
**TYPICAL ROADWAY SECTION (24' ROADWAY WITH CURBING)**

NOT TO SCALE



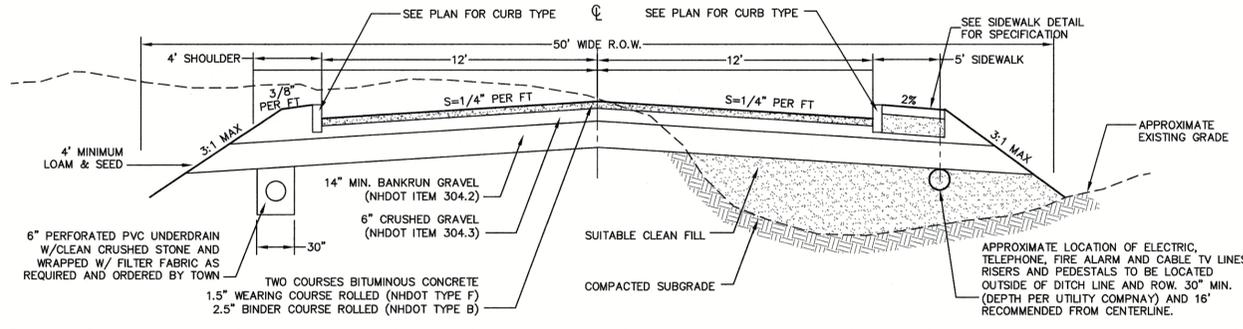
**TYPICAL ROADWAY SECTION (24' ROADWAY SUPER-ELEVATED WITH CURBING SIDEWALK ONE SIDE)**

NOT TO SCALE



**TYPICAL ROADWAY SECTION (20' ROADWAY SUPER-ELEVATED WITH CURBING)**

NOT TO SCALE



**TYPICAL ROADWAY SECTION (24' ROADWAY WITH CURBING SIDEWALK ONE SIDE)**

NOT TO SCALE

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Drawing Name: 17190-PLAN.dwg		

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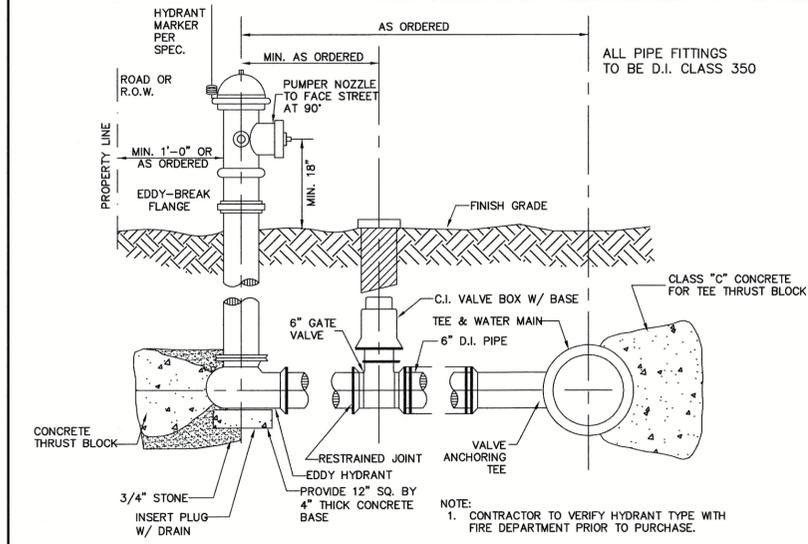
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Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.

**D1**

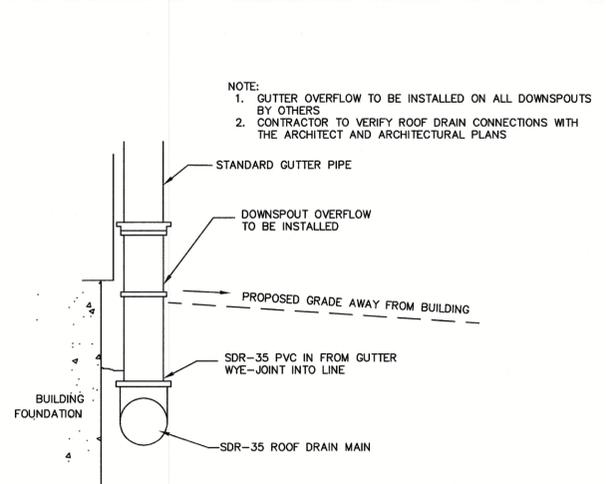
SHEET 25 OF 49  
JBE PROJECT NO. 17190





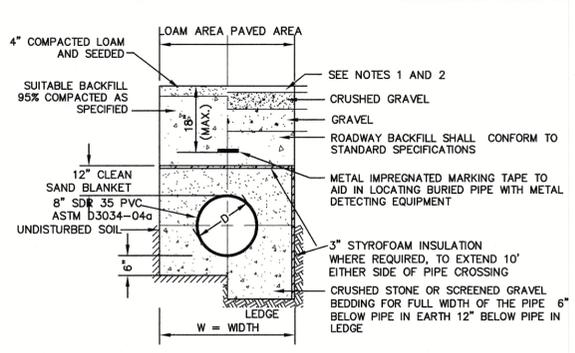
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NOT TO SCALE



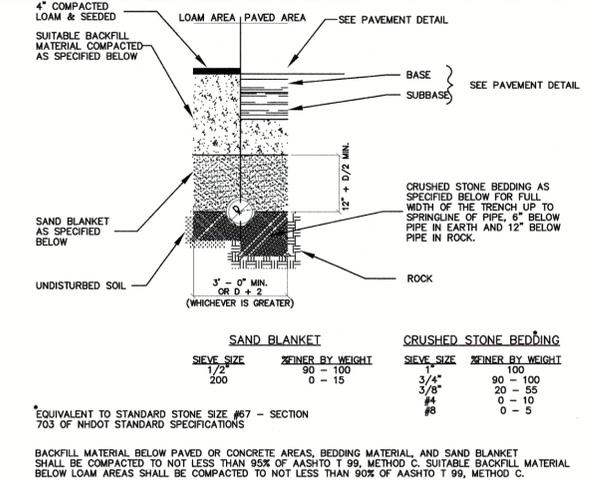
**ROOF DRAIN CONNECTION**

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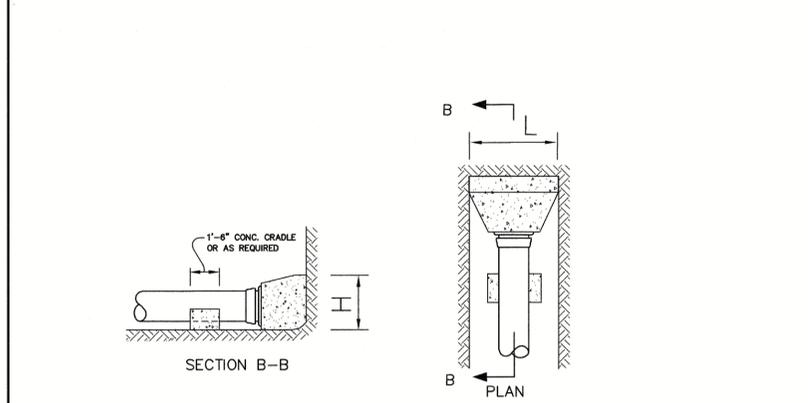
**SEWER TRENCH**

NOT TO SCALE



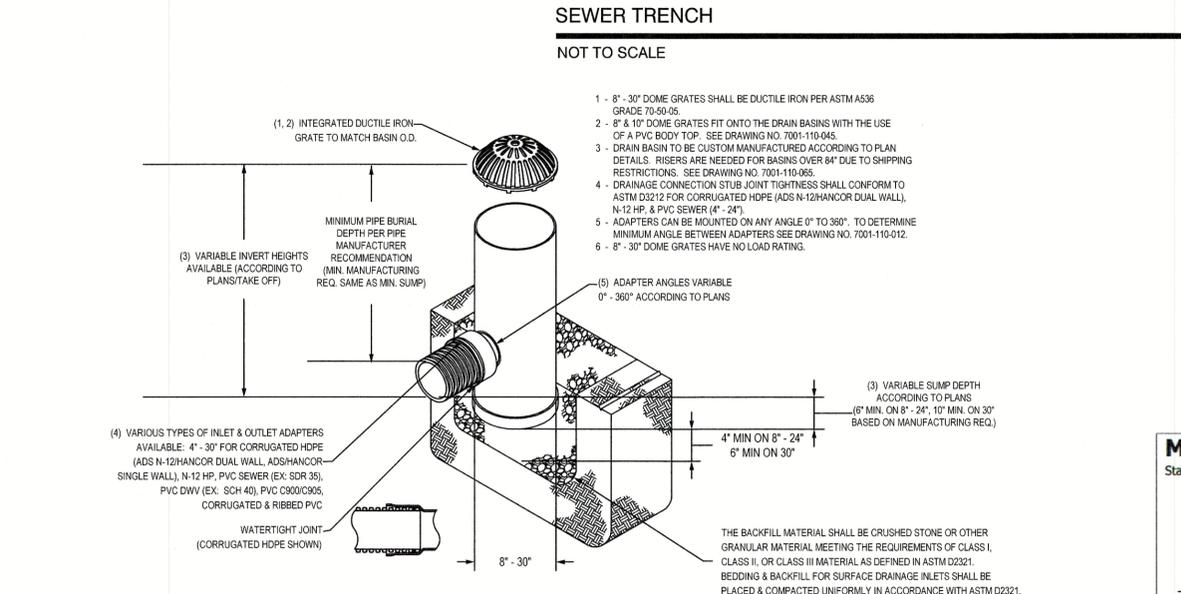
**DRAINAGE TRENCH**

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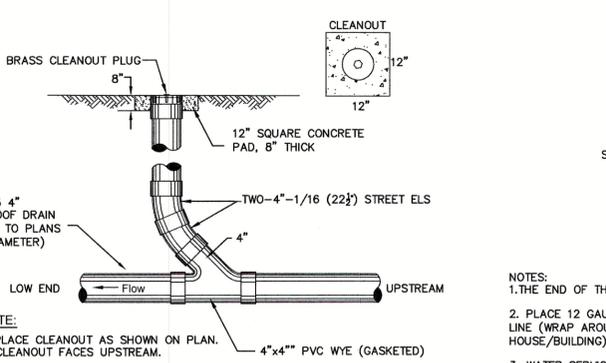
**THRUST BLOCK DETAILS**

NOT TO SCALE



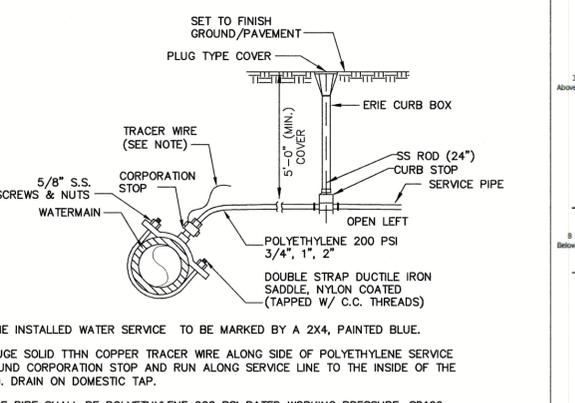
**NYLOPLAST DRAIN BASIN WITH DOME DETAIL**

NOT TO SCALE



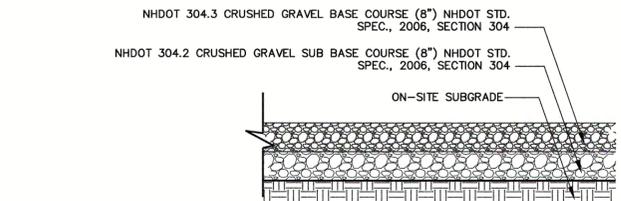
**UNDER DRAIN DETAIL**

NOT TO SCALE



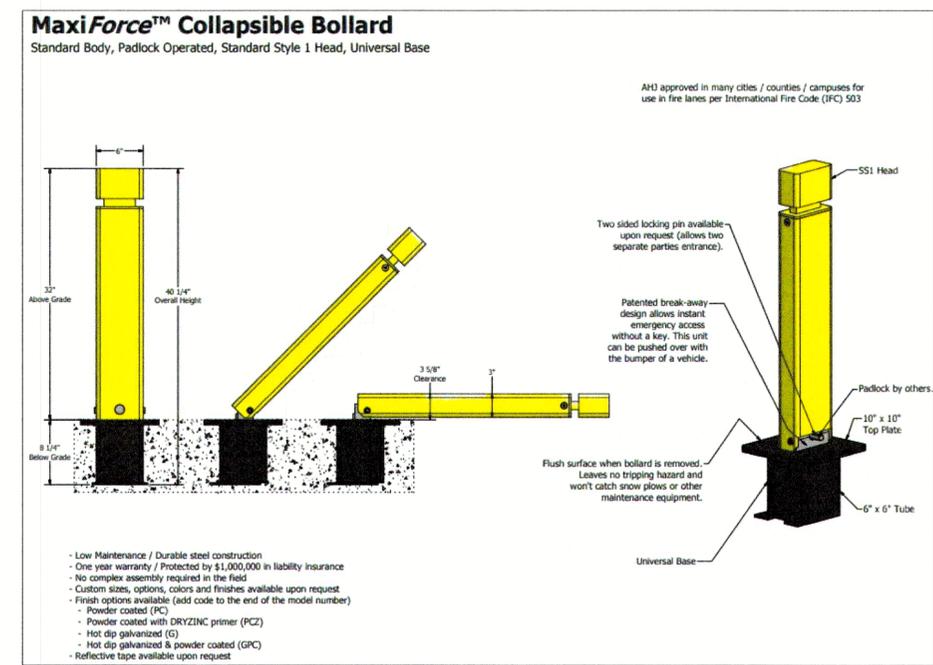
**WATER SERVICE CONNECTION**

NOT TO SCALE



**GRAVEL ROAD DETAIL**

NOT TO SCALE



**COLLAPSIBLE BOLLARD DETAIL**

NOT TO SCALE

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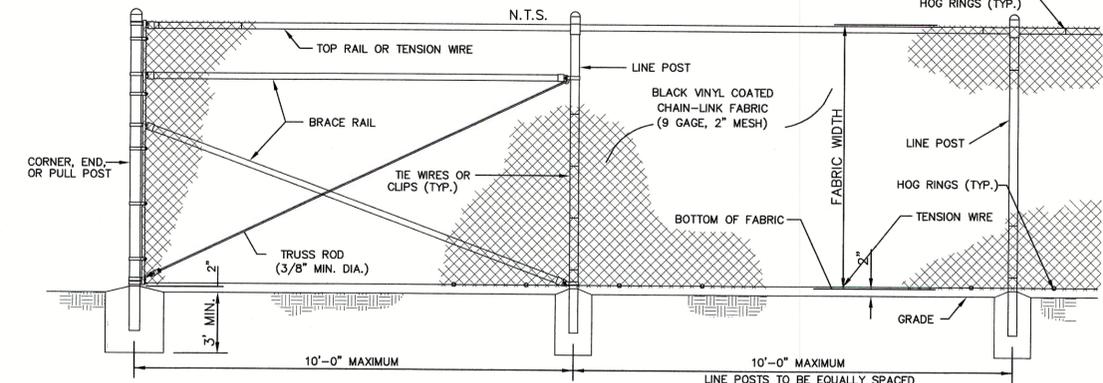
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

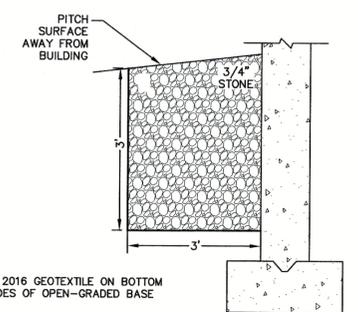
Plan Name:	DETAIL SHEET
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	D3
SHEET 27 OF 49	JBE PROJECT NO. 17190

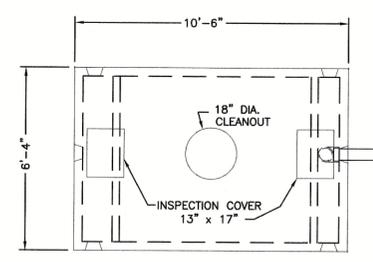
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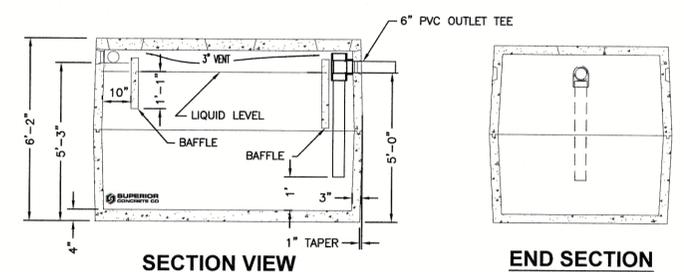
**4' & 6' HIGH BLACK VINYL CHAIN-LINK FENCE**  
NOT TO SCALE



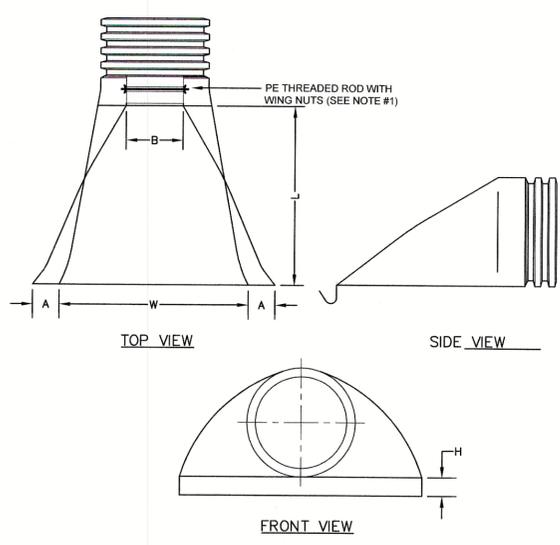
**DRIP EDGE INFILTRATION DETAIL**  
NOT TO SCALE



- NOTES:**
1. CONCRETE COMPRESSIVE STRENGTH 4,000 psi @ 28 DAYS, WITH STEEL REINFORCEMENT.
  2. HEAVY DUTY (HS-10) SEPTIC TANKS AVAILABLE.
  3. KEYED JOINT SEALED WITH BUTYL RUBBER.
  4. 6\"/>



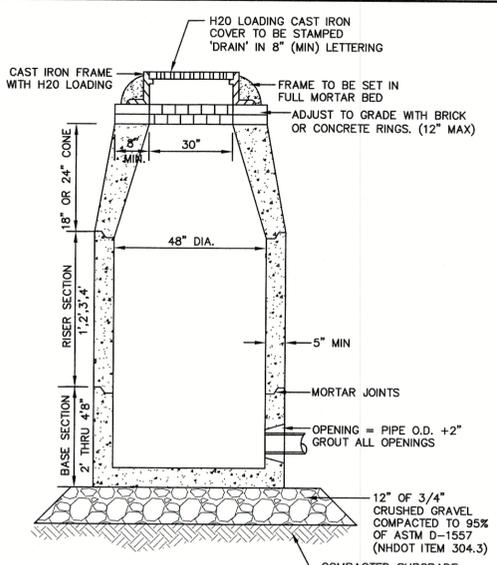
**5,000 GAL GREASE TANK**  
NOT TO SCALE



PART NO.	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
1510-NP	15"	6.5"	10"	6.5"	25"	29"
1810-NP	18"	7.5"	15"	6.5"	32"	35"
2410-NP	24"	7.5"	18"	6.5"	36"	45"
3010-NP	30"	10.5"	N/A	7.0"	53"	68"
3610-NP	36"	10.5"	N/A	7.0"	53"	68"

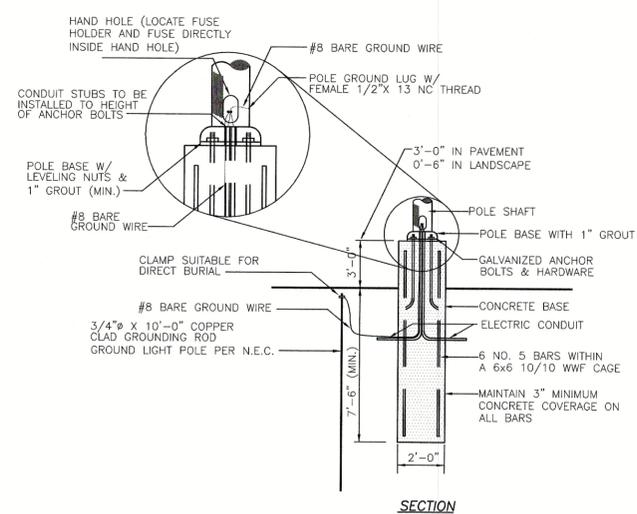
- NOTES:**
1. PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" AND 36" END SECTIONS TO BE WELDED PER MANUFACTURER'S RECOMMENDATIONS.
  2. ALL DIMENSIONS ARE NOMINAL.

**ADS N-12 FLARED END SECTION**  
NOT TO SCALE



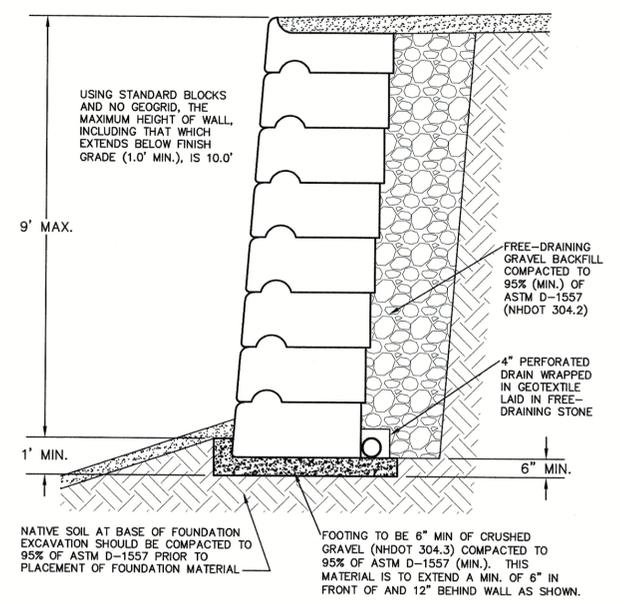
- NOTES:**
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
  5. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
  8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

**DRAIN MANHOLE**  
NOT TO SCALE



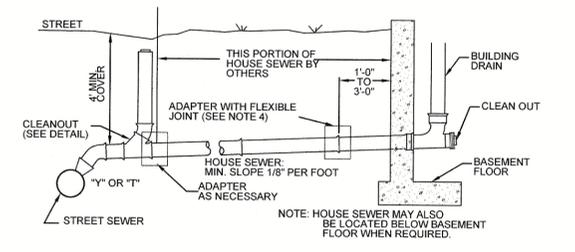
- NOTES:**
1. SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES & DRAINAGE BEFORE DRILLING POLE BASES (TYP).
  2. CONTRACTOR TO TAKE SPECIAL CARE TO ENSURE CONCRETE POLE BASES ARE SET ABSOLUTELY VERTICAL AND LEVEL.
  3. SHAFT CAP, ARMS, BASE, FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION, HARDWARE, BOLT COVERS, HAND- HOLD COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.

**LIGHT POLE BASE DETAIL**  
NOT TO SCALE



1. PRE-FABRICATED WALL UNITS SHALL BE REDI-ROCK INTERNATIONAL AS PRODUCED BY A LICENSED MANUFACTURER, OR AN EQUIVALENT APPROVED IN WRITING BY THE CIVIL ENGINEER OF RECORD (JONES & BEACH ENGINEERS, INC.).
2. THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A LICENSED STRUCTURAL ENGINEER TO DESIGN ANY WALL THAT HAS A HEIGHT OVER 4.0'. JONES & BEACH ENGINEERS, INC. DOES NOT ACCEPT ANY LIABILITY FOR THE STRUCTURAL DESIGN AND/OR INSTALLATION OF ANY RETAINING WALL OF ANY TYPE ABOVE THIS HEIGHT. THIS DETAIL IS INTENDED TO PROVIDE AN EXAMPLE OF THE RETAINING WALL FOR PLANNING PURPOSES ONLY AND IS SPECIFICALLY NOT INTENDED FOR USE BY THE CONTRACTOR IN ANY CONSTRUCTION-RELATED ACTIVITY.
3. CONSTRUCTION OF THE RETAINING WALL(S) SHOULD FOLLOW THE SPECIFICATIONS OF REDI-ROCK INTERNATIONAL AND THE STRUCTURAL ENGINEER OF RECORD.
4. RETAINING WALL-RELATED CORRESPONDENCE SHOULD BE DIRECTED TO:  
  
REDI-ROCK INTERNATIONAL  
05481 SOUTH U.S. 31  
CHARLEVOIX, MICHIGAN 49720  
  
T#: (231) 237-9500  
F#: (231) 237-9521  
www.redi-rock.com

**REDI-ROCK INTERNATIONAL RETAINING WALL DETAIL (STANDARD BLOCKS W/ NO GEOGRID)**  
NOT TO SCALE



**SEWER SERVICE CONNECTION**  
NOT TO SCALE

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		

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2	1/16/2018	REVISED PER TOWN COMMENTS	EMP
1	9/10/2018	ISSUED FOR AOT REVIEW	EMP
0	7/3/2018	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

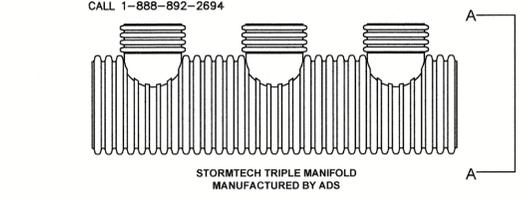
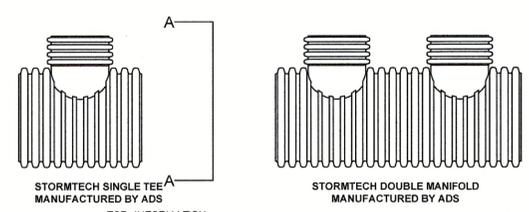
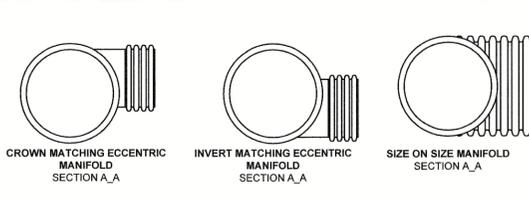
603-772-4746  
FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>"NEW LONDON PLACE" COUNTY ROAD &amp; PARKSIDE ROAD, NEW LONDON, NH</b>
Owner of Record:	<b>NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257</b>

DRAWING No.

**D4**

SHEET 28 OF 49  
JBE PROJECT NO. 17190

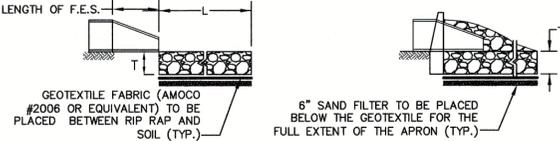
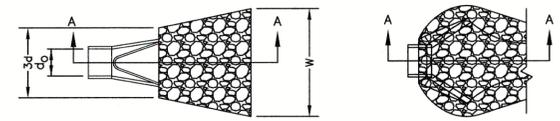


STUB SIZE	HEADER PIPE SIZES										
	48"	42"	36"	30"	24"	18"	15"	12"	10"	8"	6"
12"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL
10"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL
8"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL
6"	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL	AVAIL

AVAIL - STANDARD HEADERS AVAILABLE

**STORMTECH MANIFOLD**

NOT TO SCALE

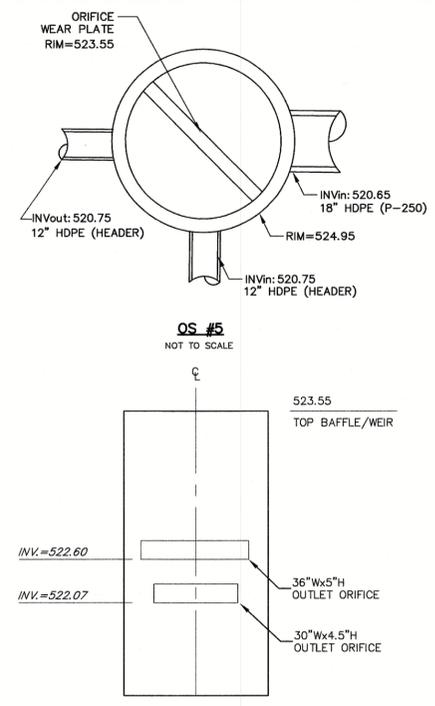


**SECTION A-A**  
PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL  
**SECTION A-A**  
PIPE OUTLET TO WELL-DEFINED CHANNEL

- NOTES:**
1. THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
  2. THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
  3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
  4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
  5. OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
  6. **MAINTENANCE:** THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.
  7. SPECIFIC RIP RAP APRON SIZING FOR EACH INDIVIDUAL LOCATION ARE SHOWN ON THE GRADING AND DRAINAGE PLANS.

**RIP RAP OUTLET PROTECTION APRON**

NOT TO SCALE



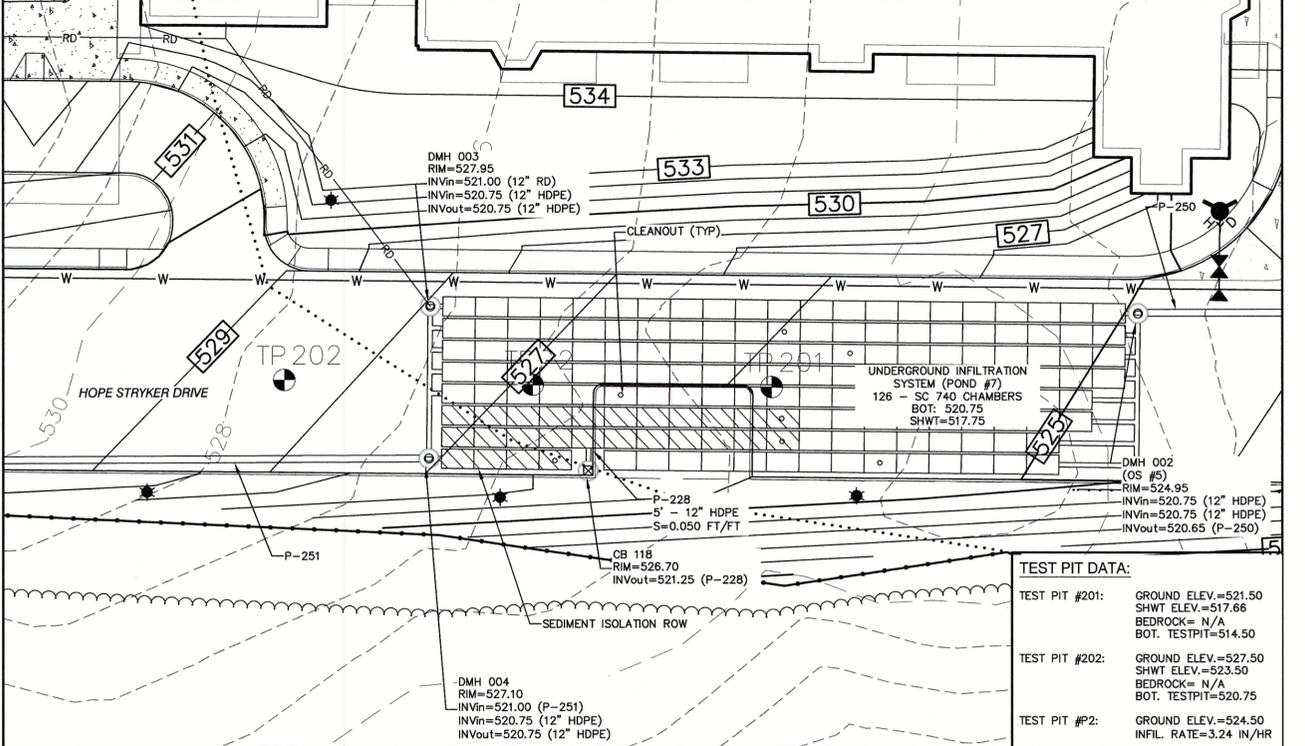
**BAFFLE/WEIR OS#5**  
NOT TO SCALE

**POND #7 - OUTLET STRUCTURE (OS #5)**

NOT TO SCALE

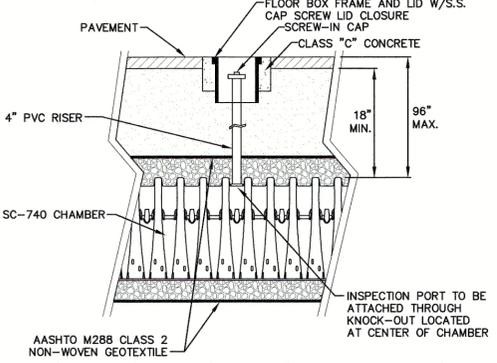
**STORMTECH GENERAL NOTES**

1. STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
2. STORMTECH OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICE DEPARTMENT OR LOCAL STORMTECH REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 860-529-8188 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
3. STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 24 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 6.5 FEET INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 6.5 FEET.
4. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
5. AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
6. STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
7. BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
8. THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
9. THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
10. STORMTECH PRODUCT WARRANTY IS LIMITED. CONTACT STORMTECH FOR WARRANTY INFORMATION.



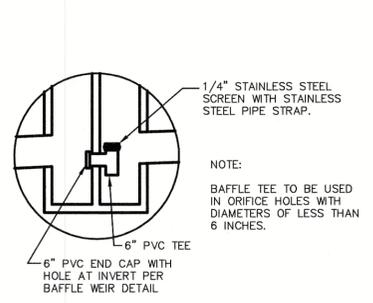
**UNDERGROUND INFILTRATION SYSTEM (POND #7) - DETAIL PLAN**

SCALE: 1"=20'



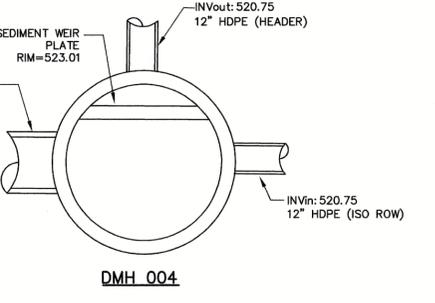
**STORMTECH SC-740 INSPECTION PORT DETAIL**

NOT TO SCALE



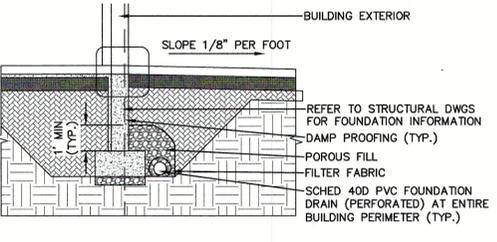
**BAFFLE TEE DETAIL**

NOT TO SCALE



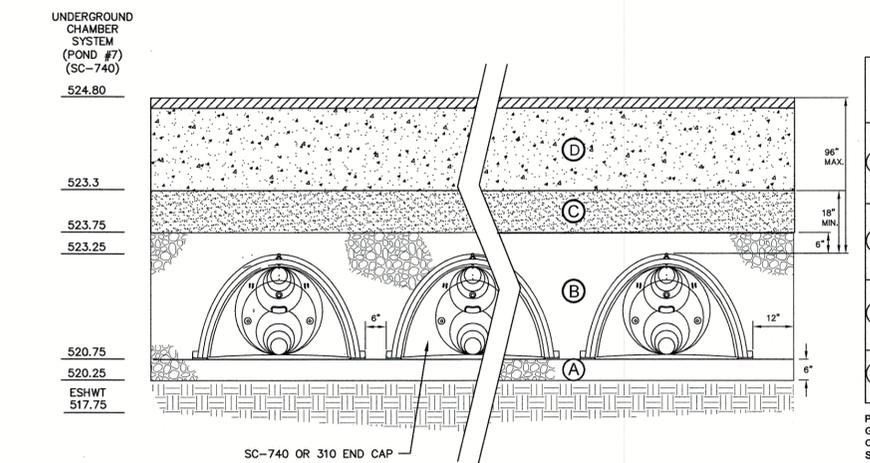
**POND #7 - ISOLATION ROW DRAIN MAIN HOLE DETAIL**

NOT TO SCALE



**FOUNDATION DRAIN**

NOT TO SCALE



**STORMTECH SC-740 CROSS-SECTION**

NOT TO SCALE

**ACCEPTABLE FILL MATERIALS  
STORMTECH SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
(D) PAVEMENT SUBGRADE, DEPTHS PER SPECIFICATIONS	PAVEMENT SUBGRADE, MATERIALS PER SPECIFICATIONS	N/A	N/A	PREPARE PER SPECIFICATIONS AND PLANS. PAVED INSTALLATIONS HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C) FILL MATERIAL FROM 6" ABOVE CHAMBERS TO BOTTOM OF PAVEMENT SUBGRADE	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1, A-2, A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
(B) EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/2" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
(A) 6" FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/2" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED, CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

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Design: BWG Draft: EMP Date: 7/3/18  
 Checked: WGM Scale: AS NOTED Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg

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0	7/3/2018	ISSUED FOR REVIEW	EMP

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 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

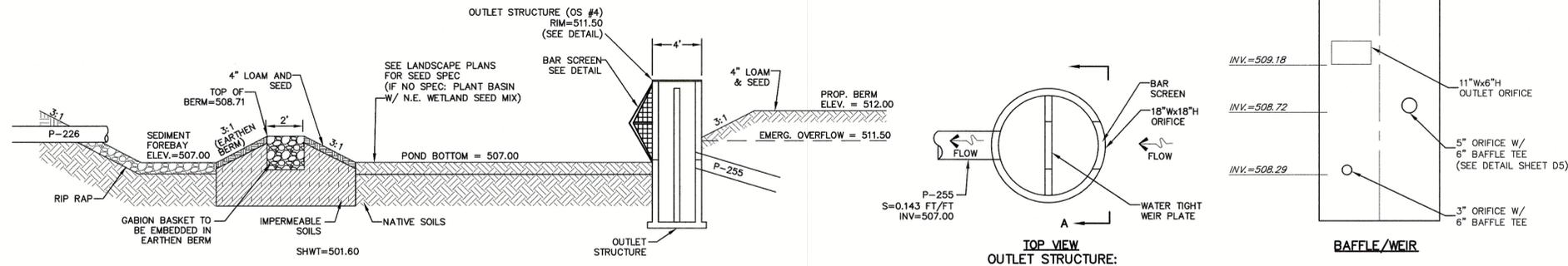
Plan Name: **DETAIL SHEET**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

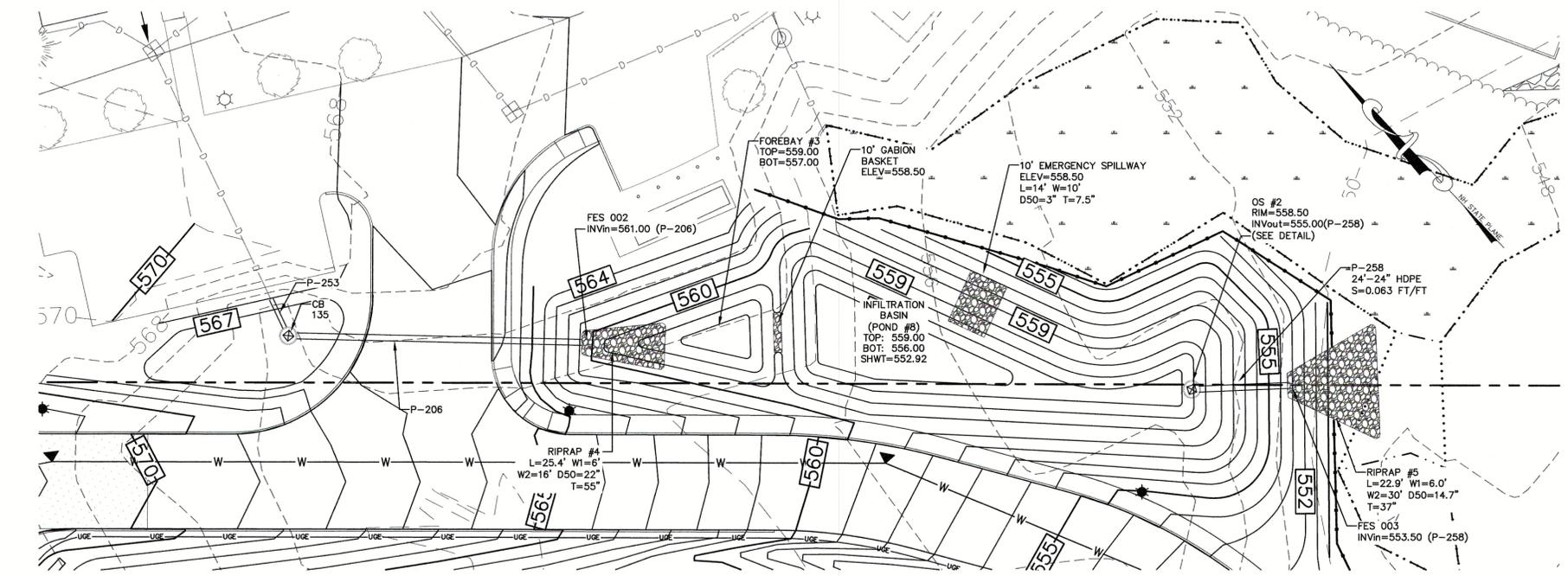
DRAWING No. **D5**

SHEET 29 OF 49  
 JBE PROJECT NO. 17190



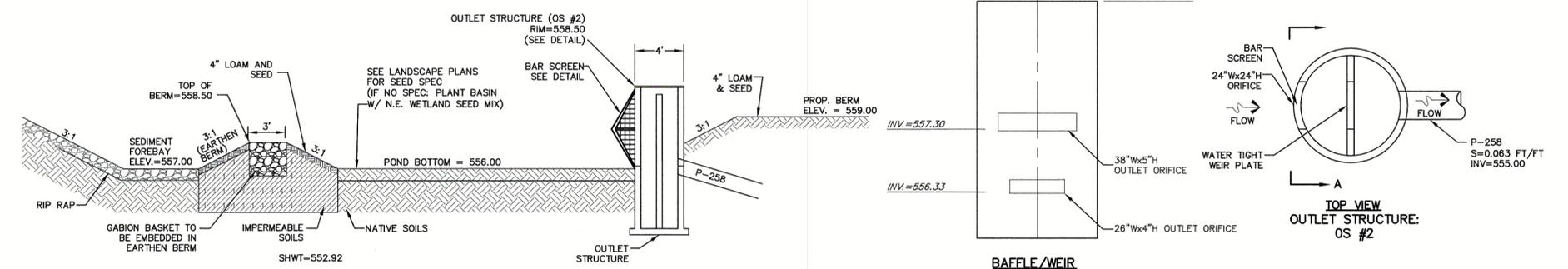
INFILTRATION BASIN (POND #6)

NOT TO SCALE



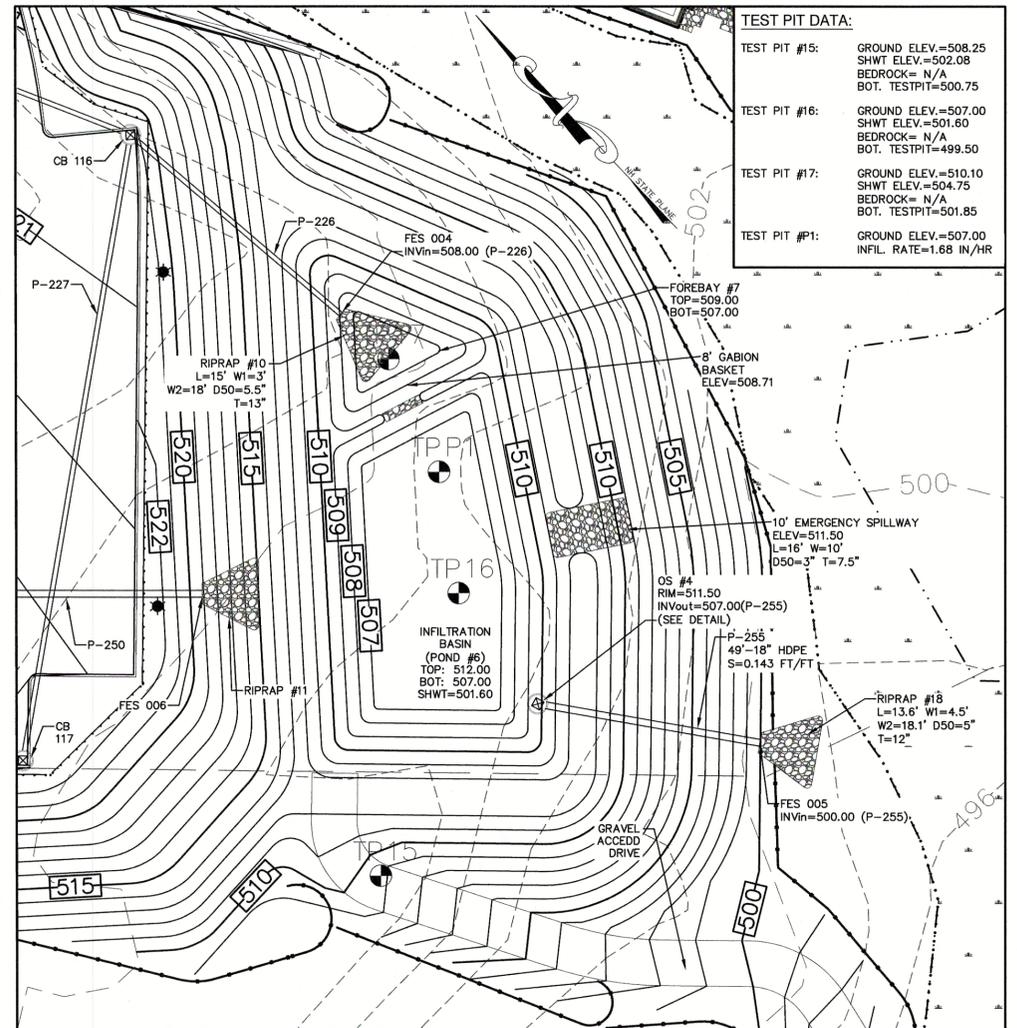
INFILTRATION BASIN (POND #8) - DETAIL PLAN

SCALE: 1"=20'



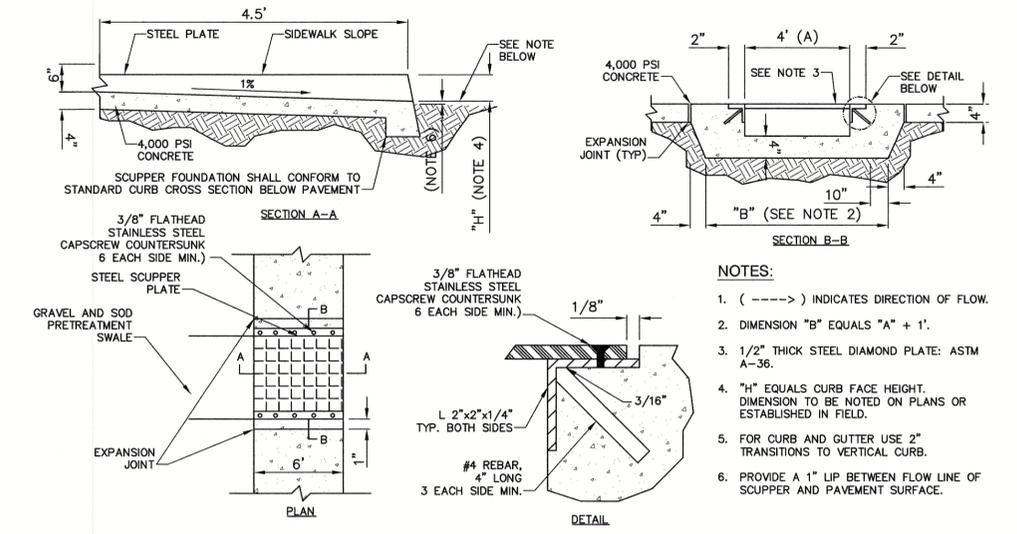
INFILTRATION BASIN (POND #8)

NOT TO SCALE



INFILTRATION BASIN (POND #6) - DETAIL PLAN

SCALE: 1"=20'



SIDWALK SCUPPER PLATE DETAIL

NOT TO SCALE

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
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0	7/3/2018	ISSUED FOR REVIEW	EMP

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**J/B Jones & Beach Engineers, Inc.**

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

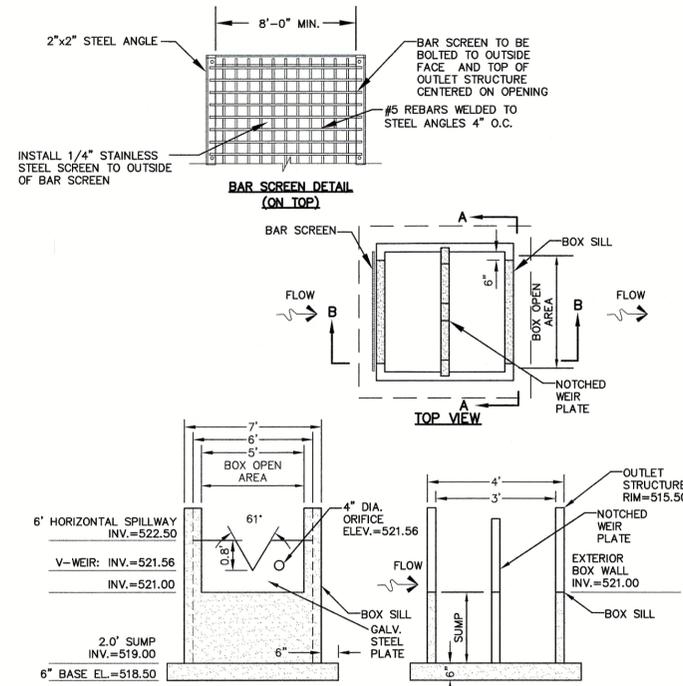
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.

**D6**

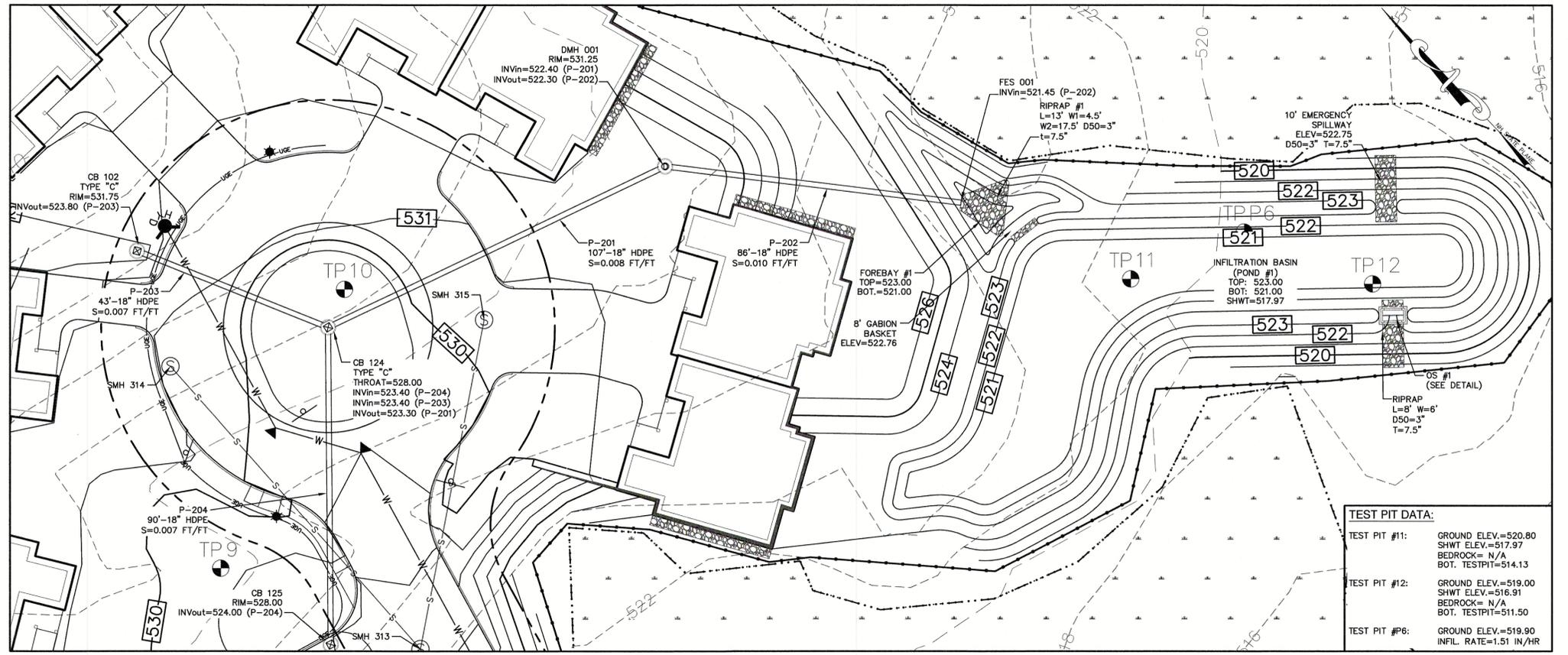
SHEET 30 OF 49  
JBE PROJECT NO. 17190



**NOTES:**  
 1. ALL OPENINGS TO BE FITTED WITH TRASH RACKS TO ENGINEER'S SPECIFICATIONS.  
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW AND APPROVAL.

**OUTLET STRUCTURE #1 (OS #1)**

NOT TO SCALE

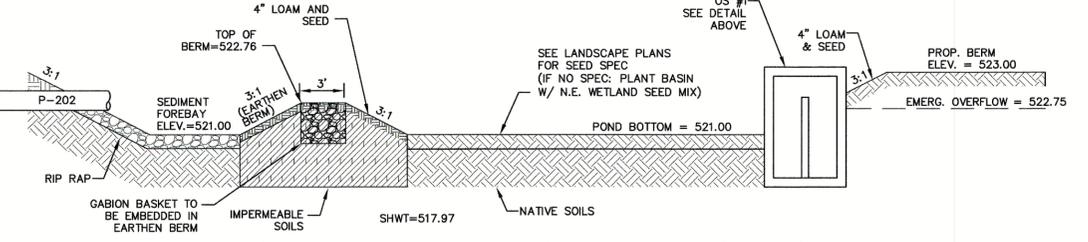


**INFILTRATION BASIN (POND #1) - DETAIL PLAN**

SCALE: 1"=20'

**TEST PIT DATA:**

TEST PIT #1:	GROUND ELEV.=520.80 SHWT ELEV.=517.97 BEDROCK= N/A BOT. TESTPIT=514.13
TEST PIT #12:	GROUND ELEV.=519.00 SHWT ELEV.=516.91 BEDROCK= N/A BOT. TESTPIT=511.50
TEST PIT #P6:	GROUND ELEV.=519.90 INFIL. RATE=1.51 IN/HR



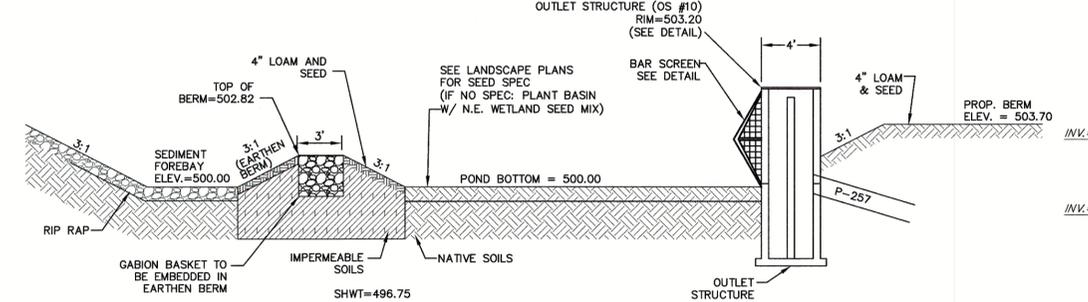
**INFILTRATION BASIN (POND #1)**

NOT TO SCALE

**SOIL MODIFICATION NOTES (POND #4):**

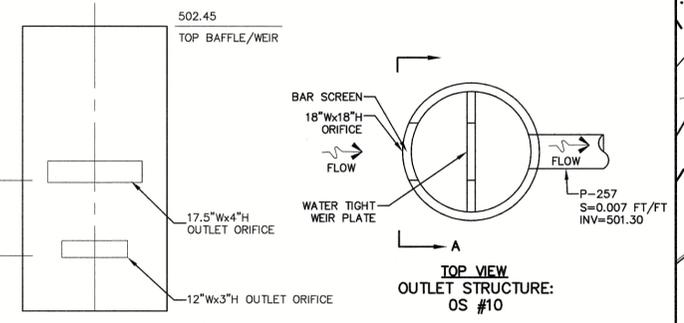
THE CONTRACTOR SHALL ADHERE TO THE FOLLOWING PROCEDURE IN REGARDS TO SOIL TO BE PLACED BENEATH THE PROPOSED INFILTRATION SYSTEMS (SOIL PLACED BENEATH SYSTEMS MUST HAVE INFILTRATION EQUAL TO OR LESS THAN 10 INCHES/HOUR):

- CONTRACTOR SHALL PROVIDE SOIL SAMPLES OF IN-SITU AND PROPOSED SOIL ADD-MIX TO THE PROJECT'S GEOTECHNICAL ENGINEER FOR TESTING PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER TO CREATE AN ENGINEERED MIX DESIGN UTILIZING IMPORTED CLAY/SILT MATERIAL AND ON-SITE SOILS TO CREATE A SOIL DESIGN WITH AN INFILTRATION RATE EQUAL TO OR LESS THAN 10 INCHES/HOUR.
- CONTRACTOR SHALL CONSULT WITH THE GEOTECHNICAL ENGINEER TO DETERMINE AN APPROPRIATE THICKNESS OF ENGINEERED, MIXED MATERIAL (MIN. 24") TO BE PLACED BENEATH EACH STORMWATER SYSTEM.
- AFTER INSTALLATION AND PRIOR TO THE INSTALLATION OF PIPES, CONTRACTOR TO COORDINATE ON-SITE PERCOLATION TESTS WITH THE GEOTECHNICAL ENGINEER TO CONFIRM THE SOIL INFILTRATION RATE IS EQUAL TO OR LESS THAN 10 INCHES/HOUR.



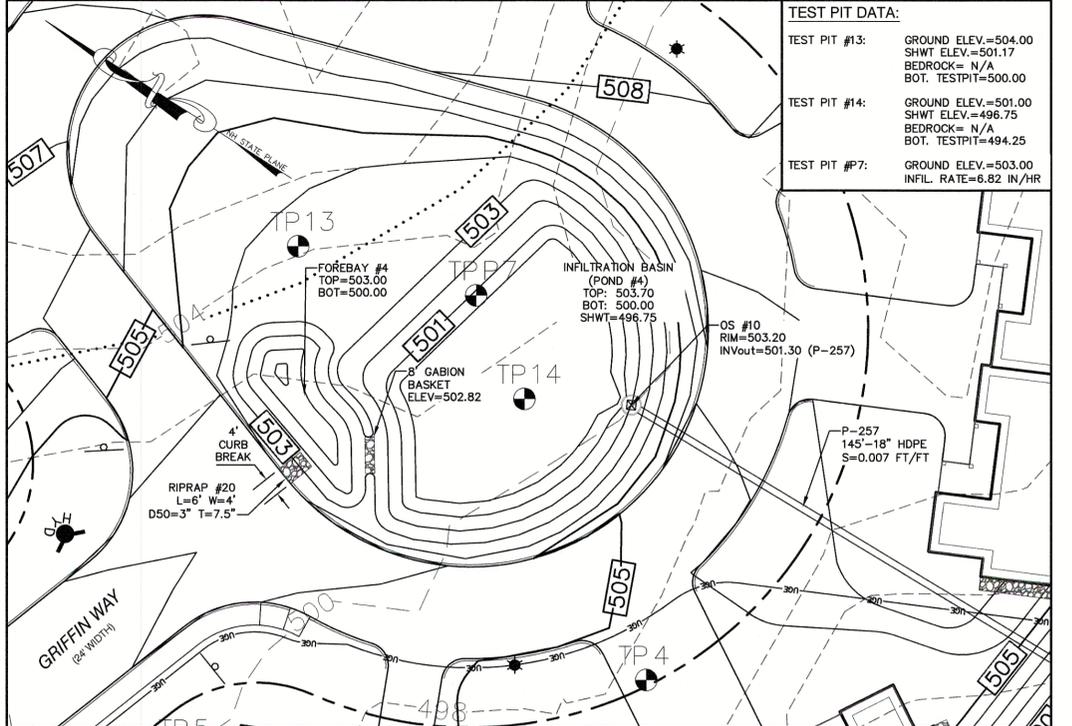
**INFILTRATION BASIN (POND #4)**

NOT TO SCALE



**BAFFLE/WEIR**

**TOP VIEW  
OUTLET STRUCTURE:  
OS #10**



**INFILTRATION BASIN (POND #4) - DETAIL PLAN**

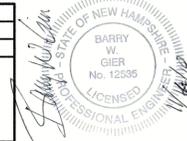
SCALE: 1"=20'

**TEST PIT DATA:**

TEST PIT #13:	GROUND ELEV.=504.00 SHWT ELEV.=501.17 BEDROCK= N/A BOT. TESTPIT=500.00
TEST PIT #14:	GROUND ELEV.=501.00 SHWT ELEV.=496.75 BEDROCK= N/A BOT. TESTPIT=494.25
TEST PIT #P7:	GROUND ELEV.=503.00 INFIL. RATE=6.82 IN/HR

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Design: BWG	Draft: EMP	Date: 7/3/18
Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
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0	7/3/2018	ISSUED FOR REVIEW	EMP

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**J/B Jones & Beach Engineers, Inc.**

Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

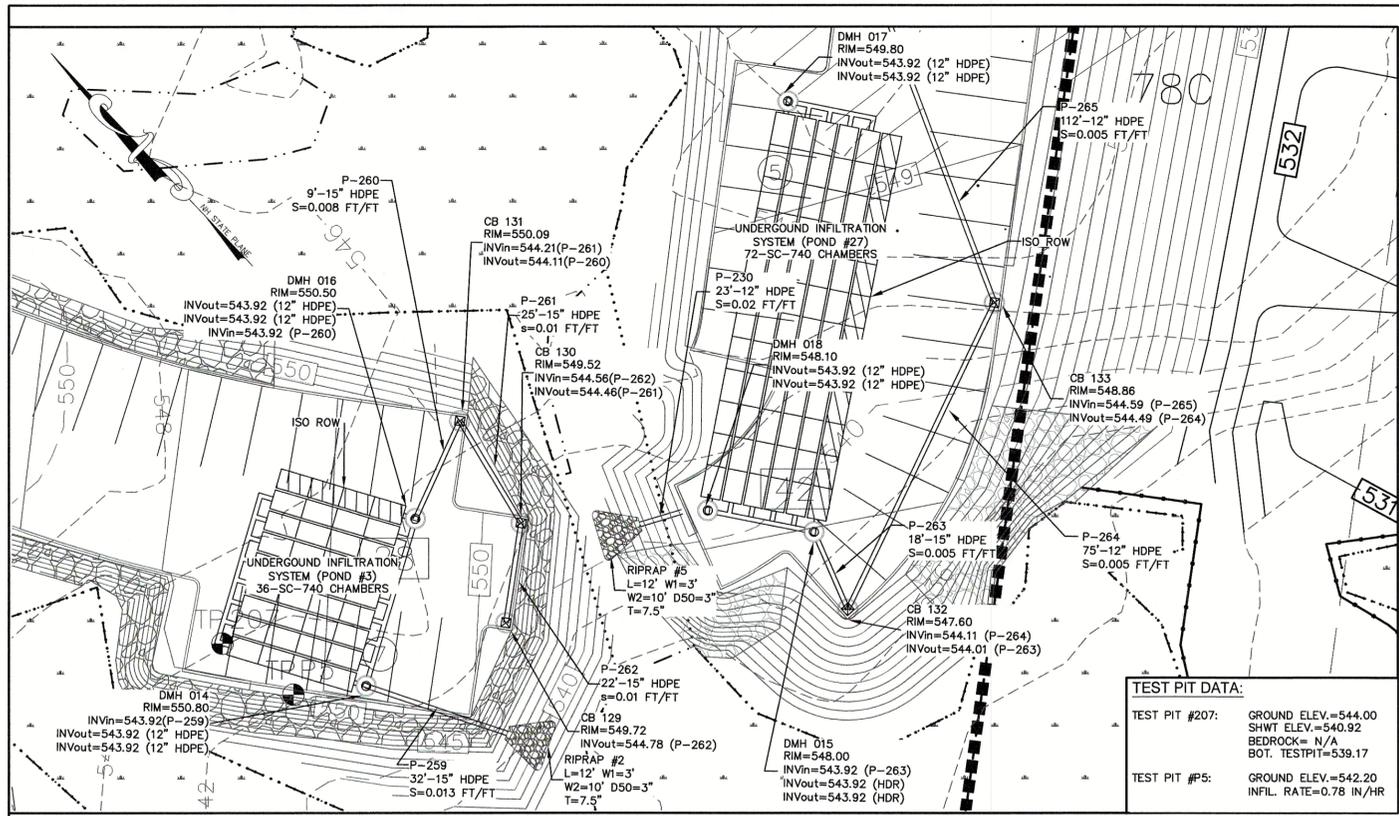
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.

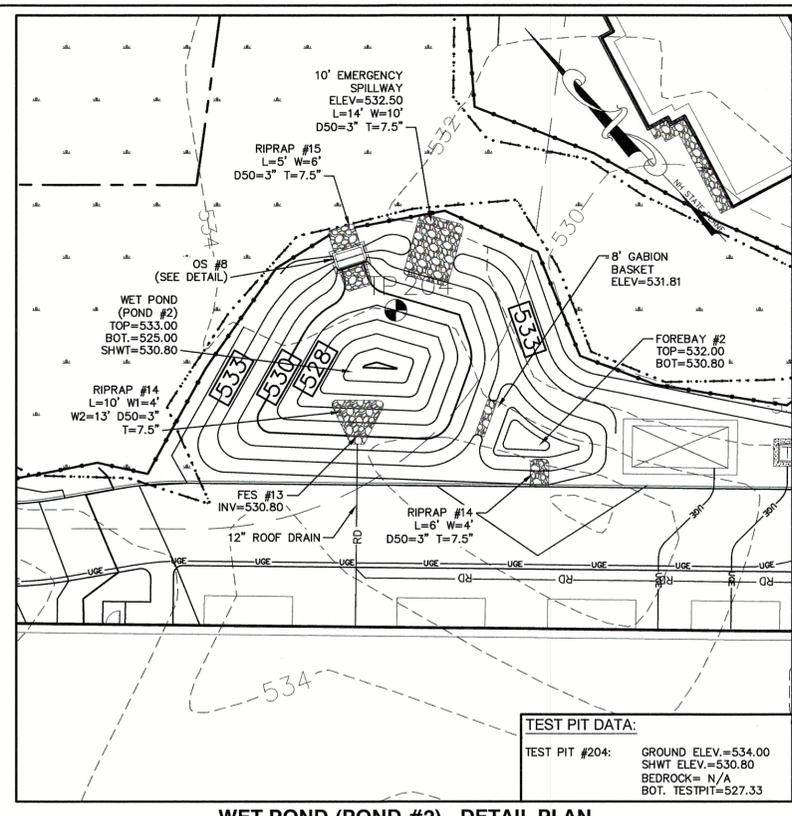
**D7**

SHEET 31 OF 49  
JBE PROJECT NO. 17190



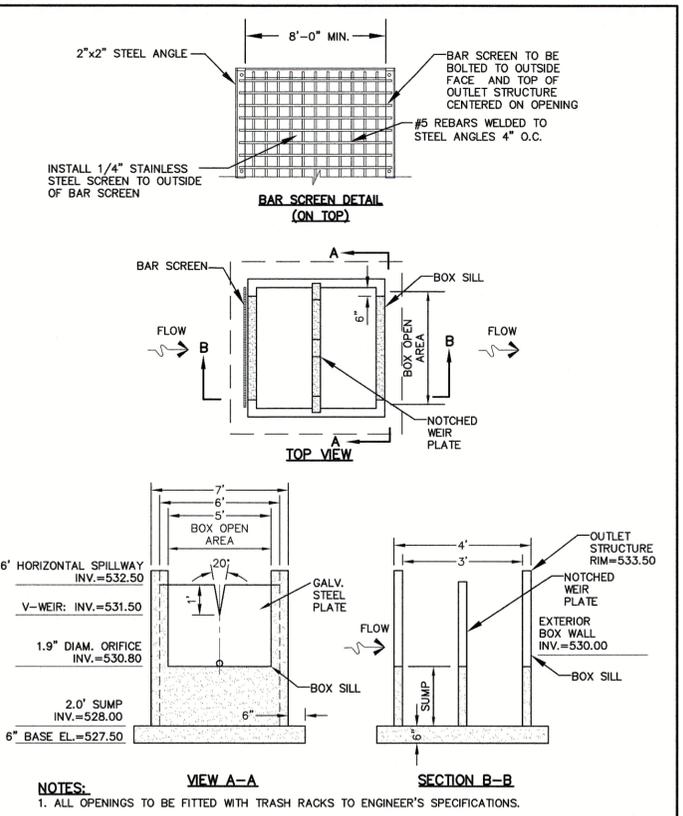
**UNDERGROUND INFILTRATION SYSTEM (POND #3 & POND #27) - DETAIL PLAN**

SCALE: 1"=20'



**WET POND (POND #2) - DETAIL PLAN**

SCALE: 1"=20'

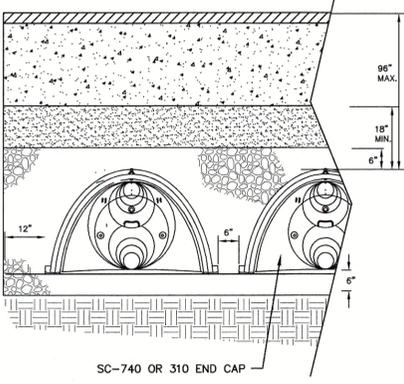


- NOTES:**
1. ALL OPENINGS TO BE FITTED WITH TRASH RACKS TO ENGINEER'S SPECIFICATIONS.
  2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER REVIEW AND APPROVAL.

**OUTLET STRUCTURE #8**

NOT TO SCALE

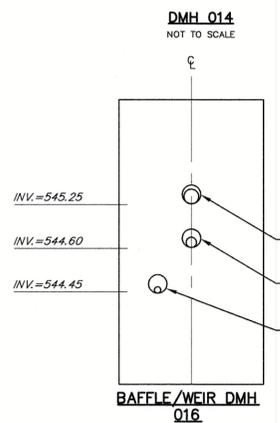
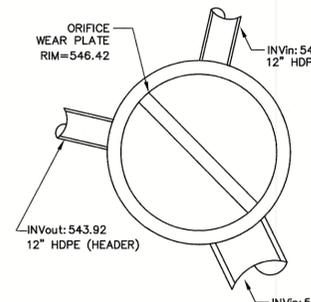
UNDERGROUND CHAMBER SYSTEM (POND #3) (SC-740)	UNDERGROUND CHAMBER SYSTEM (POND #27) (SC-740)
550.50	548.00
547.92	547.92
546.92	546.92
546.42	546.42
543.92	543.92
543.42	543.42
540.92	540.92



NOTE: FOR ADDITIONAL STORMTECH INFORMATION SEE SHEET D5

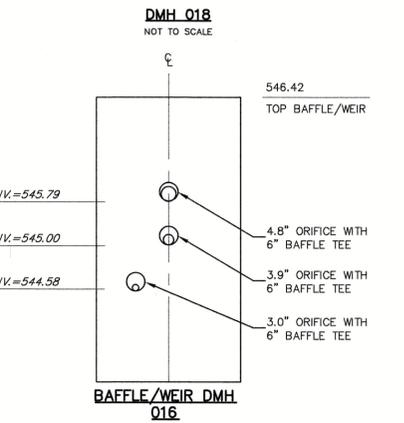
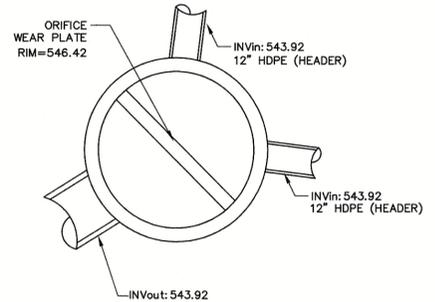
**STORMTECH SC-740 CROSS-SECTION**

NOT TO SCALE



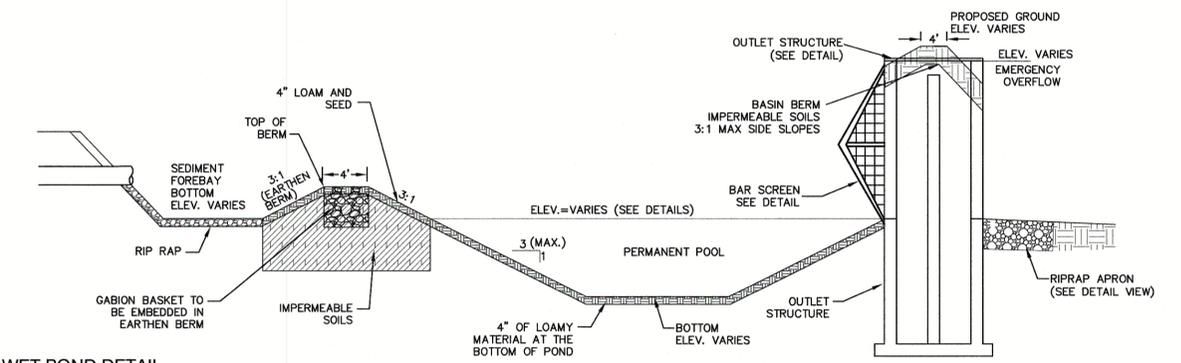
**POND #3 - OUTLET STRUCTURE (DMH 014)**

NOT TO SCALE



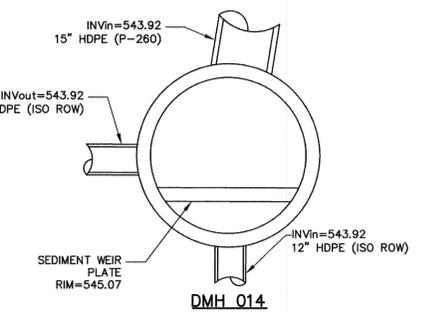
**POND #27 - OUTLET STRUCTURE (DMH 018)**

NOT TO SCALE



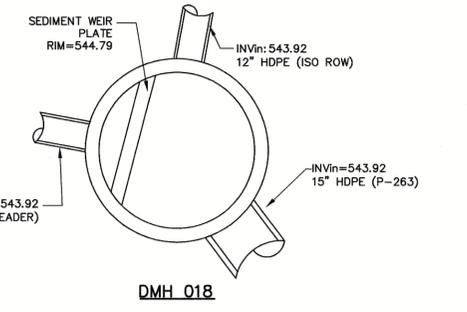
**WET POND DETAIL**

NOT TO SCALE



**POND #3 - ISOLATION ROW DRAIN MAIN HOLE DETAIL**

NOT TO SCALE



**POND #27 - ISOLATION ROW DRAIN MAIN HOLE DETAIL**

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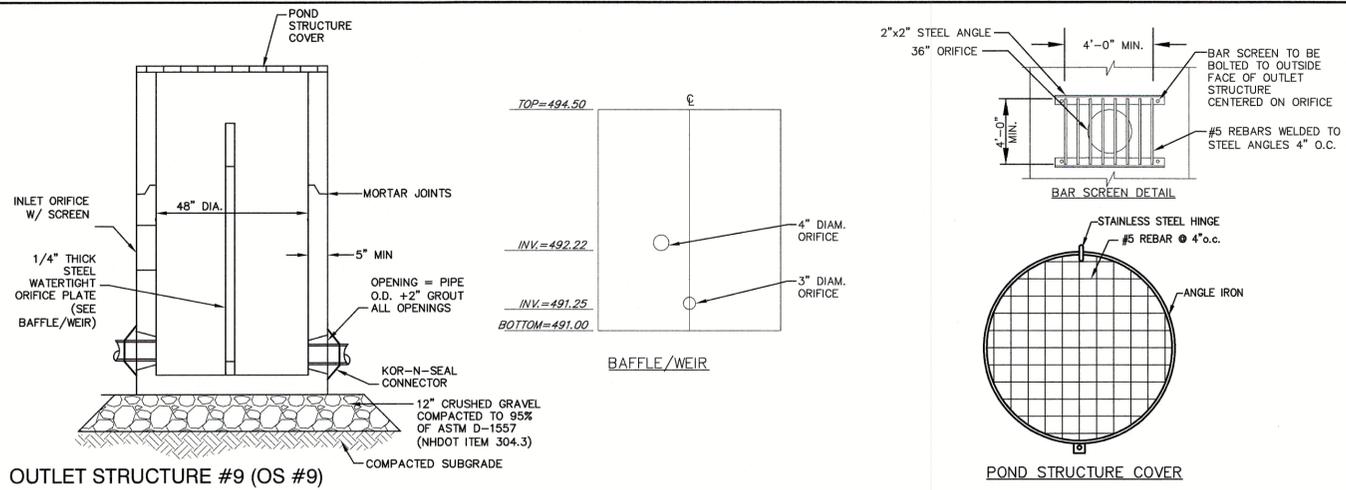
Plan Name:	<b>DETAIL SHEET</b>
Project:	<b>"NEW LONDON PLACE" COUNTY ROAD &amp; PARKSIDE ROAD, NEW LONDON, NH</b>
Owner of Record:	<b>NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257</b>

DRAWING No.

**D8**

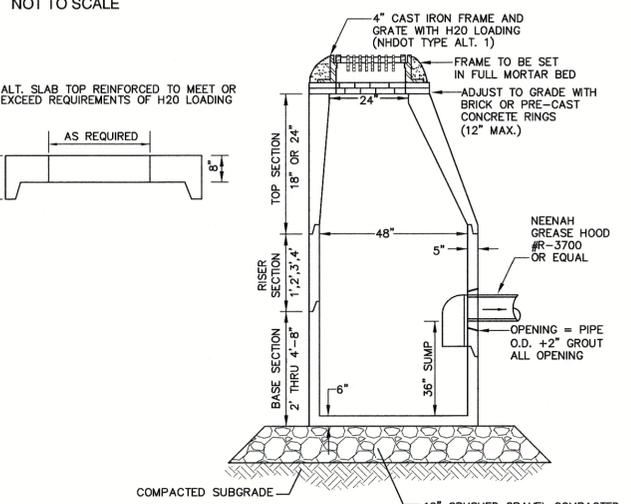
SHEET 32 OF 49  
JBE PROJECT NO. 17190

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**OUTLET STRUCTURE #9 (OS #9)**

NOT TO SCALE



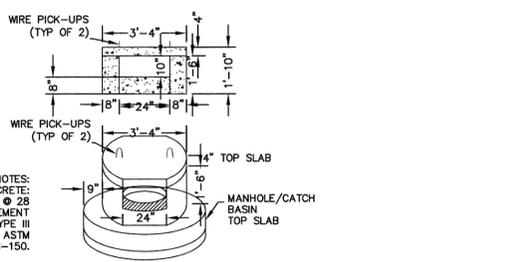
**WET POND CONSTRUCTION CRITERIA**

- CONSTRUCTION OF WET PONDS TO BE WITNESSED BY THE DESIGNER (OR HIS/HER REPRESENTATIVE). AT COMPLETION OF CONSTRUCTION DESIGNER SHALL PROVIDE LETTER TO THE TOWN INDICATING THE CONSTRUCTION WAS IN CONFORMANCE WITH THE DESIGN INTENT.
- FOUNDATION PREPARATION -- THE FOUNDATION AREA SHALL BE CLEARED OF TREES LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, TOPSOIL AND SOD SHALL BE STOCKED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL. EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPEMED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FILL PLACEMENT -- THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATTER. THE ENTIRE EMBANKMENT AREA OF THE DETENTION POND SHALL BE EXCAVATED A MINIMUM 2' BELOW THE POND BOTTOM, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 92% OF ASTM D-1557, AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED FOR ANY REASON.
- EMBANKMENT MATERIAL SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: #4 SIEVE 40-90%, #40 SIEVE 50-80%, #100 SIEVE 25-40%, #200 SIEVE 15-30% (OF THE TOTAL SAMPLE).
- SELECTED BACK FILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS AND ANTI SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES, TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL -- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION -- CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
- PROTECTION -- A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS SUCH AS MULCHES OR GRAVEL MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
- SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.
- CONCRETE -- THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUB GRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
- BERMS AND WEIRS SEPARATING THE FOREBAY AND BASIN SHOULD BE CONSTRUCTED WITH CLAY, OR NON-CONDUCTIVE SOILS, AND/OR A FINE GEOTEXTILE, OR SOME COMBINATION THEREOF, TO AVOID WATER SEEPAGE AND SOIL PIPING THROUGH THESE EARTHEN DIVIDERS.

- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
  - ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
  - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
  - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
  - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
  - ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
  - STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
  - ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

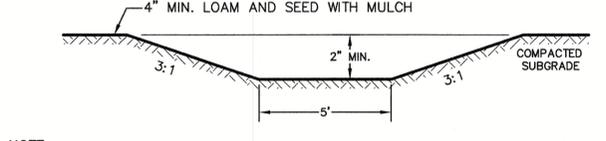
**CATCH BASIN WITH GREASE HOOD**

NOT TO SCALE



**NHDOT CATCH BASIN TYPE "C" THROAT**

NOT TO SCALE



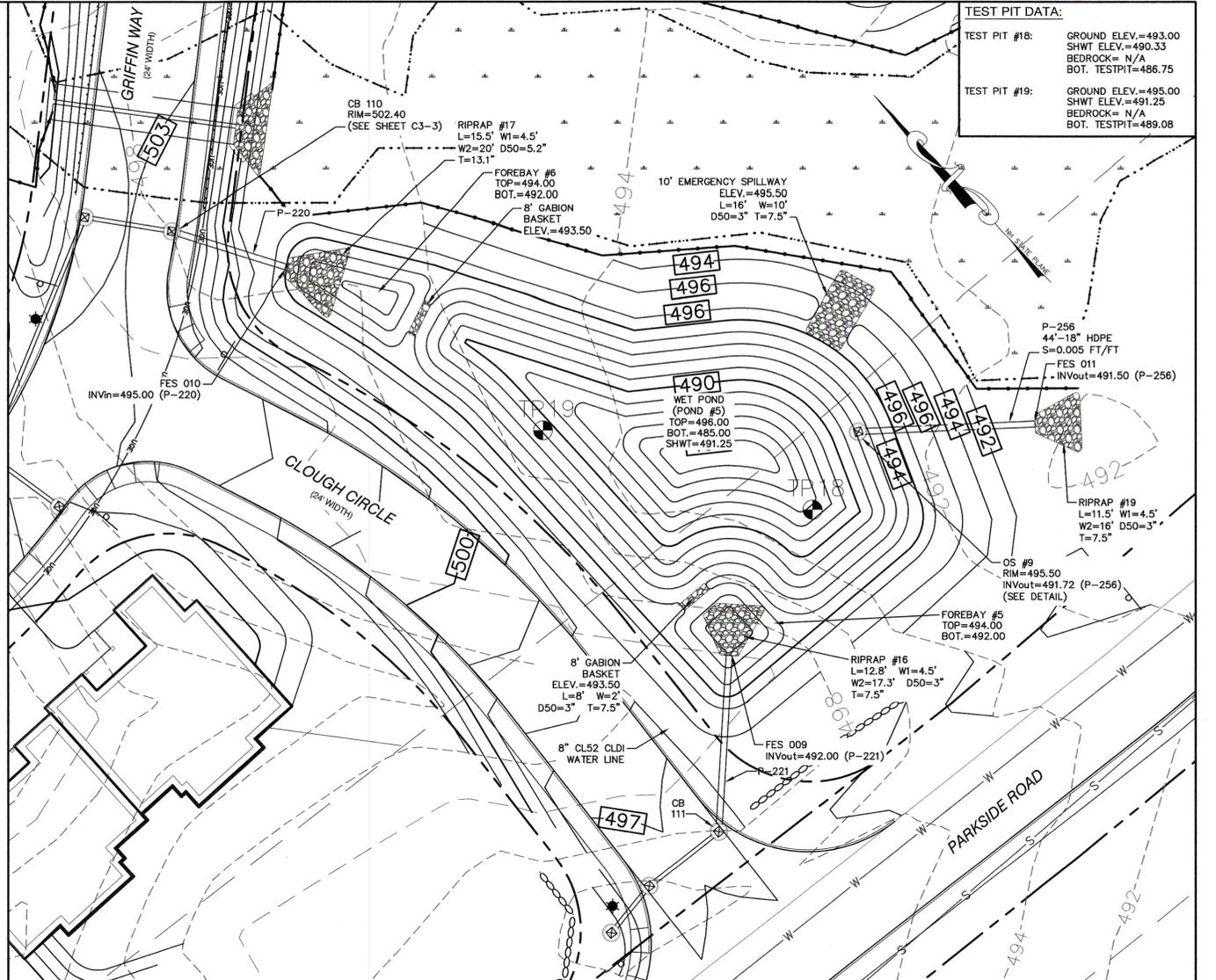
**NOTE:**

- ALL VEGETATED TREATMENT SWALES ARE TO BE STABILIZED WITH NORTH AMERICAN GREEN 'BIO-NET' SERIES C125BN EROSION CONTROL BLANKET SECURED WITH BIODEGRADABLE 'BIO' OR 'ECO-STAKES'.

REACH	LENGTH	WIDTH	SLOPE
R13	244'	10'	.013

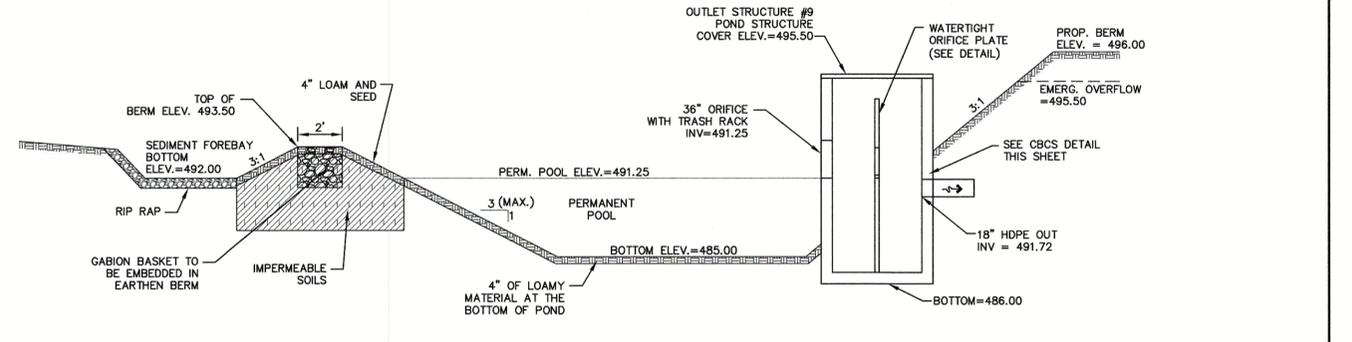
**VEGETATED PRE-TREATMENT SWALE**

NOT TO SCALE



**WET POND (POND #5) - DETAIL PLAN**

SCALE: 1"=20'



**WET POND #5 SECTION**

NOT TO SCALE

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Design: BWG Draft: EMP Date: 7/3/18  
 Checked: WGM Scale: AS NOTED Project No.: 17190  
 Drawing Name: 17190-PLAN.dwg

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Plan Name: **DETAIL SHEET**

Project: **"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH**

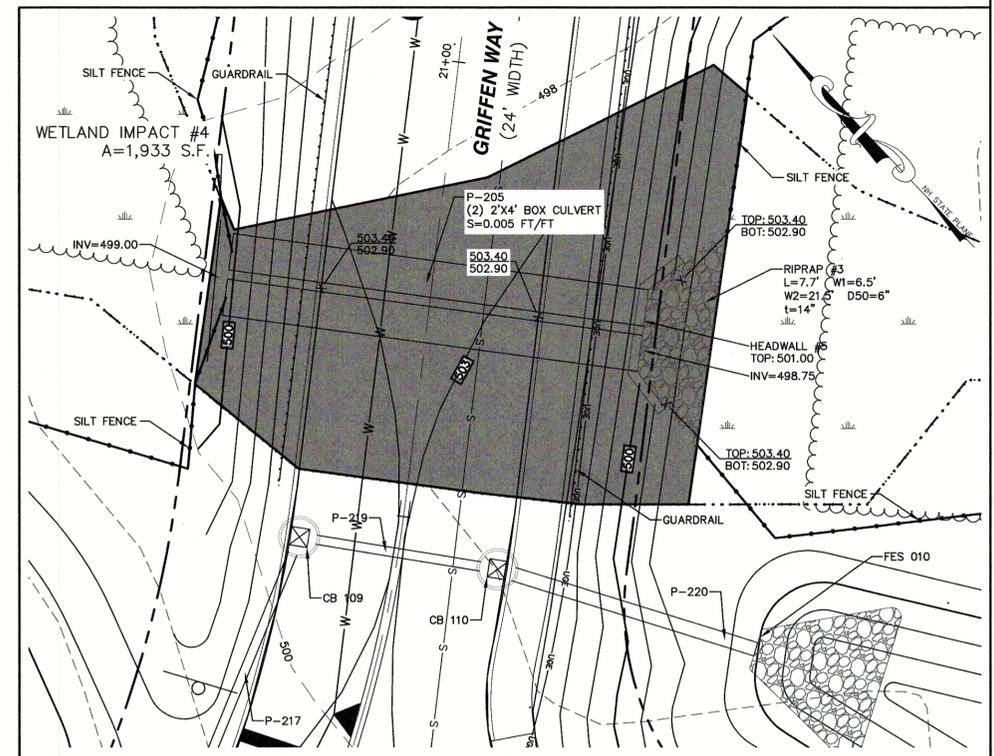
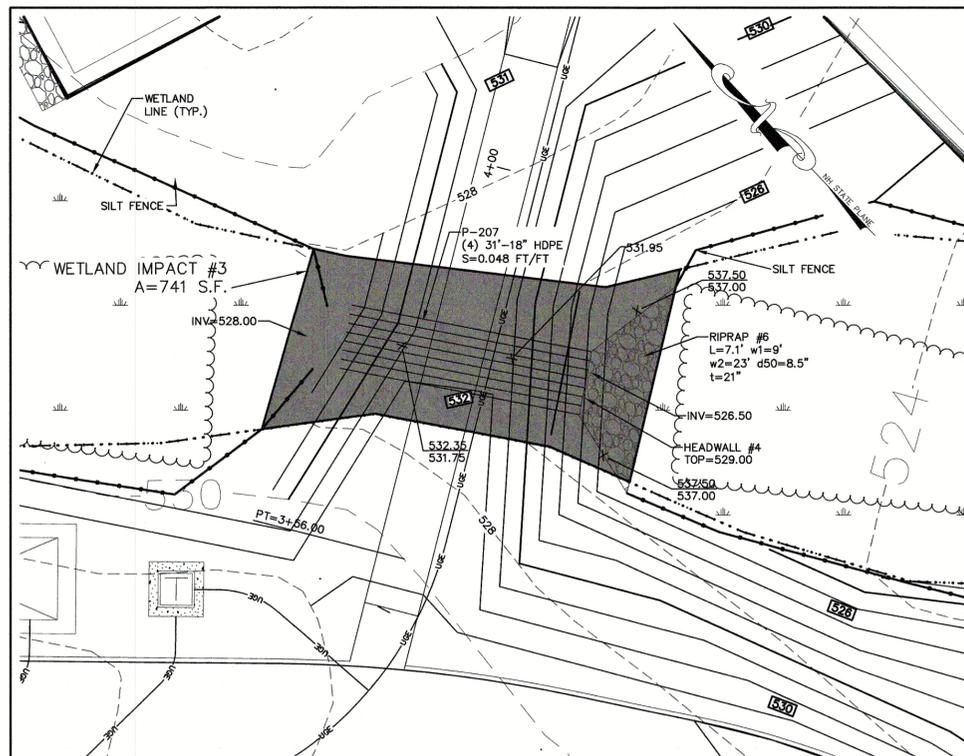
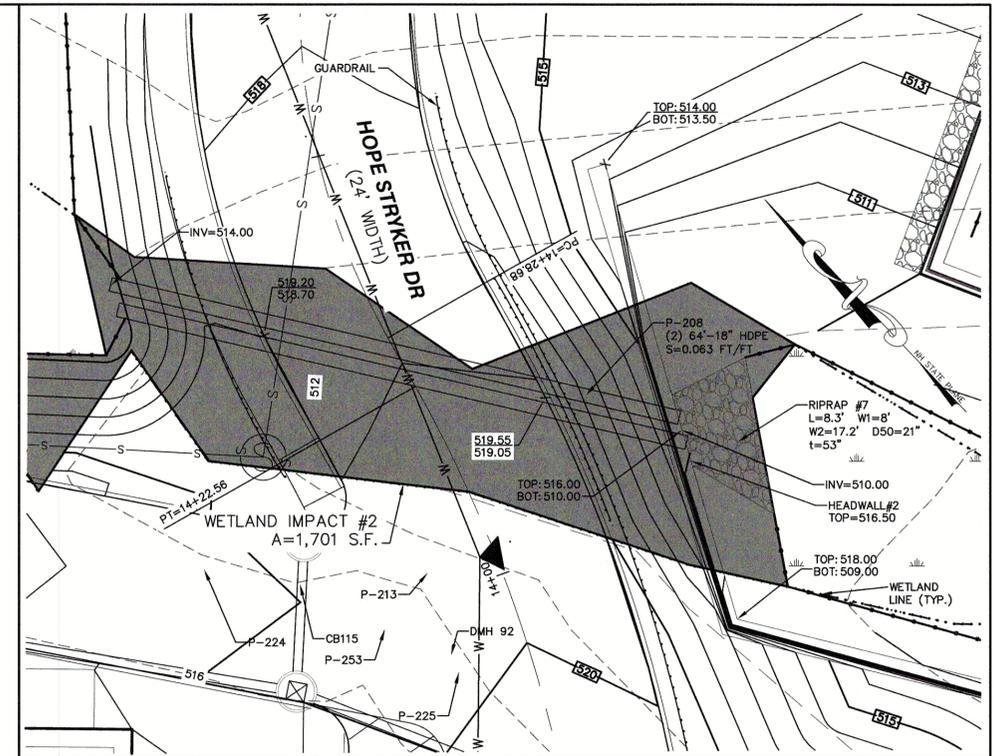
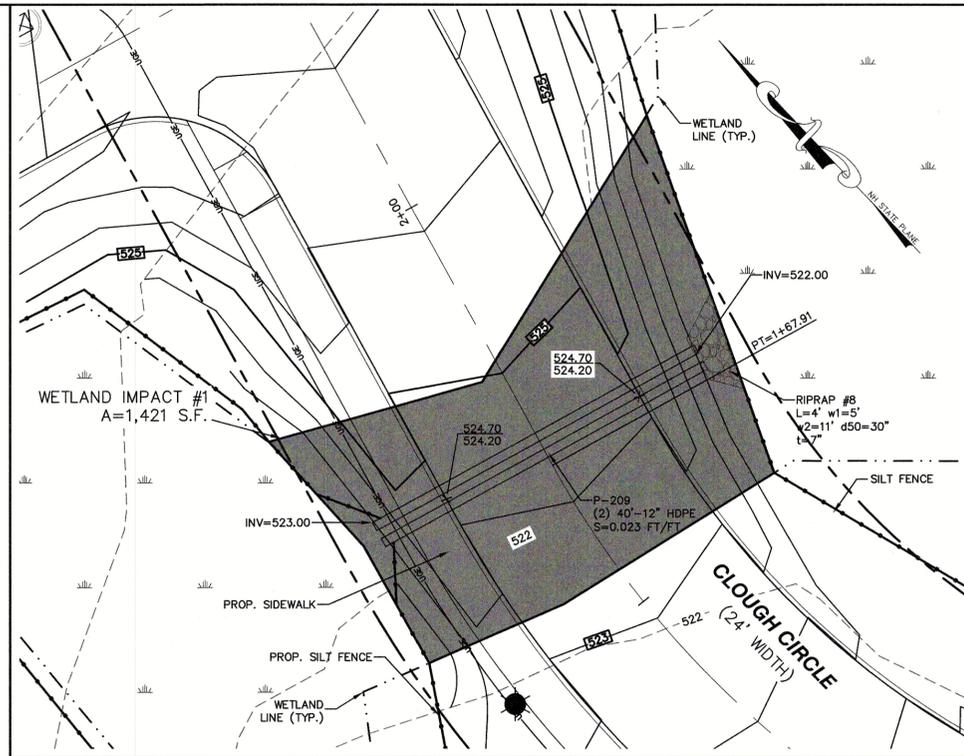
Owner of Record: **NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257**

DRAWING No. **D9**

SHEET 33 OF 49  
 JBE PROJECT NO. 17190

**BEST MANAGEMENT PRACTICES FOR BLASTING.**

- ALL ACTIVITIES RELATED TO BLASTING SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMPs) TO PREVENT CONTAMINATION OF GROUNDWATER INCLUDING: PREPARING, REVIEWING AND FOLLOWING AN APPROVED BLASTING PLAN; PROPER DRILLING, EXPLOSIVE HANDING AND LOADING PROCEDURES; OBSERVING THE ENTIRE BLASTING PROCEDURES; EVALUATING BLASTING PERFORMANCE; AND HANDLING AND STORAGE OF BLASTED ROCK.
  - LOADING PRACTICES. THE FOLLOWING BLASTHOLE LOADING PRACTICES TO MINIMIZE ENVIRONMENTAL EFFECTS SHALL BE FOLLOWED:
    - DRILLING LOGS SHALL BE MAINTAINED BY THE DRILLER AND COMMUNICATED DIRECTLY TO THE BLASTER. THE LOGS SHALL INDICATE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED AS WELL AS GROUNDWATER CONDITIONS.
    - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON-SITE SO THAT THEY ARE EITHER USED IN THE BOREHOLE, RETURNED TO THE DELIVERY VEHICLE, OR PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL.
    - SPILLAGE AROUND THE BOREHOLE SHALL EITHER BE PLACED IN THE BOREHOLE OR CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL.
    - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND SHALL NOT BE LEFT IN THE BLASTHOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED.
    - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT.
    - EXPLOSIVES SHALL BE LOADED TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. INDUSTRY ACCEPTED LOADING PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE NEED TO BE ATTENDED TO.
  - EXPLOSIVE SELECTION. THE FOLLOWING BMPs SHALL BE FOLLOWED TO REDUCE THE POTENTIAL FOR GROUNDWATER CONTAMINATION WHEN EXPLOSIVES ARE USED:
    - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION.
    - EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT TO MINIMIZE THE POTENTIAL FOR HAZARDOUS EFFECT OF THE PRODUCT UPON GROUNDWATER.
  - PREVENTION OF MISFIRES. APPROPRIATE PRACTICES SHALL BE DEVELOPED AND IMPLEMENTED TO PREVENT MISFIRES.
  - MUCK PILE MANAGEMENT. MUCK PILES (THE BLASTED PIECES OF ROCK) AND ROCK PILES SHALL BE MANAGED IN A MANNER TO REDUCE THE POTENTIAL FOR CONTAMINATION BY IMPLEMENTING THE FOLLOWING MEASURES:
    - REMOVE THE MUCK PILE FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
    - MANAGE THE INTERACTION OF BLASTED ROCK PILES AND STORMWATER TO PREVENT CONTAMINATION OF WATER SUPPLY WELLS OR SURFACE WATER.
  - SPILL PREVENTION MEASURES AND SPILL MITIGATION. SPILL PREVENTION AND SPILL MITIGATION MEASURES SHALL BE IMPLEMENTED TO PREVENT THE RELEASE OF FUEL AND OTHER RELATED SUBSTANCES TO THE ENVIRONMENT. THE MEASURES SHALL INCLUDE AT A MINIMUM:
    - THE FUEL STORAGE REQUIREMENTS SHALL INCLUDE:
      - STORAGE OF REGULATED SUBSTANCES ON AN IMPERVIOUS SURFACE.
      - SECURE STORAGE AREAS AGAINST UNAUTHORIZED ENTRY.
      - LABEL REGULATED CONTAINERS CLEARLY AND VISIBLY.
      - INSPECT STORAGE AREAS WEEKLY.
      - COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS.
      - WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS.
      - SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
    - THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
      - EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED.
      - PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS.
      - HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS.
      - USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES.
      - PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
    - THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
    - FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT WILL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES [NOTE THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB 22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT OR ITS SUCCESSOR DOCUMENT.



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Designed and Produced in NH

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Plan Name:	<b>DETAIL SHEET</b>
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	<b>D10</b>
SHEET 34 OF 49 JBE PROJECT NO. 17190	

**TEMPORARY EROSION CONTROL NOTES**

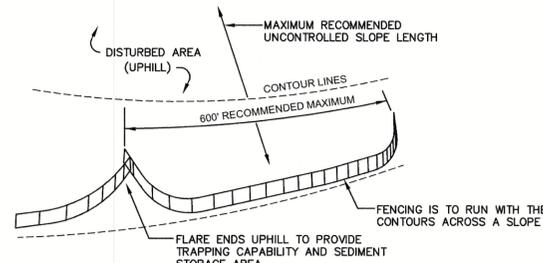
- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.25" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.
- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
  - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF EARTH MOVING ACTIVITIES UNTIL THE SITE IS STABLE.
  - DURING THIS PERIOD, THE MONITOR SHALL INSPECT THE SUBJECT SITE AT LEAST ONCE A WEEK, AND IF POSSIBLE, DURING ANY 0.25 INCH OR GREATER RAIN EVENT (I.E. 0.25 INCH OF PRECIPITATION OR MORE WITHIN A 24 HOUR PERIOD). IF UNABLE TO BE PRESENT DURING SUCH A STORM, THE MONITOR SHALL INSPECT THE SITE WITHIN 24 HOURS OF THIS EVENT.
  - THE MONITOR SHALL PROVIDE TECHNICAL ASSISTANCE AND RECOMMENDATIONS TO THE CONTRACTOR ON THE APPROPRIATE BEST MANAGEMENT PRACTICES FOR EROSION AND SEDIMENT CONTROLS REQUIRED TO MEET THE REQUIREMENTS OF RSA 485 A:17.
- DEWATERING OF PROPOSED SITE FEATURES SHALL BE ACCOMPLISHED THROUGH THE USE OF GRAVITY FLOW OR VIA MECHANICAL PUMPS.
  - SEDIMENT LADEN WATERS FROM DEWATERING PROCEDURES SHALL BE DIRECTED TO A SEDIMENT TRAP OR A SEDIMENT BAG TO REMOVE SEDIMENT PRIOR TO DISCHARGE TO SURFACE WATERS.
  - SEE SEDIMENT TRAP DETAIL DEPICTED ON SHEET E2 FOR FURTHER GUIDANCE ON SEDIMENT TRAP CONSTRUCTION AND OPERATION.

**SEEDING GUIDE**

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL	20 20 2 42	0.45 0.45 0.05 0.95
B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH OR FLAT PEA TOTAL	15 10 15 30 40 OR 55	0.35 0.25 0.35 0.75 0.95 OR 1.35
C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFLOIL TOTAL	20 20 8 48	0.45 0.45 0.20 1.10
D. TALL FESCUE FLAT PEA TOTAL	20 30 50	0.45 0.75 1.20
E. CREEPING RED FESCUE 1/ KENTUCKY BLUEGRASS 1/2 TOTAL	50 50 100	1.15 1.15 2.30
F. TALL FESCUE 1	150	3.60

1/2 FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

**SEEDING RATES**



- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

**MAINTENANCE:**

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

**CONSTRUCTION SPECIFICATIONS:**

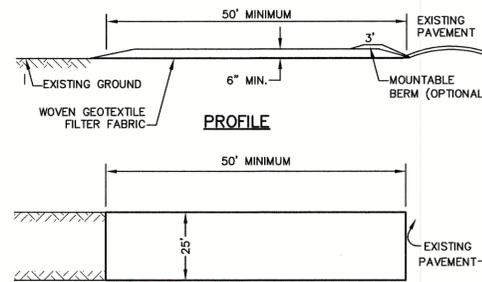
- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
- SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

**SILT FENCE**

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**SEEDING SPECIFICATIONS**

- GRADING AND SHAPING**
  - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
  - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
  - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
  - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
  - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED: AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT. NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT. PHOSPHATE(P205), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT. POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT. (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
  - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
  - REFER TO THE "SEEDING GUIDE" AND "SEEDING RATES" TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT, TREFLOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
  - WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
  - SALT MARSH HAY, STRAW, OR OTHER APPROVED MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
  - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. SALT MARSH HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
  - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
  - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
  - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.



**NOTES:**

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

**STABILIZED CONSTRUCTION ENTRANCE**

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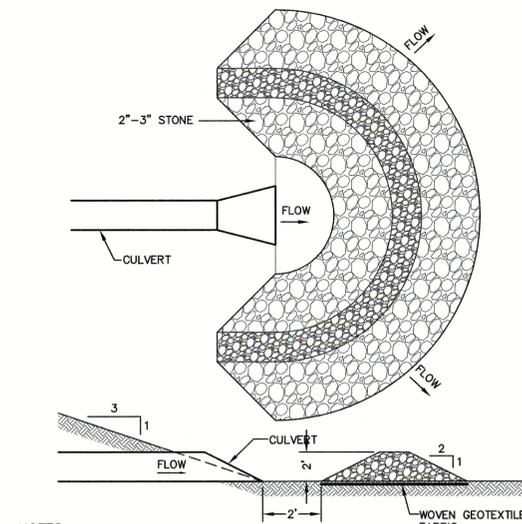
**CONSTRUCTION SEQUENCE**

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, SALT MARSH HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM. DEWATERING AND WETLAND FILL TO FOLLOW DEWATERING PHASE PLANS E#1-E#3.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF "SELECT" SUBGRADE MATERIALS.
- PAVE ALL PARKING LOTS AND ROADWAYS WITH INITIAL "BASE COURSE".
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH "FINISH" COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED\* WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

\*=STABILIZED: IN A CONDITION IN WHICH THE SOILS ON THE SITE WILL NOT ERODE UNDER THE CONDITIONS OF A 10-YEAR STORM. (NHAOT ENV-EQ 1502.54)

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

GRAVEL PIT. SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.  
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.  
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.  
NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.



**NOTES:**

- TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURE SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH THE PROPOSED RIP RAP FIELD. AREAS OUTSIDE THE RIP RAP FIELD ARE TO BE VEGETATED AND SMOOTHED.

**TEMPORARY CULVERT OUTLET PROTECTION CHECK DAM**

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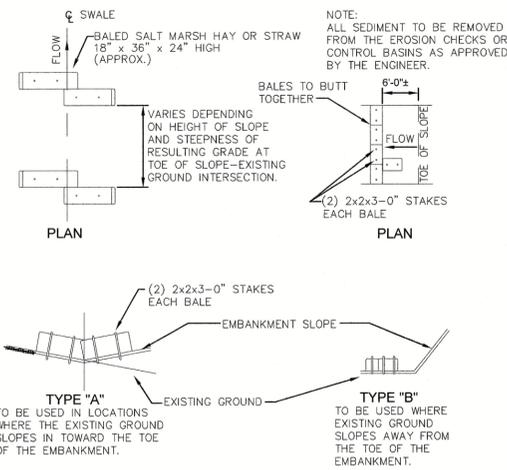
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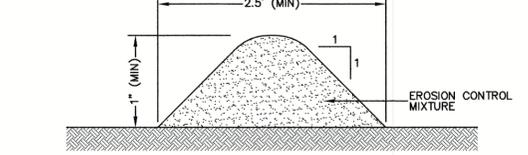
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Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	E1
SHEET 35 OF 49	JBE PROJECT NO. 17190



**BALED HAY OR STRAW EROSION CHECK DETAIL**

NOT TO SCALE

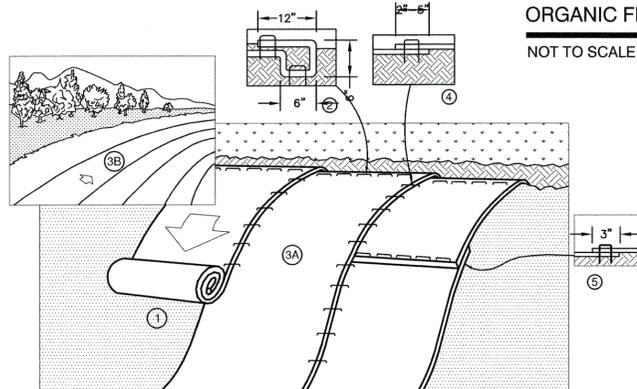


**NOTES:**

- ORGANIC FILTER BERMS MAY BE UTILIZED IN LIEU OF SILT FENCE, UNLESS OTHERWISE SPECIFIED.
- THE EROSION CONTROL MIX USED IN THE FILTER BERMS SHALL BE A WELL-GRADED MIXTURE OF PARTICLE SIZES, MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER, STUMP GRINDINGS, SHREDDED OR COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS, AND SHALL BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH, AND SHALL MEET THE FOLLOWING STANDARDS:
  - THE ORGANIC CONTENT SHALL BE 80-100% OF DRY WEIGHT.
  - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN, AND 70-85% PASSING A 0.75" SCREEN.
  - THE ORGANIC PORTION SHALL BE FIBROUS AND ELONGATED.
  - LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS SHALL NOT BE INCLUDED IN THE MIXTURE.
  - SOLUBLE SALTS CONTENT SHALL BE >4.0mmhos/cm.
  - THE pH SHALL BE BETWEEN 5.0 AND 8.0.
- ORGANIC FILTER BERMS SHALL BE INSTALLED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
- ON SLOPES LESS THAN 5%, OR AT THE BOTTOM OF SLOPES STEEPER THAN 3:1, UP TO 20' LONG, THE BERM SHALL BE A MINIMUM OF 12" HIGH (AS MEASURED ON THE UPHILL SIDE), AND A MINIMUM OF 36" WIDE. ON LONGER OR STEEPER SLOPES, THE BERM SHALL BE WIDER TO ACCOMMODATE THE POTENTIAL ADDITIONAL RUNOFF.
- FROZEN GROUND, OUTCROPS OF BEDROCK, AND VERY ROOTED FORESTED AREAS PRESENT THE MOST PRACTICAL AND EFFECTIVE LOCATIONS FOR ORGANIC FILTER BERMS. OTHER BMP'S SHOULD BE USED AT LOW POINTS OF CONCENTRATED RUNOFF, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS, AND AT THE BOTTOM OF STEEP PERIMETER SLOPES THAT HAVE A LARGE CONTRIBUTING AREA.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURES MAY BE LEFT IN PLACE ONCE THE SITE IS STABILIZED.

**ORGANIC FILTER BERM**

NOT TO SCALE



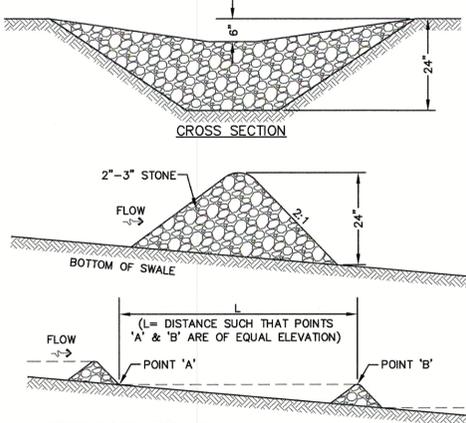
**NOTES:**

- EROSION CONTROL BLANKET SHALL BE BIONET S75 AS PRODUCED BY NORTH AMERICAN GREEN (OR AN EQUIVALENT NATURAL MATERIAL MATTING APPROVED IN WRITING BY THE ENGINEER).
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

**NORTH AMERICAN GREEN**  
14649 HIGHWAY 41 NORTH  
EVANSVILLE, INDIANA 47725  
1-800-772-2040

**EROSION CONTROL BLANKET SLOPE INSTALLATION**  
(North American Green)

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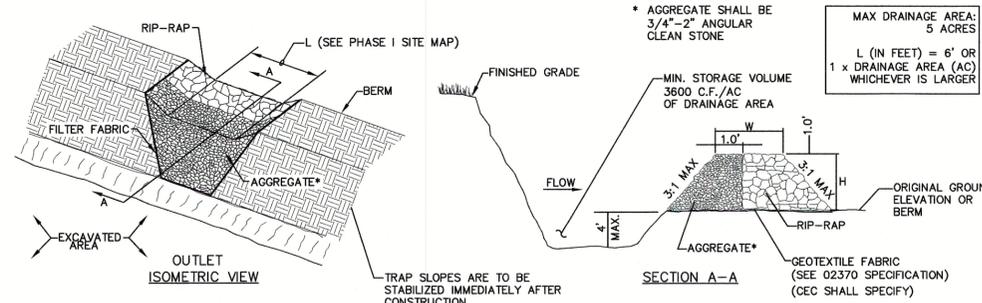


**STONE CHECK DAM**

NOT TO SCALE

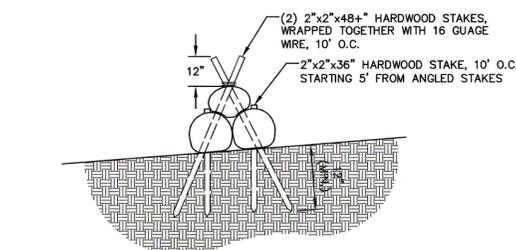
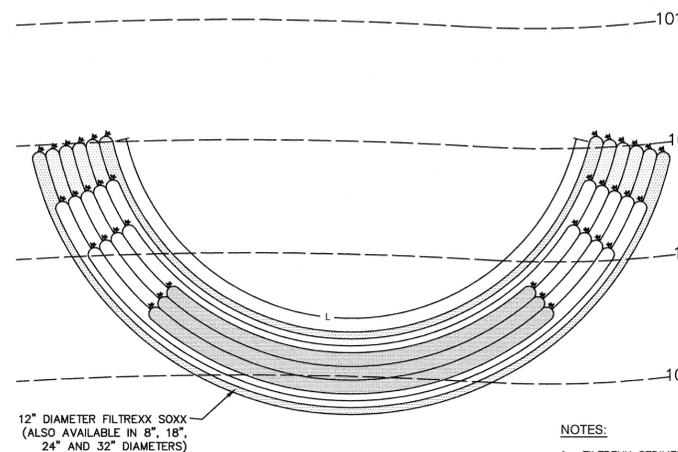
**MAINTENANCE NOTE:**

- STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDING AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.



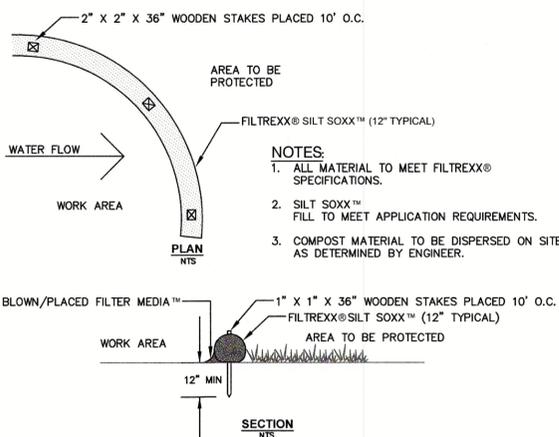
**TEMPORARY SEDIMENT TRAP**

NOT TO SCALE



**FILTREXX SEDIMENT TRAP DETAIL**

NOT TO SCALE



**FILTREXX® SILT SOXX™**

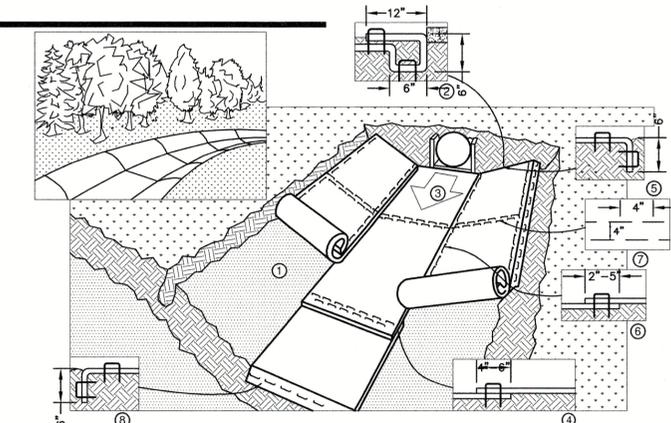
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**GENERAL NOTES:**

- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE OF SEDIMENT AS POSSIBLE.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
- THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER, AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
- THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
- THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OFF AND STABILIZED.

**NOTES:**

- FILTREXX SEDIMENT TRAP MUST BE INSTALLED BY FILTREXX CERTIFIED INSTALLER.
- FILTREXX SEDIMENT TRAP MUST COMPLY WITH ALL FILTREXX STANDARD SPECIFICATIONS.
- FILTREXX SEDIMENT TRAP MUST USE FILTREXX FILTERMEDIA.
- FILTREXX SEDIMENT TRAP BARRIER FACE SIZING SHALL USE  $Q(0.98QM/PER\ SF\ OF\ AREA\ FACE) = A(0-5L/SEC/SQ.M)$
- FILTREXX SEDIMENT TRAP BARRIER FACE SHALL BE MEASURED AS  $A=L*W$ .
- FILTREXX SEDIMENT TRAP SHALL BE CONSTRUCTED SO THAT THE MINIMUM BASE WIDTH IS EQUIVALENT TO THE HEIGHT (1H:1V).
- SEDIMENT ACCUMULATION SHALL NOT EXCEED 1/2 THE HEIGHT OF THE BARRIER.
- FILTREXX SEDIMENT TRAP SHALL BE INSPECTED AND MAINTAINED AFTER STORM EVENTS.
- FILTREXX SEDIMENT TRAP AT THE BASE OF THE SOXX SHALL BE OF LARGER DIAMETER AT THE BASE OF THE SEDIMENT TRAP AND DECREASE IN DIAMETER FOR SUCCESSIVE LAYERS.
- ENDS OF THE SEDIMENT TRAP SHALL BE A MINIMUM 1 FT (30 CM) HIGHER IN ELEVATION THAN THE MID-SECTION, WHICH SHALL BE AT THE LOWEST ELEVATION.
- BOTTOM LAYER OF SOXX SHALL BE STAKED WITH 2X2X36" WOODEN STAKES. SUCCESSIVE LAYERS SHALL BE STAKED WITH 1/2" REBAR AT A 45 DEGREE ANGLE.

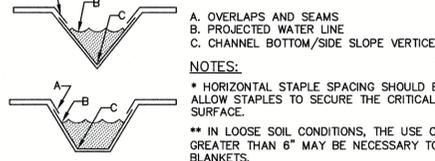


**NOTES:**

- EROSION CONTROL BLANKET SHALL BE BIONET S75 AS PRODUCED BY NORTH AMERICAN GREEN (OR AN EQUIVALENT NATURAL MATERIAL MATTING APPROVED IN WRITING BY THE ENGINEER).
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED. TO INSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.
- IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

**NORTH AMERICAN GREEN**  
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EVANSVILLE, INDIANA 47725  
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**CRITICAL POINTS:**



**NOTES:**

- A. OVERLAPS AND SEAMS
  - B. PROJECTED WATER LINE
  - C. CHANNEL BOTTOM/SIDE SLOPE VERTICES
- NOTE: HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE. \*\* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

**EROSION CONTROL BLANKET SWALE INSTALLATION**  
(North American Green)

NOT TO SCALE

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Checked: WGM	Scale: AS NOTED	Project No.: 17190
Drawing Name: 17190-PLAN.dwg		
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REV.	DATE	REVISION	BY
2	11/16/2018	REVISED PER TOWN COMMENTS	EMP
1	9/10/2018	ISSUED FOR AOT REVIEW	EMP
0	7/3/2018	ISSUED FOR REVIEW	EMP

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

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Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	"NEW LONDON PLACE" COUNTY ROAD & PARKSIDE ROAD, NEW LONDON, NH
Owner of Record:	NEW LONDON HOSPITAL ASSOCIATION 273 COUNTY ROAD, NEW LONDON, NH 03257

DRAWING No.	E2
SHEET 36 OF 49	JBE PROJECT NO. 17190