

## Lucy St. John

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**From:** Pierre Bedard <pjbedard1@hotmail.com>  
**Sent:** Wednesday, September 07, 2016 9:55 AM  
**To:** Lucy St. John  
**Subject:** 29 Boulder Point, TM 15 P 002-000  
**Attachments:** Approval DOC\_20160824101155.pdf; 8-11-16 BATH HOUSE RESTORATION.dwg.pdf; Carr boathouse deck mod seq.docx; Carr Boathouse Plan Modification 001.jpg; Carr Restorations photos.pdf; Restoration narative.docx

Lucy,

Attached is the Restoration Plan and Approval letter from the state.

Thanks,

Pierre

**Pierre J. Bedard & Associates, P.C.**  
P.O. Box 238  
Wilmot, NH 03287  
603 526-4928  
[pjbedard1@hotmail.com](mailto:pjbedard1@hotmail.com)  
[www.pierrejbedard.com](http://www.pierrejbedard.com)



The State of New Hampshire  
DEPARTMENT OF ENVIRONMENTAL SERVICES



Thomas S. Burack, Commissioner

**RESTORATION PLAN APPROVAL**

August 24, 2016

Raul & Karen LLC  
12 Academy St #4  
New Haven, CT 06511

**RE: Land Resources Management File #2015-03302 (EMD 3105), 29 Boulder Point, New London, Tax Map 15/ Lot Number 2**

Dear Raul & Karen LLC:

On August 8, 2016 the Department of Environmental Services (DES) Land Resources Management Program received a proposed site restoration plan (the Restoration Plan) for the above-referenced property. This site has been the subject of DES enforcement action. DES hereby approves the Restoration Plan as submitted, subject to the following specific conditions. If there is a conflict between the Restoration Plan and this Restoration Plan Approval, the Restoration Plan Approval will control.

1. **By October 30, 2016** approximately 30 linear feet / approximately 120 square feet of fill (stone) shall be removed from the bed and bank of Lake Sunapee and the "bump-out" in the decking over Lake Sunapee shall be removed per the Restoration Plan and all project descriptive details submitted to DES on August 8, 2016 by Pierre J. Bedard and Associates, P.C.
2. The restoration shall be conducted according to the Restoration Plan and as conditioned by this Restoration Plan Approval. Any changes or alterations to the Restoration Plan must be requested in writing and approved by DES in writing prior to implementing any such changes or alterations.
3. All persons involved in restoration activities on the Property shall have read and become familiar with the provisions of the Restoration Plan and this Restoration Plan Approval prior to beginning restoration work on the Property. A copy of the Restoration Plan and this Restoration Plan Approval shall be kept posted at the Property during the time restoration work continues on the Property.
4. A qualified environmental consultant shall supervise the restoration activities on the Property to ensure that the restoration is accomplished pursuant to this Restoration Plan Approval.
5. Siltation, erosion, and turbidity controls shall be in place prior to construction, shall be maintained during construction, and shall remain until the area is stabilized.
6. All steps shall be taken during the restoration necessary to ensure that no water quality violations occur on the Property.
7. No machinery shall be used within undisturbed DES jurisdictional areas on the Property during the restoration
8. All material removed during restoration activities shall be placed out of DES's jurisdiction.

DES Web site: [www.des.nh.gov](http://www.des.nh.gov)

P.O. Box 95, 29 Hazen Drive, Concord, New Hampshire 03302-0095

Telephone: (603) 271-3501 • Fax: (603) 271-6683 • TDD Access: Relay NH 1-800-735-2964

9. The qualified environmental consultant shall inspect the restoration area and submit a monitoring report with photographs to DES by **November 4, 2016**. The monitoring report shall include, but not be limited to, documentation of erosion control deployment, construction sequencing, restoration activities and status of restoration at time of initial monitoring report. Photographs should depict all stages of restoration sequencing.

10. This Restoration Plan Approval does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others.

11. This Restoration Plan Approval does not relieve the owner from the obligation to obtain other local, state or federal permits that may be required.

12. Transfer of ownership of the Property shall require notification to DES and an agreement on transfer of the rights and obligations of this Restoration Plan Approval, if required, prior to such transfer of ownership.

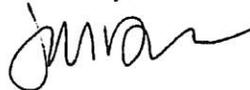
DES personnel may conduct another inspection at a later date to determine compliance with the provisions of the approved restoration plan and all other applicable DES statutes and rules.

Following completion of the restoration work, monitoring reports should reference DES File Number 2015-03302 (EMD 3105) and should be addressed as follows:

Jen Drociak, Compliance Specialist  
Department of Environmental Services  
Land Resource Management Program  
29 Hazen Drive, PO Box 95  
Concord, NH 03302-0095

If you have any questions concerning the contents of this Restoration Plan Approval letter, please contact me at (603) 271-4062 or via e-mail at [jen.drociak@des.nh.gov](mailto:jen.drociak@des.nh.gov).

Sincerely,



Jen Drociak  
Compliance Specialist  
Land Resource Management Program

cc: New London Conservation Commission  
New London Board of Selectmen

ec: Pierre J. Bedard & Associates, P.C.

George Chait Construction and Burpee Hill Cabinets  
447 Old Springfield  
Sunapee, NH 03782

Pierre Bedard  
949 Andover Road  
New London, NH 03257

August 10, 2016

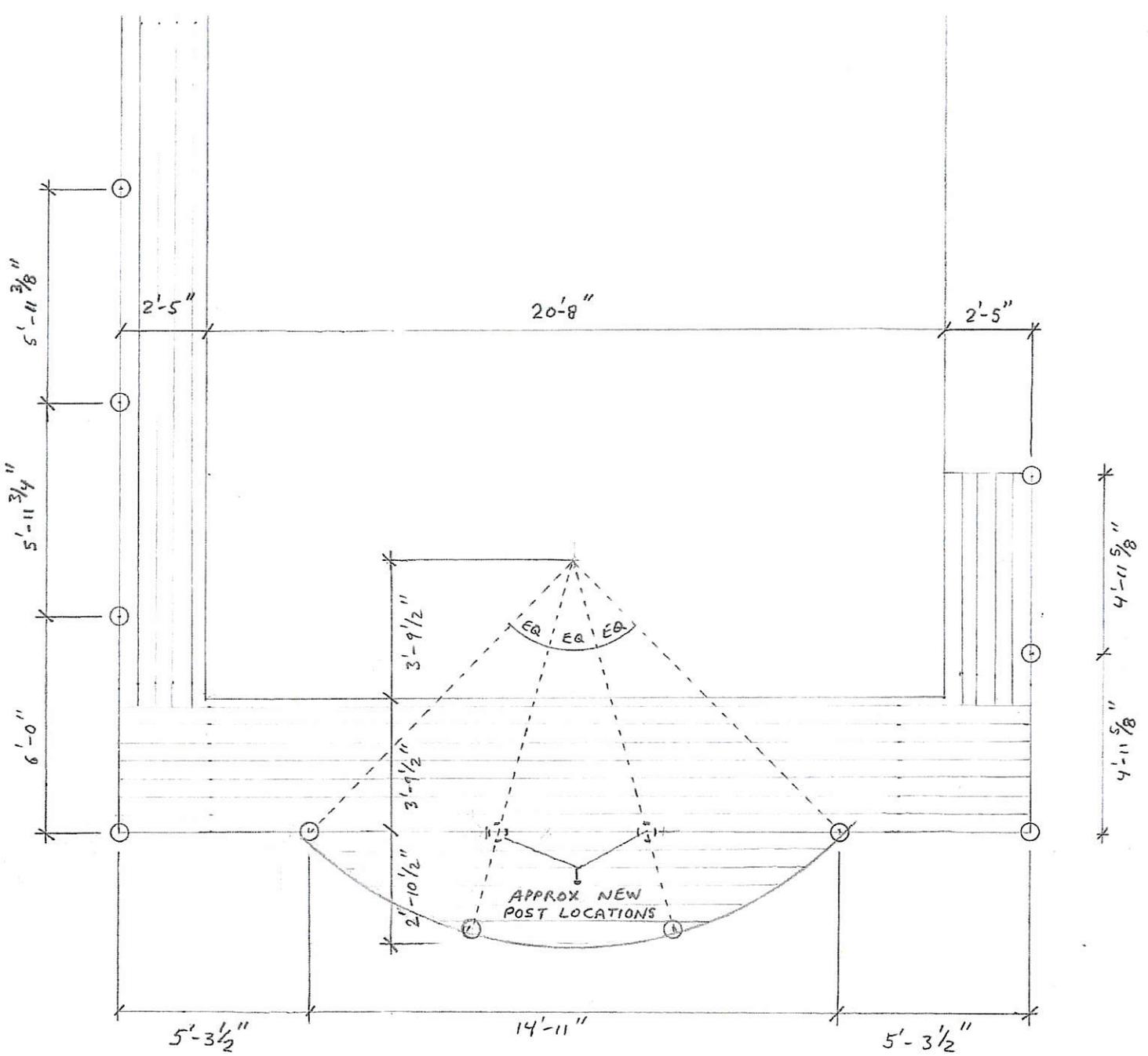
The plan that we have developed in order to remove the unapproved, lakeside portion of the Carr "boathouse" deck, located at 29 Boulder Point, New London, New Hampshire, is as follows;

1. Set up staging on stone apron at base of battered foundation wall.
2. Dismantle, remove and retain, lakeside stainless steel railing components.
3. Remove 4 inner most, round, cedar posts and discard.
4. Remove Port Orford Cedar decking from radius portion of deck.
5. Remove painted, curved skirt boards and rim joist.
6. Cut back pressure treated framing that rests atop cedar beam.
7. Remove cedar beam, struts and steel brackets.
8. Install blocking to support new post locations.
9. Install 4 new, round, cedar posts, 3'-9 ½" from lakeside face of building. (original projection)
10. Install new rim joist and painted skirt boards.
11. Modify and re-install, retained stainless railing components.
12. Dismantle and remove staging from site.

\*Please refer to provided drawing for the dimensions relating to this project.

Respectfully Submitted by,

Tony Bourque  
George Chait Construction and Burpee Hill Cabinets



CARR BOATHOUSE PLAN

SCALE 1/4" = 1'-0"

DRAWN BY: TONY BOURQUE 8-10-16  
 COMPANY: GEORGE CHAIT CONSTRUCTION

NOTES: THE INTENT IS TO REMOVE THE 2'-10 1/2" CURVED PORTION OF DECK AND RAILING, RETURNING LAKESIDE PORTION OF DECK TO ORIGINAL DIMENSIONS. THIS PLAN INCLUDES THE REMOVAL OF BEAM AND STRUTS BELOW.

# PIERRE J. BEDARD & ASSOCIATES, P.C.

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LAND USE CONSULTANTS, SURVEYORS, FORESTERS, & WETLAND SCIENTISTS  
P. O. Box 238  
WILMOT, NH 03287

[www.pierrejbedard.com](http://www.pierrejbedard.com)

Telephone 603 526-4928

e-mail: [pjbedard1@hotmail.com](mailto:pjbedard1@hotmail.com)

August 11, 2016

Jen Drociak, Compliance Specialist  
Land Resources Management Program  
Department of Environmental Services  
PO Box 95  
Concord, NH 03302-0095

**RE: Raoul and Karen, LLC – LRM File #2015-03302 (EMD 3105), 29 Boulder Point, New London, Tax Map 15/ Lot No. 2. – Restoration Plan.**

Dear Mrs. Drociak,

Please find in accordance with the terms of the Settlement Agreement with the State of New Hampshire the Restoration Plan prepared in association with Chris Spaulding, a Certified Wetland Scientist with ECO Environmental Solutions, in order to meet those goals and objectives outlined in the terms.

## **RESTORATION PLAN**

It is our understanding that the stone pad was constructed to provide a footing and structural strength to the stone foundation and building. In a response letter by Pierre Bedard dated March 17, 2016, we also understand that all the stones in the pad existed on site and the pad was constructed by rearranging and leveling the existing stones in the immediate vicinity with the use of hand tools.

Upon our examination of the stones in the pad, it was revealed that a majority of the stones were darkly discolored and clearly displayed water marks indicating they had contact with water for lengthy periods of time. Thus, suggesting that the large stones likely came from the immediate vicinity and not brought in and placed in the pad.

The state of NH has indicated in a letter dated February 10, 2016 that during their compliance inspection a stone pad was constructed in the water of Lake Sunapee which measured approximately 6 feet in width by 30 feet in length. In order to meet the goals and objectives of the State of NH we propose restoring the lake's rocky shore line by:

- Disassembling the front portion of the stone pad (4 feet wide by 30 feet long) and irregularly arranging the larger stones (over 10 pounds) to create a natural appearance.

This will be accomplished by standing them up and or leaning them on one another to imitate the shore line on either side of the structure. In addition, a majority of the smaller stones (under 10 pounds) that are located between the large stones in the pad will be removed from jurisdictional waters, see Restoration Plan Photos P1 and P2.

- Leaving in place the remaining irregularly shaped portion of the stone pad that abuts the stone foundation. This remaining portion would measure approximately 2 feet wide by 30 feet long, see Restoration Plan Photos P1 and P2.
- Removing the “bump-out” in the decking over the water of Lake Sunapee, see Restoration Plan.

It is our contention that a portion of the pad should remain in place to provide a footing in order to support and protect the structural integrity of the stone foundation and building from potential erosive lake forces, particularly the fluctuating lake water and ice damage. This footing will provide a level of safety to the homeowner as well as reduce the risk of potential structural failure and future repairs which would result in coming before the State to again remedy this concern. Furthermore, it will aid in avoiding further water quality degradation to Lake Sunapee.

In an effort to complete the Restoration Plan the following Restoration Sequence, and Schedule shall include the following

#### Restoration Sequence and Schedule:

1. Restoration Plan efforts shall be scheduled to commence during good weather conditions (normal or low water conditions, no rain & low wind) to avoid water quality violations and for personnel safety.
2. Prior to commencing the Restoration Plan a turbidity curtain shall be installed which will encompass the restoration area, see Restoration Plan.
3. No mechanical equipment shall enter the jurisdictional waters of the state to conduct work efforts.
4. All restoration work shall be conducted by hand and entrance of the jurisdictional area by foot shall be allowed in order to conduct the necessary work efforts.
5. Stones (greater than 10 pounds) shall be turned up and placed in manner to replicate a natural condition, see Restoration Photos P1 and P2
6. Stones (less than 10 pounds) located between the stones to be rearranged to replicate a natural condition shall be removed and placed outside jurisdictional waters, see Restoration Photos P1 and P2.
7. All persons involved in restoration activities shall have read and become familiar with the Restoration Plan and the Restoration Plan Approval prior to commencing work on the restoration.
8. A copy of the Restoration Plan and the Restoration Plan Approval shall be kept posted at the property during the time restoration work continues on the Property.
9. All restoration work shall be supervised by a qualified Certified Wetland Scientist to ensure that the restoration is accomplished pursuant to the Restoration Plan Approval.

10. All steps shall be taken during restoration to ensure that no water quality violations occur at the property.
11. All jurisdictional wetlands shall be restored in accordance with the Restoration Plan by November 30, 2016.
12. Alterations to the upper story deck shall be completed by June 1, 2017.

We anticipate conducting this effort as stated above in order to meet the restoration goals and objectives of the State of New Hampshire.

Sincerely,

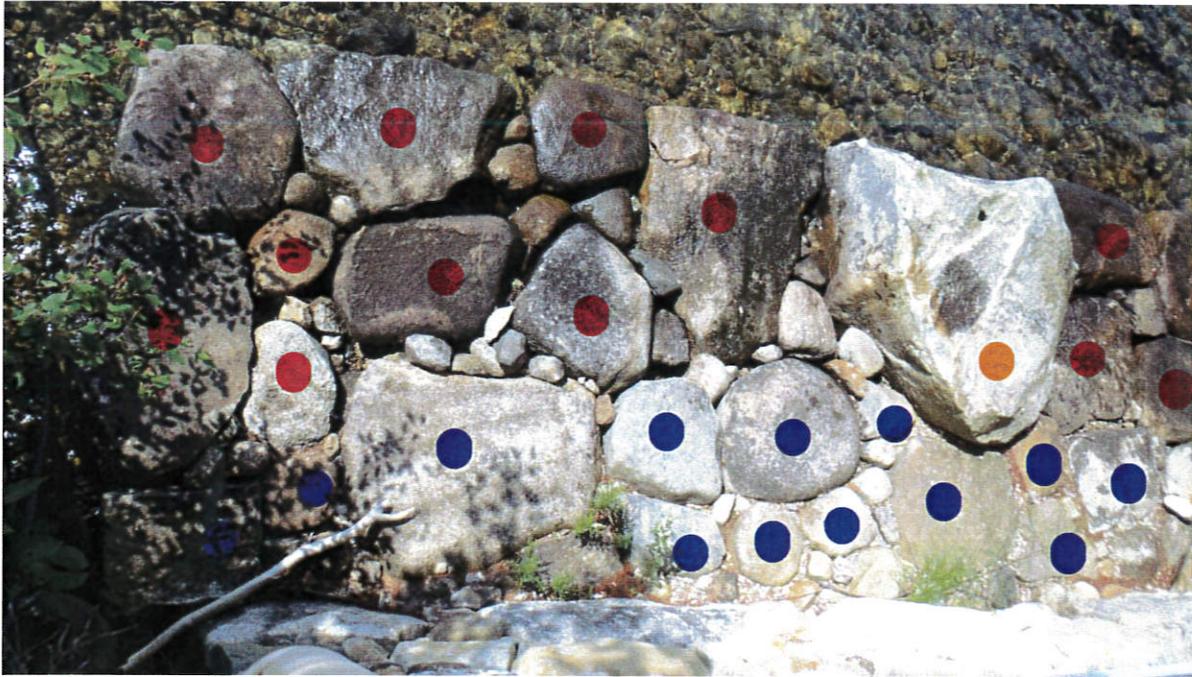


Pierre Bedard, CWS

Christopher S. Spaulding, CWS

### RESTORATION PLAN PHOTOS

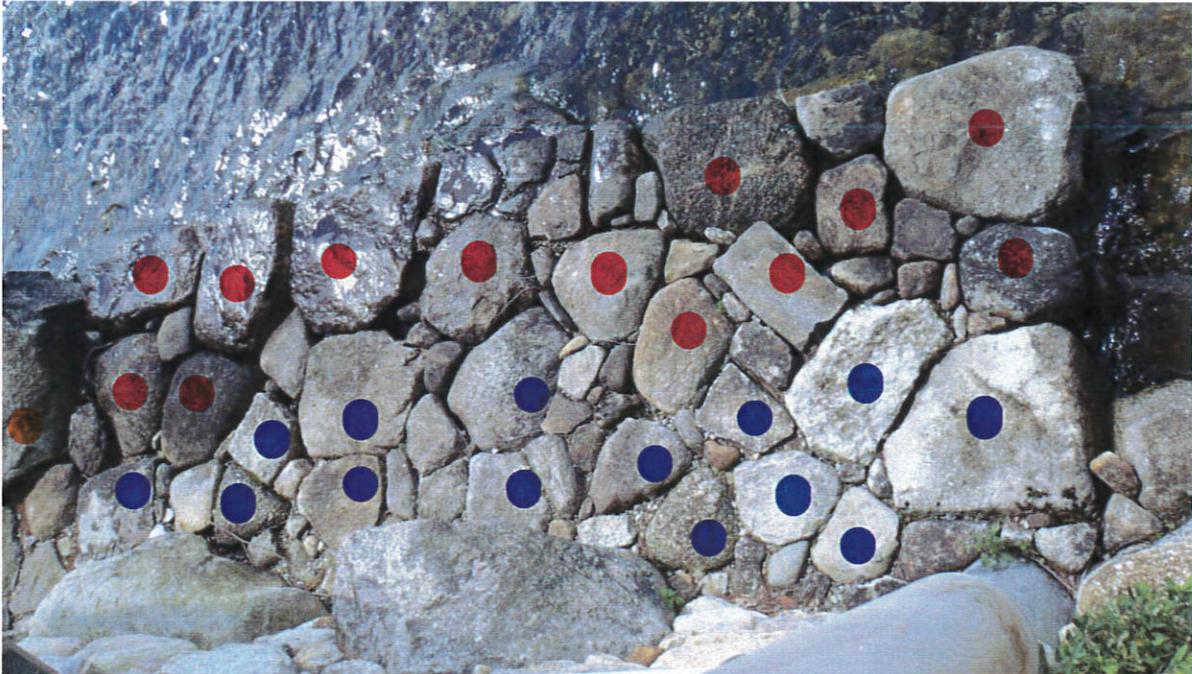
- Stones (greater than 10 pounds) shall be turned up and placed in a manner to replicate a natural condition.
  - Stones to remain in place to provide a footing to protect the stone foundation and structure.
  - Center Stone of pad to remain in place.
- Stones (less than 10 pounds) and located between the stones to be rearranged to replicate a natural condition shall be removed and placed outside jurisdictional waters.



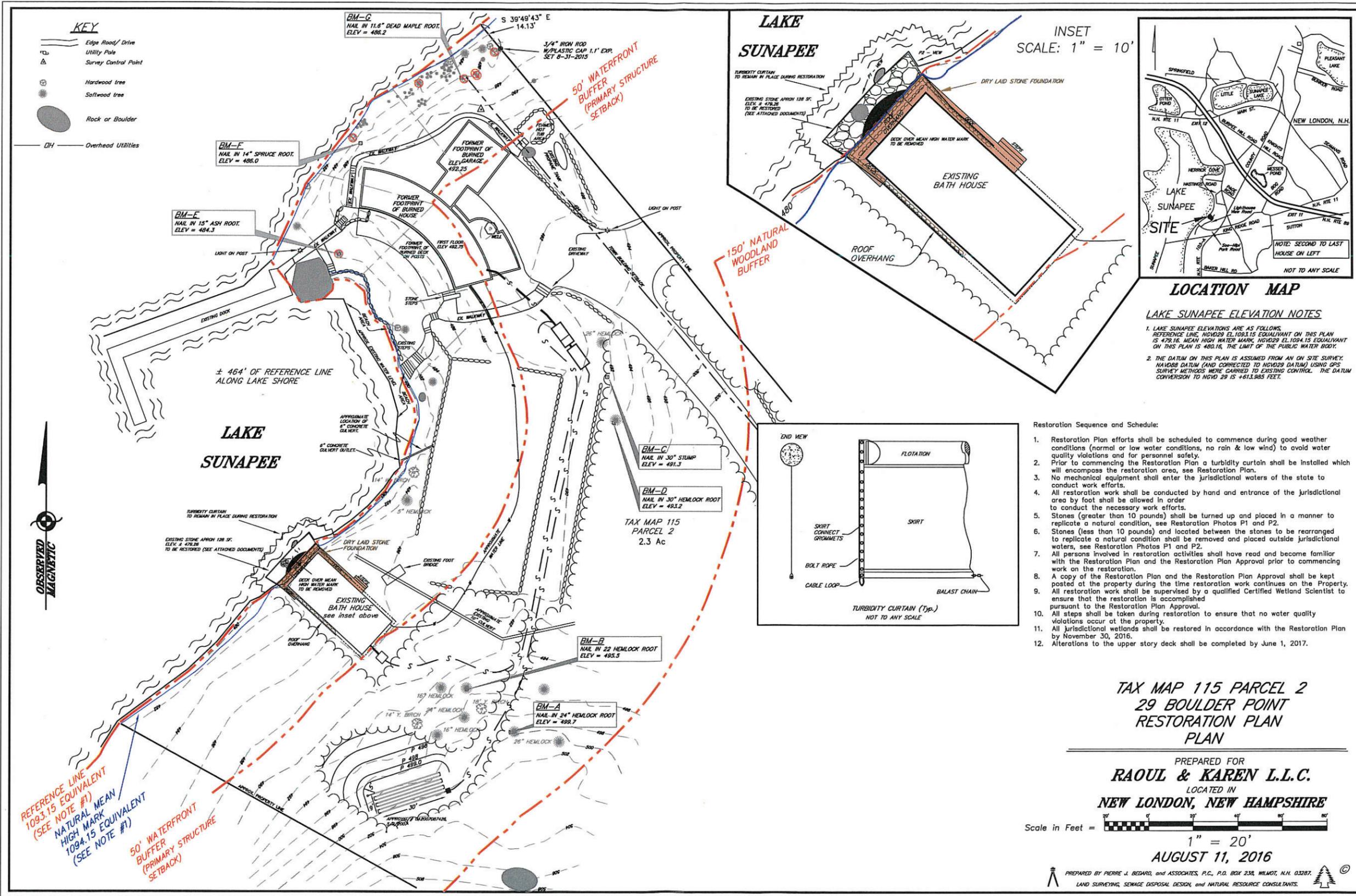
P1 – View of south corner of stone pad.

RESTORATION PLAN PHOTOS

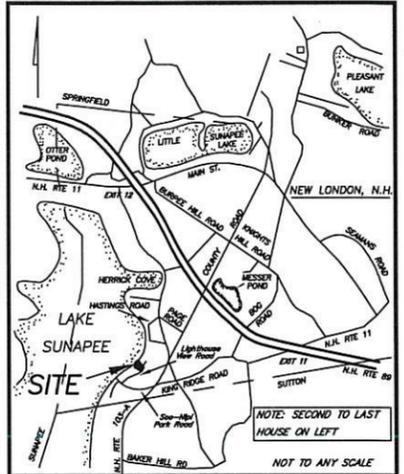
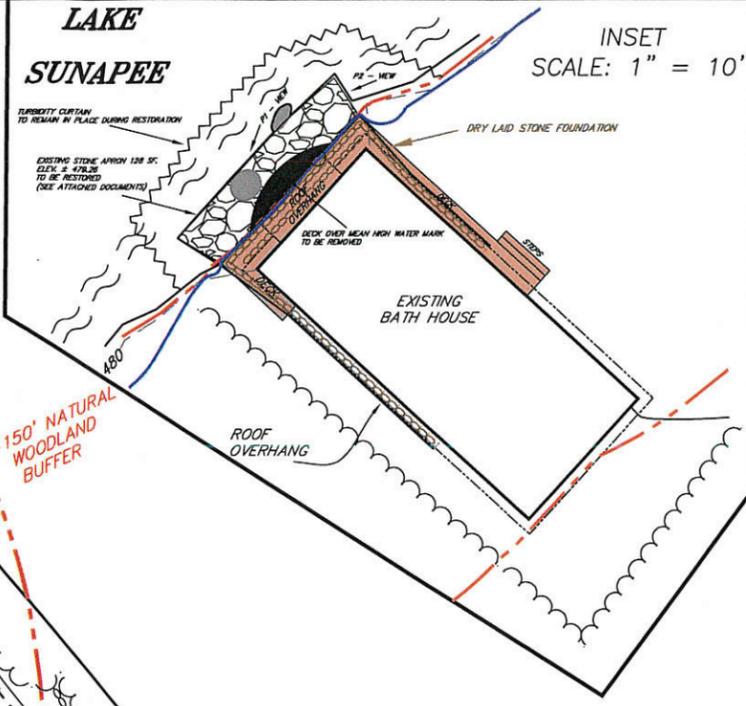
- Stones (greater than 10 pounds) shall be turned up and placed in a manner to replicate a natural condition.
  - Stones to remain in place to provide a footing to protect the stone foundation and structure.
  - Center Stone of pad to remain in place.
- Stones (less than 10 pounds) and located between the stones to be rearranged to replicate a natural condition shall be removed and placed outside jurisdictional waters.



P2 – View of north corner of stone pad.

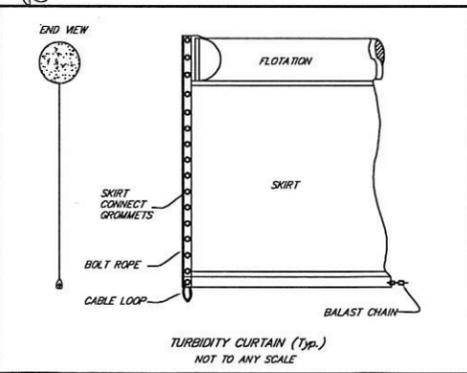


- KEY**
- Edge Road/ Drive
  - Utility Pole
  - △ Survey Control Point
  - Hardwood tree
  - Softwood tree
  - Rock or Boulder
  - OH — Overhead Utilities



**LAKE SUNAPEE ELEVATION NOTES**

- LAKE SUNAPEE ELEVATIONS ARE AS FOLLOWS:  
 REFERENCE LINE, NAD83 EL. 1093.15 EQUIVALENT ON THIS PLAN IS 479.16. MEAN HIGH WATER MARK, NAD83 EL. 1094.15 EQUIVALENT ON THIS PLAN IS 480.16, THE LIMIT OF THE PUBLIC WATER BODY.
- THE DATUM ON THIS PLAN IS ASSUMED FROM AN ON SITE SURVEY, NAD83 DATUM (AND CORRECTED TO NAD29 DATUM) USING GPS SURVEY METHODS WERE CARRIED TO EXISTING CONTROL. THE DATUM CONVERSION TO NAD29 IS +613.985 FEET.



- Restoration Sequence and Schedule:
- Restoration Plan efforts shall be scheduled to commence during good weather conditions (normal or low water conditions, no rain & low wind) to avoid water quality violations and for personnel safety.
  - Prior to commencing the Restoration Plan a turbidity curtain shall be installed which will encompass the restoration area, see Restoration Plan.
  - No mechanical equipment shall enter the jurisdictional waters of the state to conduct work efforts.
  - All restoration work shall be conducted by hand and entrance of the jurisdictional area by foot shall be allowed in order to conduct the necessary work efforts.
  - Stones (greater than 10 pounds) shall be turned up and placed in a manner to replicate a natural condition, see Restoration Photos P1 and P2.
  - Stones (less than 10 pounds) and located between the stones to be rearranged to replicate a natural condition shall be removed and placed outside jurisdictional waters, see Restoration Photos P1 and P2.
  - All persons involved in restoration activities shall have read and become familiar with the Restoration Plan and the Restoration Plan Approval prior to commencing work on the restoration.
  - A copy of the Restoration Plan and the Restoration Plan Approval shall be kept posted at the property during the time restoration work continues on the Property.
  - All restoration work shall be supervised by a qualified Certified Wetland Scientist to ensure that the restoration is accomplished pursuant to the Restoration Plan Approval.
  - All steps shall be taken during restoration to ensure that no water quality violations occur at the property.
  - All jurisdictional wetlands shall be restored in accordance with the Restoration Plan by November 30, 2016.
  - Alterations to the upper story deck shall be completed by June 1, 2017.

**TAX MAP 115 PARCEL 2  
 29 BOULDER POINT  
 RESTORATION PLAN  
 PLAN**

PREPARED FOR  
**RAOUL & KAREN L.L.C.**  
 LOCATED IN  
**NEW LONDON, NEW HAMPSHIRE**



1" = 20'  
 AUGUST 11, 2016

PREPARED BY PIERRE J. BEHARD, and ASSOCIATES, P.C., P.O. BOX 238, WILMOT, N.H. 03287.  
 LAND SURVEYING, SEWAGE DISPOSAL DESIGN, and NATURAL RESOURCE CONSULTANTS.