



WETLANDS PERMIT APPLICATION

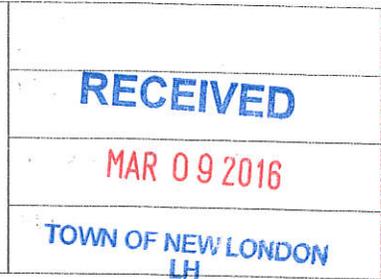
Water Division/ Wetlands Bureau

Land Resources Management

Check the status of your application: www.des.nh.gov/onestop



RSA/Rule: RSA-482-A/ Env-Wt 100-900



1. REVIEW TIME:
Indicate your Review Time below. Refer to Guidance Document A for instructions.

Standard Review (Minimum, Minor or Major Impact) Expedited Review (Minimum Impact only)

2. PROJECT LOCATION:
Separate applications must be filed with each municipality that jurisdictional impacts will occur in.

ADDRESS: 47 Sunset Shores TOWN/CITY: New London

TAX MAP: 103 BLOCK: LOT: 24 UNIT:

USGS TOPO MAP WATERBODY NAME: Lake Sunapee NA STREAM WATERSHED SIZE: NA

LOCATION COORDINATES (If known): Latitude/Longitude UTM State Plane

3. PROJECT DESCRIPTION:
Provide a brief description of the project outlining the scope of work. Attach additional sheets as needed to provide a detailed explanation of your project. DO NOT reply "See Attached" in the space provided below.

Remove 203 square feet of rock/crib support on an existing grandfathered over the water boathouse/dock, replace with 9 support piling; repair 66 square feet of crib support under west wall of boathouse using existing material; remove a 3 1/2:12 pitched boathouse roof and replace with 7:12 pitched roof for snow load; install one 3 piling ice protection cluster and 2 free standing ice protection pilings. Other general in-kind replacement of decking, etc.

4. SHORELINE FRONTAGE

NA This lot has no shoreline frontage. SHORELINE FRONTAGE: 432+/-
Shoreline frontage is calculated by determining the average of the distances of the actual natural navigable shoreline frontage and a straight line drawn between the property lines, both of which are measured at the normal high water line.

5. RELATED PERMITS, ENFORCEMENT, EMERGENCY AUTHORIZATION, SHORELAND, ALTERATION OF TERRAIN, ETC...

None

6. NATURAL HERITAGE BUREAU & DESIGNATED RIVERS:
See the Instructions & Required Attachments document for instructions to complete a & b below.

a. Natural Heritage Bureau File ID: NHB 15 - 3023

b. Designated River the project is in 1/4 miles of: _____ ; and
date a copy of the application was sent to the [Local River Management Advisory Committee](#) Month: ___ Day: ___ Year: ___
 NA

7. APPLICANT INFORMATION (Desired permit holder)

LAST NAME, FIRST NAME, M.I.: Rowse, Samuel B. Trustee

TRUST / COMPANY NAME: Samuel B. Rowse Living Trust MAILING ADDRESS: PO Box 1245

TOWN/CITY: New London STATE: NH ZIP CODE: 03257

EMAIL or FAX: PHONE:

ELECTRONIC COMMUNICATION: By initialing here: _____, I hereby authorize NHDES to communicate all matters relative to this application electronically

8. PROPERTY OWNER INFORMATION (If different than applicant)

LAST NAME, FIRST NAME, M.I.: Same as above

TRUST / COMPANY NAME: MAILING ADDRESS:

TOWN/CITY: STATE: ZIP CODE:

EMAIL or FAX: PHONE:

ELECTRONIC COMMUNICATION: By initialing here _____, I hereby authorize NHDES to communicate all matters relative to this application electronically

9. AUTHORIZED AGENT INFORMATION

LAST NAME, FIRST NAME, M.I.: Nadeau, Regina A. COMPANY NAME: Normandin, Cheney & O'Neil, PLLC

MAILING ADDRESS: PO Box 575

TOWN/CITY: Laconia STATE: NH ZIP CODE: 03246

EMAIL or FAX: rnadeau@nco-law.com PHONE: 603-524-4380

ELECTRONIC COMMUNICATION: By initialing here RNA, I hereby authorize NHDES to communicate all matters relative to this application electronically

10. PROPERTY OWNER SIGNATURE:

See the Instructions & Required Attachments document for clarification of the below statements

By signing the application, I am certifying that:

- I authorize the applicant and/or agent indicated on this form to act in my behalf in the processing of this application, and to furnish upon request, supplemental information in support of this permit application.
- I have reviewed and submitted information & attachments outlined in the Instructions and Required Attachment document.
- All abutters have been identified in accordance with RSA 482-A:3, I and Env-Wt 100-900.
- I have read and provided the required information outlined in Env-Wt 302.04 for the applicable project type.
- I have read and understand Env-Wt 302.03 and have chosen the least impacting alternative.
- Any structure that I am proposing to repair/replace was either previously permitted by the Wetlands Bureau or would be considered grandfathered per Env-Wt 101.47.
- I have submitted a Request for Project Review (RPR) Form (www.nh.gov/nhdhr/review) to the NH State Historic Preservation Officer (SHPO) at the NH Division of Historical Resources to identify the presence of historical/ archeological resources while coordinating with the lead federal agency for NHPA 106 compliance.
- I authorize NHDES and the municipal conservation commission to inspect the site of the proposed project.
- I have reviewed the information being submitted and that to the best of my knowledge the information is true and accurate.
- I understand that the willful submission of falsified or misrepresented information to the New Hampshire Department of Environmental Services is a criminal act, which may result in legal action.
- I am aware that the work I am proposing may require additional state, local or federal permits which I am responsible for obtaining.
- The mailing addresses I have provided are up to date and appropriate for receipt of NHDES correspondence. NHDES will not

 SAMUEL B. ROWSE / /

Property Owner Signature Print name legibly Date

MUNICIPAL SIGNATURES

11. CONSERVATION COMMISSION SIGNATURE

The signature below certifies that the municipal conservation commission has reviewed this application, and:

1. Waives its right to intervene per RSA 482-A:11;
2. Believes that the application and submitted plans accurately represent the proposed project; and
3. Has no objection to permitting the proposed work.

	Print name legibly	Date

DIRECTIONS FOR CONSERVATION COMMISSION

1. Expedited review ONLY requires that the conservation commission's signature is obtained in the space above.
2. Expedited review requires the Conservation Commission signature be obtained prior to the submittal of the original application to the Town/City Clerk for signature.
3. The Conservation Commission may refuse to sign. If the Conservation Commission does not sign this statement for any reason, the application is not eligible for expedited review and the application will reviewed in the standard review time frame.

12. TOWN / CITY CLERK SIGNATURE

As required by Chapter 482-A:3 (amended 2014), I hereby certify that the applicant has filed four application forms, four detailed plans, and four USGS location maps with the town/city indicated below.

<i>Linda Nicklos</i>			
Town/City Clerk Signature	Print name legibly	Town/City	Date

DIRECTIONS FOR TOWN/CITY CLERK:

Per RSA 482-A:3,I

1. For applications where "Expedited Review" is checked on page 1, if the Conservation Commission signature is not present, NHDES will accept the permit application, but it will NOT receive the expedited review time.
2. IMMEDIATELY sign the original application form and four copies in the signature space provided above;
3. Return the signed original application form and attachments to the applicant so that the applicant may submit the application form and attachments to NHDES by mail or hand delivery.
4. IMMEDIATELY distribute a copy of the application with one complete set of attachments to each of the following bodies: the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board; and
5. Retain one copy of the application form and one complete set of attachments and make them reasonably accessible for public review.

DIRECTIONS FOR APPLICANT:

1. Submit the single, original permit application form bearing the signature of the Town/ City Clerk, additional materials, and the application fee to NHDES by mail or hand delivery.

13. IMPACT AREA:

For each jurisdictional area that will be/has been impacted, provide square feet and, if applicable, linear feet of impact

Permanent: impacts that will remain after the project is complete.

Temporary: impacts not intended to remain (and will be restored to pre-construction conditions) after the project is complete.

JURISDICTIONAL AREA	PERMANENT Sq. Ft. / Lin. Ft.	TEMPORARY Sq. Ft. / Lin. Ft.
Forested wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Scrub-shrub wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Emergent wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Wet meadow	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Intermittent stream	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Perennial Stream / River	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Lake / Pond	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Bank - Intermittent stream	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Bank - Perennial stream / River	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Bank - Lake / Pond	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Tidal water	/ <input type="checkbox"/> ATF	/ <input type="checkbox"/> ATF
Salt marsh	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Sand dune	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Prime wetland	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Prime wetland buffer	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Undeveloped Tidal Buffer Zone (TBZ)	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Previously-developed upland in TBZ	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - Lake / Pond	14 <input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - River	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
Docking - Tidal Water	<input type="checkbox"/> ATF	<input type="checkbox"/> ATF
TOTAL	14 /	/

14. APPLICATION FEE: See the Instructions & Required Attachments document for further instruction

Minimum Impact Fee: Flat fee of \$ 200

Minor or Major Impact Fee: Calculate using the below table below

Permanent and Temporary (non-docking) _____ sq. ft. X \$0.20 = \$ _____

Temporary (seasonal) docking structure: _____ sq. ft. X \$1.00 = \$ _____

Permanent docking structure: **14** sq. ft. X \$2.00 = **\$ 28.00**

Projects proposing shoreline structures (including docks) add \$200 = **\$ 200.00**

Total = **\$ 228.00**

The Application Fee is the above calculated Total or \$200, whichever is greater = **\$ 228.00**

WETLANDS PERMIT APPLICATION – ATTACHMENT A MINOR AND MAJOR - 20 QUESTIONS

Water Division/ Wetlands Bureau/ Land Resources Management
Check the Status of your application: www.des.nh.gov/onestop



RSA/ Rule: RSA 482-A, Env-Wt 100-900

Env-Wt 302.04 Requirements for Application Evaluation - For any major or minor project, the applicant shall demonstrate by plan and example that the following factors have been considered in the project's design in assessing the impact of the proposed project to areas and environments under the department's jurisdiction. Respond with statements demonstrating:

1. The need for the proposed impact.

The applicant's 80 + year old grandfathered boathouse is in need of repair and has sustained ice damage multiple times. The applicant proposes replacing the roof with an increased pitch to bear snow loads. As the plans indicate, there will be open rafters with no second floor. Additionally, without the increase in pitch, manufacturers will not typically warranty the roof shingles. The 5 ice protection piling are proposed to protect the existing boathouse and dock. The balance of the repairs are in-kind, other than replacing 203 square feet of rock filled cribbing with 9 piling.

2. That the alternative proposed by the applicant is the one with the least impact to wetlands or surface waters on site.

Most of the repair work is in-kind. The increase in the boathouse's roof pitch will not increase surface area impact or otherwise impact Lake Sunapee. While the applicant proposes 5 additional piling for ice protection purposes, the overall project reduces impact on the lake bottom by removing 203 square feet of rock filled cribbing and replacing the support with 9 piling for better water flow.

3. The type and classification of the wetlands involved.

Lake.

4. The relationship of the proposed wetlands to be impacted relative to nearby wetlands and surface waters.

Same.

5. The rarity of the wetland, surface water, sand dunes, or tidal buffer zone area.

None.

6. The surface area of the wetlands that will be impacted.

Other than in-kind repair, there will be an additional 5 square feet of impact for the 5 ice protection piling.

7. The impact on plants, fish and wildlife including, but not limited to:
- a. Rare, special concern species;
 - b. State and federally listed threatened and endangered species;
 - c. Species at the extremities of their ranges;
 - d. Migratory fish and wildlife;
 - e. Exemplary natural communities identified by the DRED-NHB; and
 - f. Vernal pools.

None. While DRED has identified the american water-awwort (plant) about a half mile away from the property, the work involved is in-kind repair where no such plant would already exist. The plant is listed on the State data base, not the federal data base.

8. The impact of the proposed project on public commerce, navigation and recreation.

None. The project will bring the boathouse roof more into code, and will reduce impact on the lake bottom by removing 203 square feet of fill.

9. The extent to which a project interferes with the aesthetic interests of the general public. For example, where an applicant proposes the construction of a retaining wall on the bank of a lake, the applicant shall be required to indicate the type of material to be used and the effect of the construction of the wall on the view of other users of the lake.

None. The applicant owns more than 400 linear feet of shore frontage and the increase in the pitch and height of the boathouse roof will not impact anyone's view. The in-kind repair of the structure will increase its aesthetic value.

10. The extent to which a project interferes with or obstructs public rights of passage or access. For example, where the applicant proposes to construct a dock in a narrow channel, the applicant shall be required to document the extent to which the dock would block or interfere with the passage through this area.

None. The piling will be located close to the existing boathouse/dock structure. The balance of the repairs will be over the existing foot print.

11. The impact upon abutting owners pursuant to RSA 482-A:11, II. For example, if an applicant is proposing to rip-rap a stream, the applicant shall be required to document the effect of such work on upstream and downstream abutting properties.

None. No views will be impacted by the roof. Balance of the work, other than piling close to the structure, is in-kind.

12. The benefit of a project to the health, safety, and well being of the general public.

Reducing the frequency of necessary repairs by adjusting the roof and installing ice protection piling will equate to less overall impact on the lake over time.

13. The impact of a proposed project on quantity or quality of surface and ground water. For example, where an applicant proposes to fill wetlands the applicant shall be required to document the impact of the proposed fill on the amount of drainage entering the site versus the amount of drainage exiting the site and the difference in the quality of water entering and exiting the site.

The project will positively affect water movement by removing 203 square feet of rock filled cribbing closer to shore.

14. The potential of a proposed project to cause or increase flooding, erosion, or sedimentation.

None.

15. The extent to which a project that is located in surface waters reflects or redirects current or wave energy which might cause damage or hazards.

None. The free flow of water will be enhanced by removal of cribbing material.

16. The cumulative impact that would result if all parties owning or abutting a portion of the affected wetland or wetland complex were also permitted alterations to the wetland proportional to the extent of their property rights. For example, an applicant who owns only a portion of a wetland shall document the applicant's percentage of ownership of that wetland and the percentage of that ownership that would be impacted.

None. All impacts proposed are considered minimum by rule.

17. The impact of the proposed project on the values and functions of the total wetland or wetland complex.

None. Other than installing 5 ice protection piling, there will only be positive impacts based on the removal of cribbing.

18. The impact upon the value of the sites included in the latest published edition of the National Register of Natural Landmarks, or sites eligible for such publication.

None.

19. The impact upon the value of areas named in acts of congress or presidential proclamations as national rivers, national wilderness areas, national lakeshores, and such areas as may be established under federal, state, or municipal laws for similar and related purposes such as estuarine and marine sanctuaries.

None.

20. The degree to which a project redirects water from one watershed to another.

None.

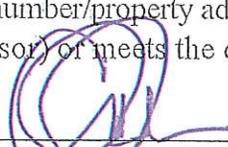
Additional comments

None.

CERTIFICATION FOR GRANDFATHERED SHORELINE STRUCTURES

Applications to repair or replace an existing legal structure require that the applicant certify in writing that the structure was **previously permitted** by the state or would be considered meeting the definition of **grandfathered status**. *Complete the following form and submit it with your application to meet the certification requirement.*

I, Samuel B. Rowse (print name legibly) certify that the shoreline structure I am requesting to **repair*** or **replace**, which is located at Tax Map 103 / Lot 024 / 47 Sunset Shores (tax map/lot number/property address), was either previously permitted by the NHDES Wetlands Bureau (or predecessor) or meets the definition of **grandfathered status**.



Signature of Owner or Authorized Agent

Date

For Grandfathered structures provide the following information:

- 1) The year the structure was constructed and installed: circa 1925; and
- 2) Evidence documenting the structure's age. **See Attachment**

For previously permitted structures provide the following information:

- 1) Previous permit number(s): _____; or
- 2) Previous owner(s) name(s): _____.

*Terms in bold print are explained below as they are defined in the DES Wetlands Bureau Code or Administrative Rules Wt 100 - 800.

Grandfathered status means that the structure:(a) was in place before permit jurisdiction under RSA 482-A:3, I or its predecessor statute RSA 483-A1:I, took effect; b) has remained unaltered in location, size and configuration;c) has not been abandoned within the meaning of DES Wetlands Bureau Rules Wt 502.05, 303.05 (a) (4), and 101.01.

Permit jurisdiction took effect as follows:

June 22, 1967 - for any structure in tidal water, with the exception of seasonal structures which did not involve dredge, fill, removal, or excavation.

July 2, 1969 - for any structure in fresh water, with the exception of seasonal structures which did not involve dredge, fill, removal, or excavation.

September 4, 1978 - for any seasonal structure not falling under the categories above.

July 23, 1989 - for any structure in upland portions within one hundred feet of the highest observable tideline.

Abandonment means the failure, for a period of 5 years, to maintain an existing structure in a condition so that it is functional and intact.

Repair means the restoring of an existing legal structure by partial replacement of worn, broken, or unsound parts. Replacement means the substitution of a new structure for an existing legal structure with NO change in size, dimensions, location, configuration, or which conforms in all material aspects to the original structure.

Attachment
For the

CERTIFICATION FOR
GRANDFATHERED SHORELINE STRUCTURES

The Boathouse structure's age is unknown. However, construction of the existing primary house on the property was completed in 1910. Anecdotal evidence suggests that the Boathouse was constructed approximately 10 to 15 years after construction of the primary house.

CHIARELLA LAW OFFICE, P.C.
P.O. BOX 310
SPRINGFIELD, NH 03284

22.41
2.00

40.00

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS that I, SAMUEL B. ROWSE, single, of New London, New Hampshire, for consideration paid, grant to SAMUEL B. ROWSE, as TRUSTEE OF THE SAMUEL B. ROWSE LIVING TRUST UNDER TRUST INSTRUMENT DATED FEBRUARY 10, 2004, with a mailing address of 47 Sunset Shores, New London, New Hampshire 03257, with WARRANTY COVENANTS,

A certain tract or parcel of land, with the buildings and improvements thereon, situated in the Town of New London, County of Merrimack and State of New Hampshire, more particularly described as two parcels, as follows:

Parcel One:

The following tract of land, located in the Town of New London, County of Merrimack and State of New Hampshire, more particularly bounded and described as follows, to wit:

Beginning at an iron pipe set in the ground on the West side of the highway leading from Georges Mills to Newbury, now known as New Hampshire Route 103A, at the North East corner of the tract;

thence South 87° 53' 38" West, 348.51 feet to an iron rod set in the ground;

thence South 80° 16' 30" West 314.70 feet to a stone bound;

thence South 46° 16' 08" West 156.63 feet to a stone bound;

thence South 80° 00' 15" West 7 feet, more or less, to the shore of Lake Sunapee;

thence in a Southerly direction along the shoreline of said Lake, 70 feet, more or less, to a stone bound;

thence Northeasterly 27 feet, more or less, to an iron rod drilled into a boulder;

thence North 80° 00' 15" East, 773.63 feet to an iron pipe set in the ground on the west side of the highway leading from Georges Mills to Newbury, now known as New Hampshire Route 103A;



thence Northerly along said road 110.17 feet, more or less, to the point of beginning.

The above tract being shown as Lot 2 on a Plan of Annexation, prepared by Kearwood, Inc. dated September, 1983 (revised 1991) approved by the New London Planning Board, June 11, 1991 and recorded in Merrimack County Registry of Deeds as Plans Nos. 7730 and 12102 (see also Plan No. 12020).

Meaning and intending to describe and convey those premises conveyed to Sandra L. Rowse and Samuel B. Rowse by deed of Robert L. V. French and Shirley S. French, dated December 7, 1993 and recorded at the Merrimack County Registry of Deeds at Book 1941, Page 0035, and by the Quitclaim Deed of Sandra L. Rowse to Samuel B. Rowse, dated May 23, 1995 and recorded in Book 1988, Page 898 of the Merrimack County Registry of Deeds.

Parcel Two:

A certain tract of land with the improvements thereon, located in the Town of New London, County of Merrimack and State of New Hampshire, more particularly bounded and described as follows, to wit:

Beginning at a stone bound eight feet, more or less, northeasterly of the southeasterly corner of a stone wharf;

thence running N. 80 degrees 34 minutes 17 seconds E. 461.20 feet partially along a stone wall to a stone bound;

thence turning and running S. 10 degrees 47 minutes 49 seconds E. 39.15 feet to a stone bound;

thence turning and running on the south side of Sunset Shores Road, a private road, S. 86 degrees 42 minutes 25 seconds E. 465.02 feet to a stone bound on the west side of New Hampshire Route 103A;

thence turning and running southerly along the west side of said highway on a radius of 569.55 feet, on a line 164.81 feet, more or less, to an iron pipe;

thence turning and running S. 87 degrees 53 minutes 38 seconds W. 348.51 feet to an iron rod set in a stone wall;

thence turning and running S. 80 degrees 16 minutes 30 seconds W. 314.70 feet to a stone bound;

thence turning and running S. 46 degrees 16 minutes 08 seconds W. 156.63 feet to a stone bound and continuing S. 80 degrees 00 minutes 15 seconds W. 7 feet, more or less, to the shore of Lake Sunapee;

thence turning and running northerly by said Sunapee Lake in an irregular line 351 feet, more or less, partially along a stone wall to the end of said stone wall;

thence turning and running N. 80 degrees 34 minutes 17 seconds E. 8 feet, more or less, to the stone bound at the point of beginning. Containing 4.41 acres, more or less.

The above tract being shown as Lot 1 on a Plan of Annexation, prepared by Kearwood, Inc. dated September, 1983 (revised 1991) approved by the New London Planning Board, June 11, 1991 and recorded in Merrimack County Registry of Deeds as Plans Nos. 7730 and 12102 (see also Plan No. 12020).

Together with a right of way to and from the highway, and subject to a right of way in continuation of the way above-mentioned, over the northeasterly corner of the granted premises.

Meaning and intending to describe and convey those premises conveyed to Sandra L. Rowse and Samuel B. Rowse by deed of J. Mead Hartwell, Jr. and Celeste C. Hartwell, dated March 1, 1993 and recorded at the Merrimack County Registry of Deeds at Book 1909, Page 1465, and by the Quitclaim Deed of Sandra L. Rowse to Samuel B. Rowse, dated May 22, 1995 and recorded in Book 1988, Page 900 of the Merrimack County Registry of Deeds.

Subject to the effect of the lot merger filed with the Town of New London recorded in Book 2914, Page 369.

The above parcel is conveyed subject to the effect, if any, of the following recorded instruments at the Merrimack County Registry of Deeds:

Rights of first refusal recorded in Book 776, Page 245 and in Book 1865, Page 1681.

Covenants and restrictions of Sunset Shores recorded in Book 776, Page 245.

Possible water rights as set forth in Book 745, Page 120 and in Book 1438, Page 498.

Subject to a Boundary Line Agreement recorded in Book 1465, Page 685.

This is a transfer from grantor to his revocable trust and minimal transfer tax is due.

EXECUTED this 2 day of October, 2007.



Samuel B. Rowse

STATE OF NEW HAMPSHIRE

COUNTY OF MERRIMACK

On October 2, 2007, before me, the undersigned officer, personally appeared Samuel B. Rowse, known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument and acknowledged that he executed the same for the purposes contained herein.



Notary Public/Justice of the Peace

My Commission Expires:

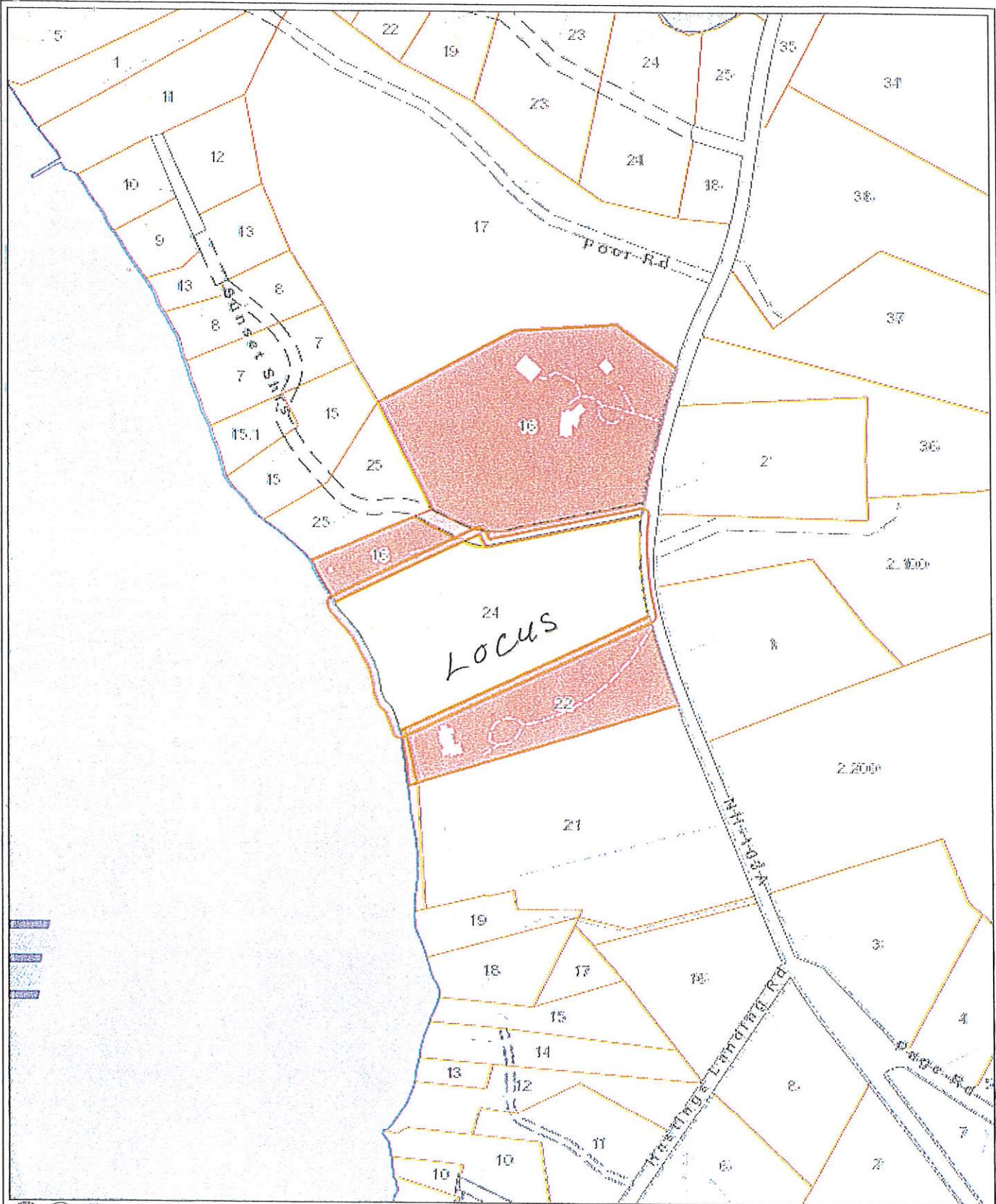
Printed name of officer:

MICHAEL CHIARELLA, Justice of the Peace
My Commission Expires November 10, 2009

STATE OF NEW HAMPSHIRE			
DEPARTMENT OF REVENUE ADMINISTRATION		REAL ESTATE TRANSFER TAX	
THOUSAND	HUNDRED AND	40	DOLLARS
10/09/2007	843465	\$	40
VOID IF ALTERED			

MERRIMACK COUNTY RECORDS

Kathi L. Gray, CPO, Register



47 Sunset Shores
 New London, NH
 1 Inch = 383 Feet
 January 25, 2016



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

www.cai-tech.com



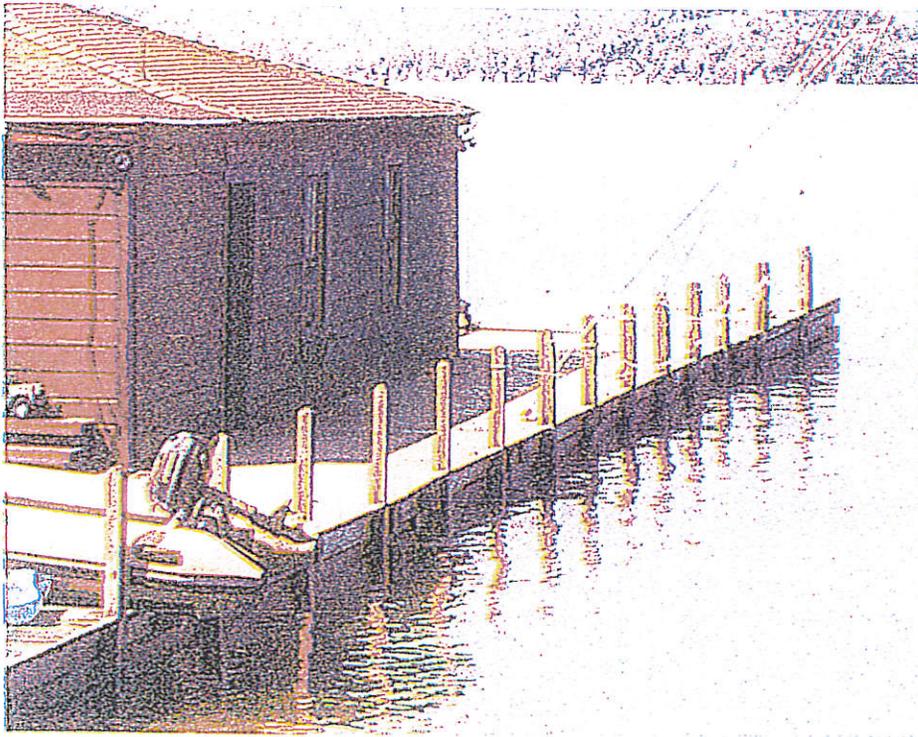


Photo 01
SOUTHWESTERLY VIEW OF BOATHOUSE, WEST WALL AND DOCK

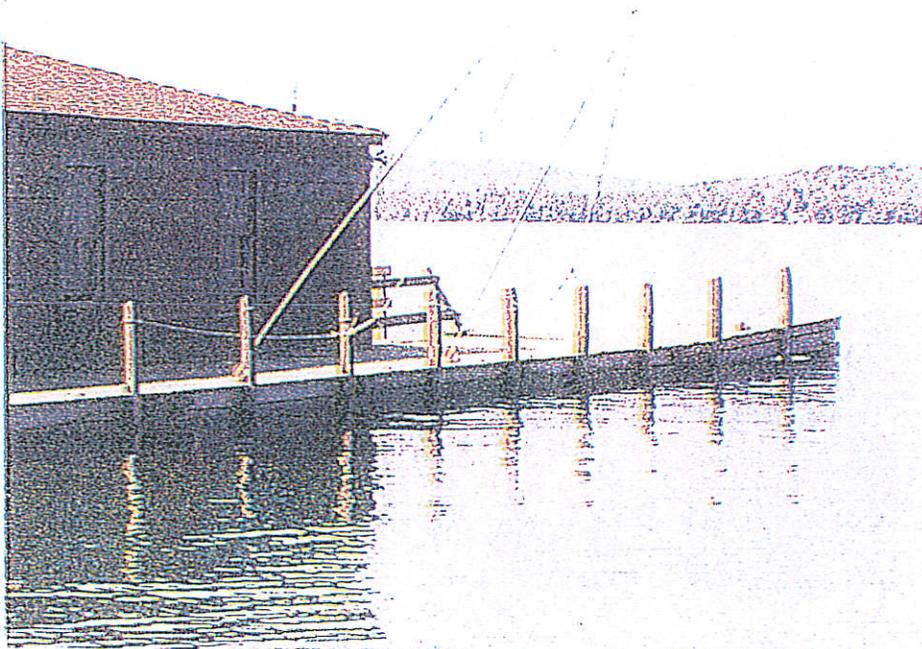


Photo 02
SOUTHWESTERLY VIEW OF BOATHOUSE AND CRIB DOCK

Rowse Boathouse
Lake Sunapee; New London, New Hampshire

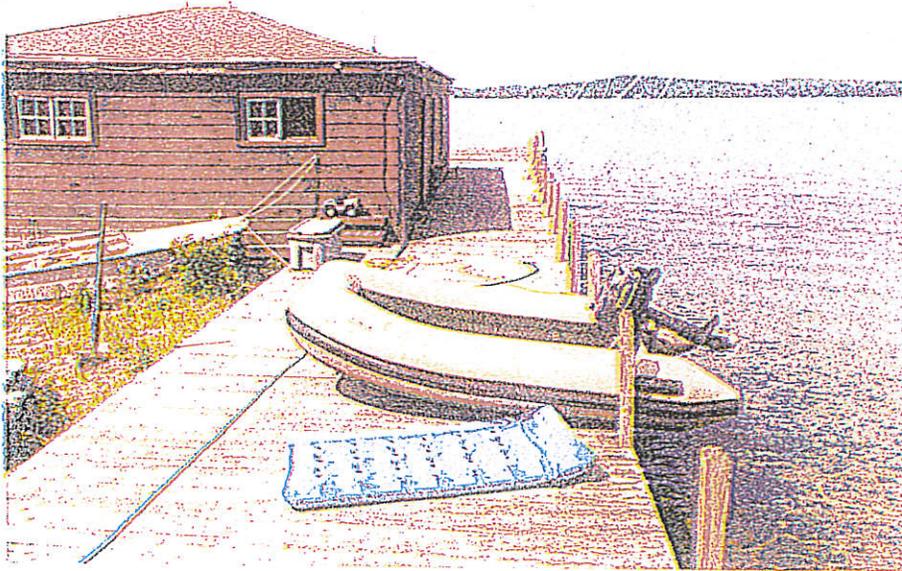


Photo 03
VIEW OF ACCESS DOCK, BOATHOUSE AND ADJACENT DOCK

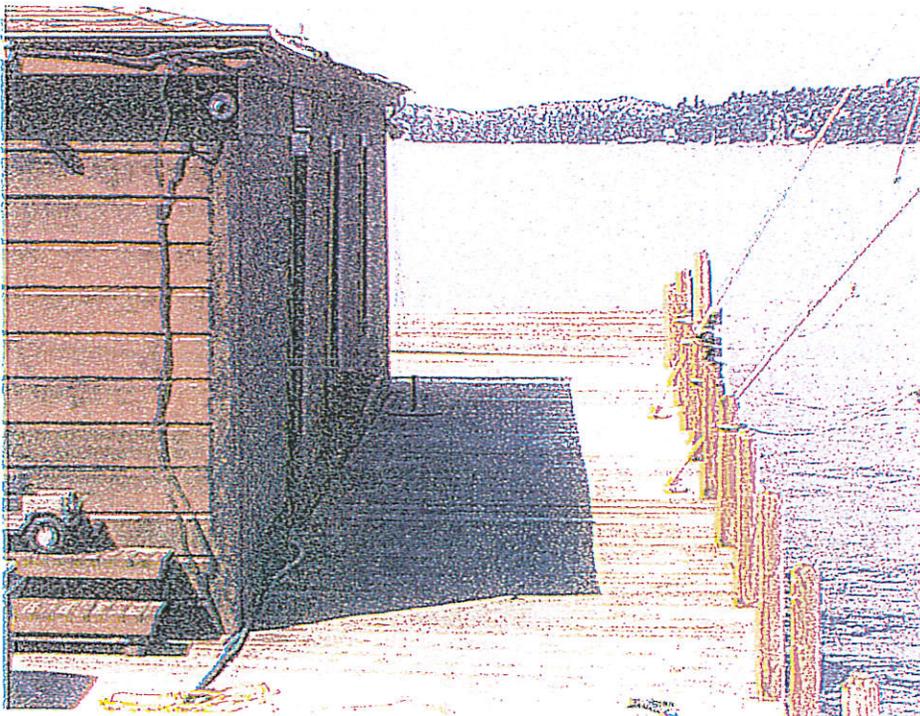


Photo 04
CLOSE UP OF UPPER PHOTO

Rowse Boathouse
Lake Sunapee; New London, New Hampshire

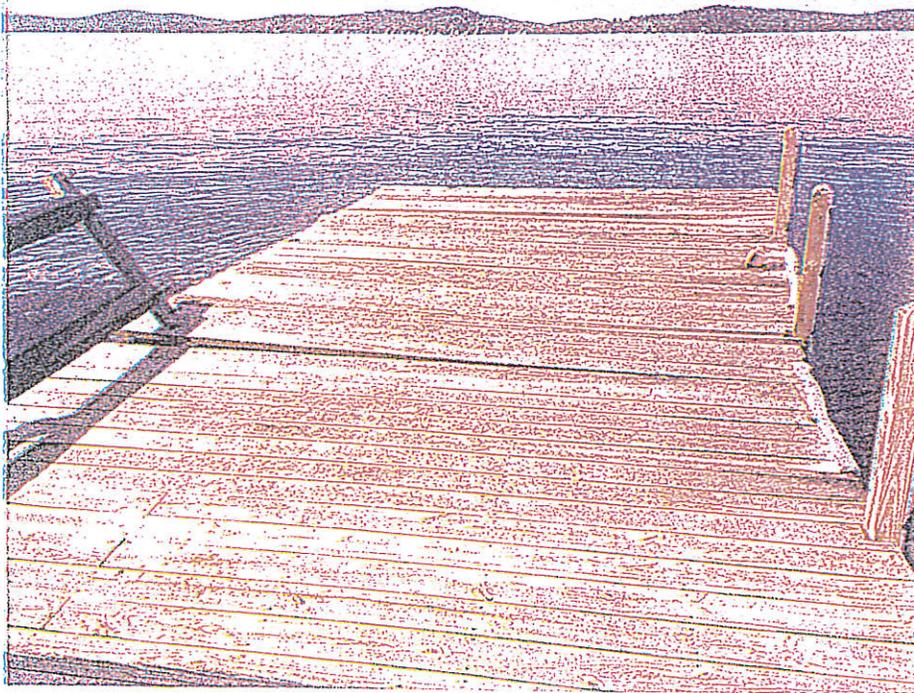


Photo 05
WESTERLY VIEW OF CRIB DOCK "1" DAMAGED BY ICE

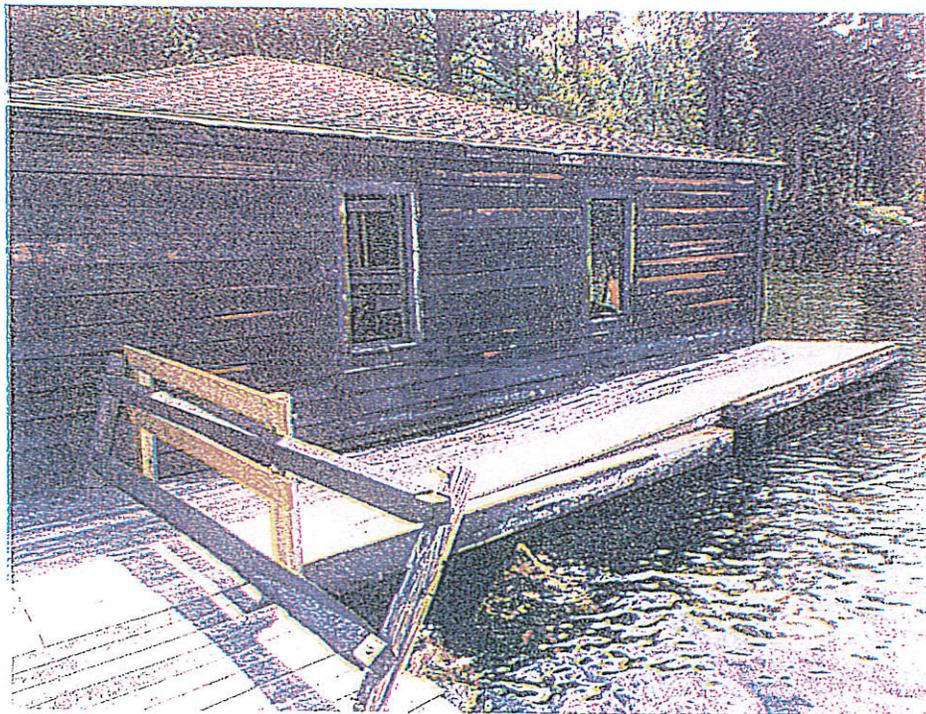


Photo 06
SOUTHEASTERLY VIEW OF BOATHOUSE. DOCK IN FOREFRONT
TO HAVE CRIB DOCK REPLACED WITH PILING.

Rowse Boathouse
Lake Sunapee; New London, New Hampshire



Photo 07

VIEWS OF WEST BOATHOUSE WALL, SILL, AND DOCK HAVING PULLED AWAY FROM SUPPORT CRIBBING



Photo 08

Rowse Boathouse

Lake Sunapee; New London, New Hampshire

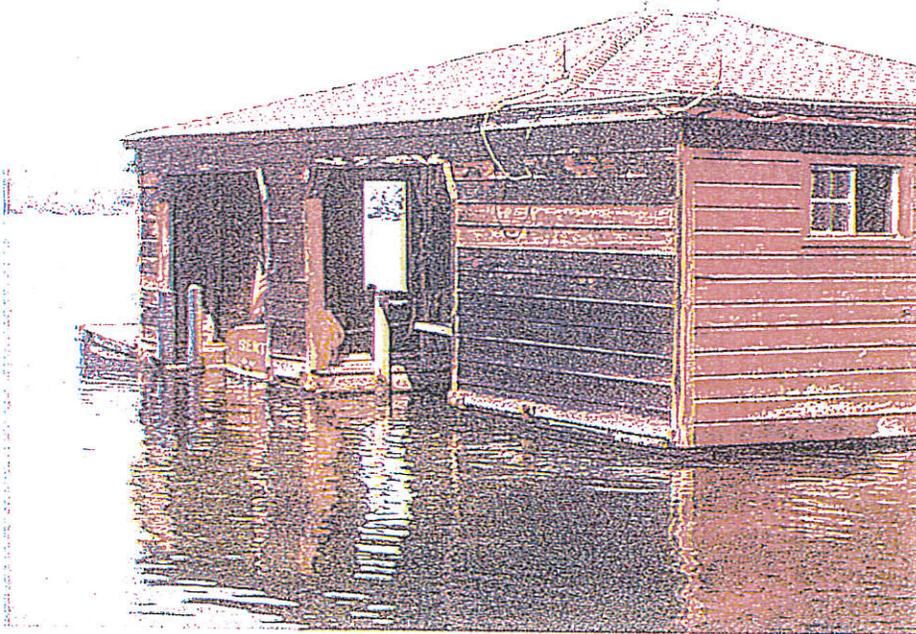


Photo 09
NORTHWESTERLY VIEW OF BOATHOUSE SHOWING ROOF PITCH AND
DAMAGED DOCK IN BACKGROUND

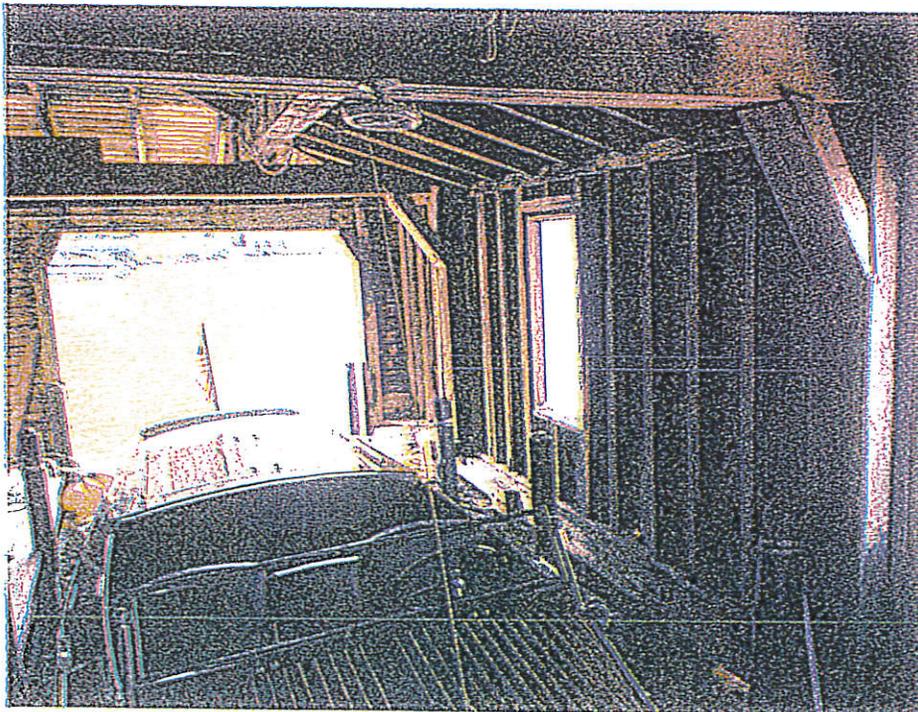


Photo 10
Interior view of existing Boathouse, showing general conditions of Boathouse

Rowse Boathouse
Lake Sunapee; New London, New Hampshire



Photo 09
Northwesterly view of existing Boathouse and Dock #2, showing general conditions of Boathouse, as well as damage to Dock #2

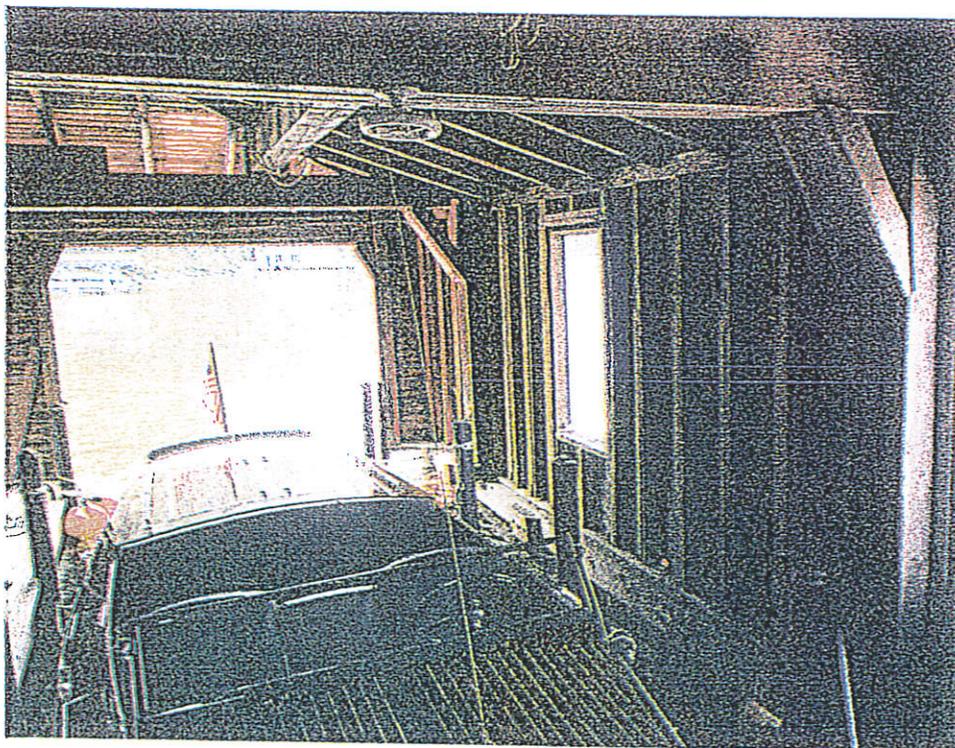


Photo 10
Interior view of existing Boathouse, showing general conditions of Boathouse

Rowse Boathouse
Lake Sunapee; New London, New Hampshire

Attachment

Construction Sequence

Rowse Boathouse
Lake Sunapee
New London, New Hampshire

The proposed sequence of construction for the repair of the existing stone and cribbing foundation is to include:

1. Install and maintain turbidity curtain until site is stable upon completion and water quality is regained.
2. Remove existing deck boards, deck framing, and timber & rubble stone cribbing to the extent indicated for Dock #1 and westerly side of boathouse.
3. Remove existing rotting deck boards and framing above mean full lake to the extent necessary for replacement, and on landside Boardwalk (in-kind above mfl no permit required).
4. Install temporary shoring and bracing for west wall of existing boathouse structure to the extent necessary to access shifted and damaged stone-and-cribbing foundation.
5. Carefully remove, by hand, existing stone-and-cribbing pieces individually down to lowest level that has not shifted or been damaged.
6. Carefully reset and realign, by hand, the existing stone-and-cribbing pieces individually back to their original locations.
7. If any timber cribbing is damaged to the point that it cannot be reused, those pieces will be replaced in-kind with new material.
8. Secure existing west wall of Boathouse to the reset and realigned permanent cribbing foundation, and carefully remove temporary shoring and bracing.
9. Install 9 new composite pilings under Dock #1.
10. In-kind installment of new deck framing and deck boards on entire structure.
11. Remove existing timber frame roof structure in its entirety.
12. Reconstruct new timber frame roof structure to the extent indicated.
13. Repair and/or replace in-kind damaged windows, doors, siding and trim on existing walls of Boathouse. Paint all siding, trim, windows, and doors.
14. Clean-up site.
15. Remove turbidity curtain when water quality is regained.

Memo



NH NATURAL HERITAGE BUREAU
NHB DATACHECK RESULTS LETTER

To: Robert Turpin
One Mill Plaza
Laconia, NH 03246

From: Amy Lamb, NH Natural Heritage Bureau
Date: 9/24/2015 (valid for one year from this date)

Re: Review by NH Natural Heritage Bureau
NHB File ID: NHB15-3023 Town: New London Location: Tax Maps: 103 & 024
Description: Repair of damaged existing docks, and replacement of failing roof structure on existing boathouse

As requested, I have searched our database for records of rare species and exemplary natural communities, with the following results.

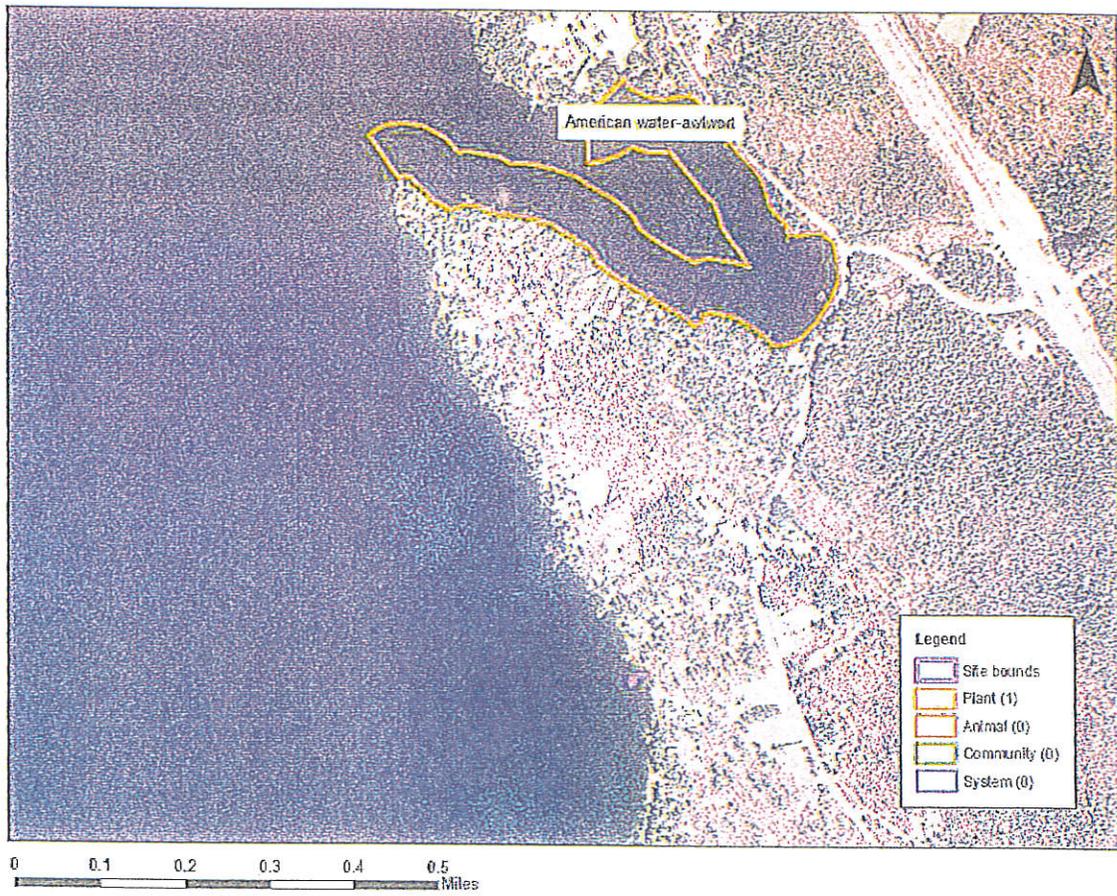
Comments: Please be aware that this rare plant occurs nearby (see map) and could occur in the project vicinity. Please minimize ground disturbance if any construction requires staging or equipment to be placed in the water. Doing work in spring/fall would minimize impacts to aquatic plants.

Plant species	State ¹	Federal	Notes
American water-awwort (<i>Subularia aquatica ssp. americana</i>)	E	--	This aquatic plant grows in shallow water and is vulnerable to changes in water levels, disturbance of the substrate, e.g. due to recreation, and changes in water quality, e.g. due to sediments or pollutants in stormwater runoff.

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list. An asterisk (*) indicates that the most recent report for that occurrence was more than 20 years ago.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

NHB15-3023



New Hampshire Natural Heritage Bureau - Plant Record

American water-awlwort (*Subularia aquatica* ssp. *americana*)

Legal Status

Federal: Not listed
 State: Listed Endangered

Conservation Status

Global: Demonstrably widespread, abundant, and secure
 State: Critically imperiled due to rarity or vulnerability

Description at this Location

Conservation Rank: Excellent quality, condition and landscape context ('A' on a scale of A-D).
 Comments on Rank: Numerous plants in multiple locations. Fairly heavy shoreland development and recreational use.

Detailed Description: 2011, 2010, 2009: Numerous, typically > 100 plants at each location where they were found. Generally in patches - large and small, dense and sparse. Found in 26 of 43 survey sections (variable size) along the lake shore. Flowering structures were observed.

General Area: 2011, 2010, 2009: Shallow littoral zone of lake shore. Typically occurred with seven-angled pipewort (*Eriocaulon aquaticum*), needle spikeweed (*Eleocharis acicularis*), and/or sterile rosettes of an arrowhead (*Sagittaria*) species - probably grass-leaved arrowhead (*Sagittaria graminea*).

General Comments: 2011: Lake Sunapee Protective Association has an active Weed Watch program with designated sections covering the littoral zones of the lake perimeter and around shoals and islands. Awwort was observed in these sections during an aquatic plant survey.

Management
 Comments:

Location

Survey Site Name: Sunapee Lake
 Managed By: Sunapee State Park

County: Sullivan
 Town(s): Sunapee
 Size: 685.8 acres
 Elevation:

Precision: Within (but not necessarily restricted to) the area indicated on the map.

Directions: 2011, 2010, 2009: Lake Sunapee, multiple locations in the shallow littoral zone. Generally in water depths from less than a foot to about 3 feet but occasionally in deeper water - up to about 6 feet deep.

Dates documented

First reported: 2009
 Last reported: 2011

Please mail the completed form and required material to:

New Hampshire Division of Historical Resources
State Historic Preservation Office
Attention: Review & Compliance
19 Pillsbury Street, Concord, NH 03301-3570

RECEIVED
JAN 26 2016

DHR Use Only	
R&C #	7386
Log In Date	1/26/16
Response Date	1/28/16
Sent Date	2/1/16

Request for Project Review by the New Hampshire Division of Historical Resources

- This is a new submittal
 This is additional information relating to DHR Review & Compliance (R&C) #:

GENERAL PROJECT INFORMATION

Project Title Rowse Boathouse Repair

Project Location 47 Sunset Shores,

City/Town New London Tax Map 103 Lot # 24

NH State Plane - Feet Geographic Coordinates: Easting 886204 Northing 329869
(See RPR Instructions and R&C FAQs for guidance.)

Lead Federal Agency and Contact (if applicable)
(Agency providing funds, licenses, or permits)

Permit Type and Permit or Job Reference #

State Agency and Contact (if applicable) NH DES Wetlands Bureau

Permit Type and Permit or Job Reference # Dredge and Fill Application, RSA 482-A

APPLICANT INFORMATION

Applicant Name Samuel B. Rowse

Mailing Address PO Box 1245 Phone Number

City New London State NH Zip 03257 Email

CONTACT PERSON TO RECEIVE RESPONSE

Name/Company Attorney Regina A. Nadeau, Normandin, Cheney & O'Neil PLLC

Mailing Address PO Box 575 Phone Number 603-524-4380

City Laconia State NH Zip 03247 Email rnadeau@nco-law.com

This form is updated periodically. Please download the current form at www.nh.gov/nhdhr/review. Please refer to the Request for Project Review Instructions for direction on completing this form. Submit one copy of this project review form for each project for which review is requested. Include a self-addressed stamped envelope to expedite review response. Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: www.nh.gov/nhdhr/review or contact the R&C Specialist at christina.st.louis@dcr.nh.gov or 603.271.3558.

PROJECTS CANNOT BE PROCESSED WITHOUT THIS INFORMATION

Project Boundaries and Description

- Attach the relevant portion of a 7.5' USGS Map (photocopied or computer-generated) *indicating the defined project boundary.* (See RPR Instructions and R&C FAQs for guidance.)
- Attach a detailed narrative description of the proposed project.
- Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
- Attach photos of the project area (overview of project location and area adjacent to project location, and specific areas of proposed impacts and disturbances.) (Informative photo captions are requested.)
- A DHR file review must be conducted to identify properties within or adjacent to the project area. Provide file review results in **Table 1.** (Blank table forms are available on the DHR website.)
File review conducted on 12/21/15 . None found.

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area? Yes No Over the water boathouse
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s): 50 to 70 years

- Photographs of *each* resource or streetscape located within the project area, with captions, along with a mapped photo key. (Digital photographs are accepted. All photographs must be clear, crisp and focused.)
- If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provide additional photographs showing detailed project work locations. (i.e. Detail photo of windows if window replacement is proposed.)

Archaeology

Does the proposed undertaking involve ground-disturbing activity? Yes No
If yes, submit all of the following information:

- Description of current and previous land use and disturbances. Remove cribbing and install piling.
- Available information concerning known or suspected archaeological resources within the project area (such as cellar holes, wells, foundations, dams, etc.) None. Work to be done on cribs of boathouse and boathouse structure over the lake.

Please note that for many projects an architectural and/or archaeological survey or other additional information may be needed to complete the Section 106 process.

DHR Comment/Finding Recommendation *This Space for Division of Historical Resources Use Only*

- Insufficient information to initiate review.** Additional information is needed in order to complete review.
- No Potential to cause Effects No Historic Properties Affected No Adverse Effect Adverse Effect

Comments: _____

If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resources as required by federal law and regulation.

Authorized Signature: Michael Boerwiler DSHRO Date: 1-28-16



**US Army Corps
of Engineers**
New England District

**New Hampshire Programmatic General Permit (PGP)
Appendix B - Corps Secondary Impacts Checklist
(for inland wetland/waterway fill projects in New Hampshire)**

1. Attach any explanations to this checklist. Lack of information could delay a Corps permit determination.
2. All references to “work” include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See PGP, GC 5, regarding single and complete projects.
4. Contact the Corps at (978) 318-8832 with any questions.

1. Impaired Waters	Yes	No
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm to determine if there is an impaired water in the vicinity of your work area.*		X
2. Wetlands	Yes	No
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?	x	
2.2 Are there proposed impacts to SAS, shellfish beds, special wetlands and vernal pools (see PGP, GC 26 and Appendix A)? Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) website, www.nh.naturalheritage.org , specifically the book Natural Community Systems of New Hampshire .		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?		N/A
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.)		X
2.5 The overall project site is more than 40 acres.		X
2.6 What is the size of the existing impervious surface area?		N/A
2.7 What is the size of the proposed impervious surface area?		N/A
2.8 What is the % of the impervious area (new and existing) to the overall project site?		N/A
3. Wildlife	Yes	No
3.1 Has the NHB determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require a NHB determination.)	X	
3.2 Would work occur in any area identified as either “Highest Ranked Habitat in N.H.” or “Highest Ranked Habitat in Ecological Region”? (These areas are colored magenta and green, respectively, on NH Fish and Game’s map, “2010 Highest Ranked Wildlife Habitat by Ecological Condition.”) Map information can be found at: <ul style="list-style-type: none"> • PDF: www.wildlife.state.nh.us/Wildlife/Wildlife_Plan/highest_ranking_habitat.htm. • Data Mapper: www.gamit.unh.edu. • GIS: www.gamit.unh.edu/data/downloadfreedata/category/databycategory.html. 	X	

3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?		X
3.4 Does the project propose more than a 10-lot residential subdivision, or a commercial or industrial development?		X
3.5 Are stream crossings designed in accordance with the PGP, GC 21?		
4. <u>Flooding/Floodplain Values</u>	Yes	No
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream?		X
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage?		N/A
5. <u>Historic/Archaeological Resources</u>		
For a minor or major impact project - a copy of the Request for Project Review (RPR) Form (www.nh.gov/nhdhhr/review) shall be sent to the NH Division of Historical Resources as required on Page 5 of the PGP**		X

*Although this checklist utilizes state information, its submittal to the Corps is a Federal requirement.

** If project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law..

Samuel B. Rowe, Trustee, Samuel B. Rowse Living Trust, parcel No. 103-024-000

ABUTTER LIST

Name	Address	Parcel No.
Shelby W. Blunt Qualified Personal Trust	PO Box 112 New London, NH 03257	091-016-000
Mary Katharine Wyand Trust	PO Box 775 New London, NH 03257	103-022-000

Letters to abutters were mailed on January 25, 2016

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com®

OFFICIAL USE

Postage	\$.485
Certified Fee	3.45
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.735

Postmark: **JAN 25 2016**
LACONIA POST OFFICE
03246

Sent to:
Shelby W Blunt Qualified Personal Trust
Street & Apt. No.,
or PO Box No. PO Box 112
City, State, ZIP+4
New London NH 03257

PS Form 3800, July 2014 See Reverse for Instructions

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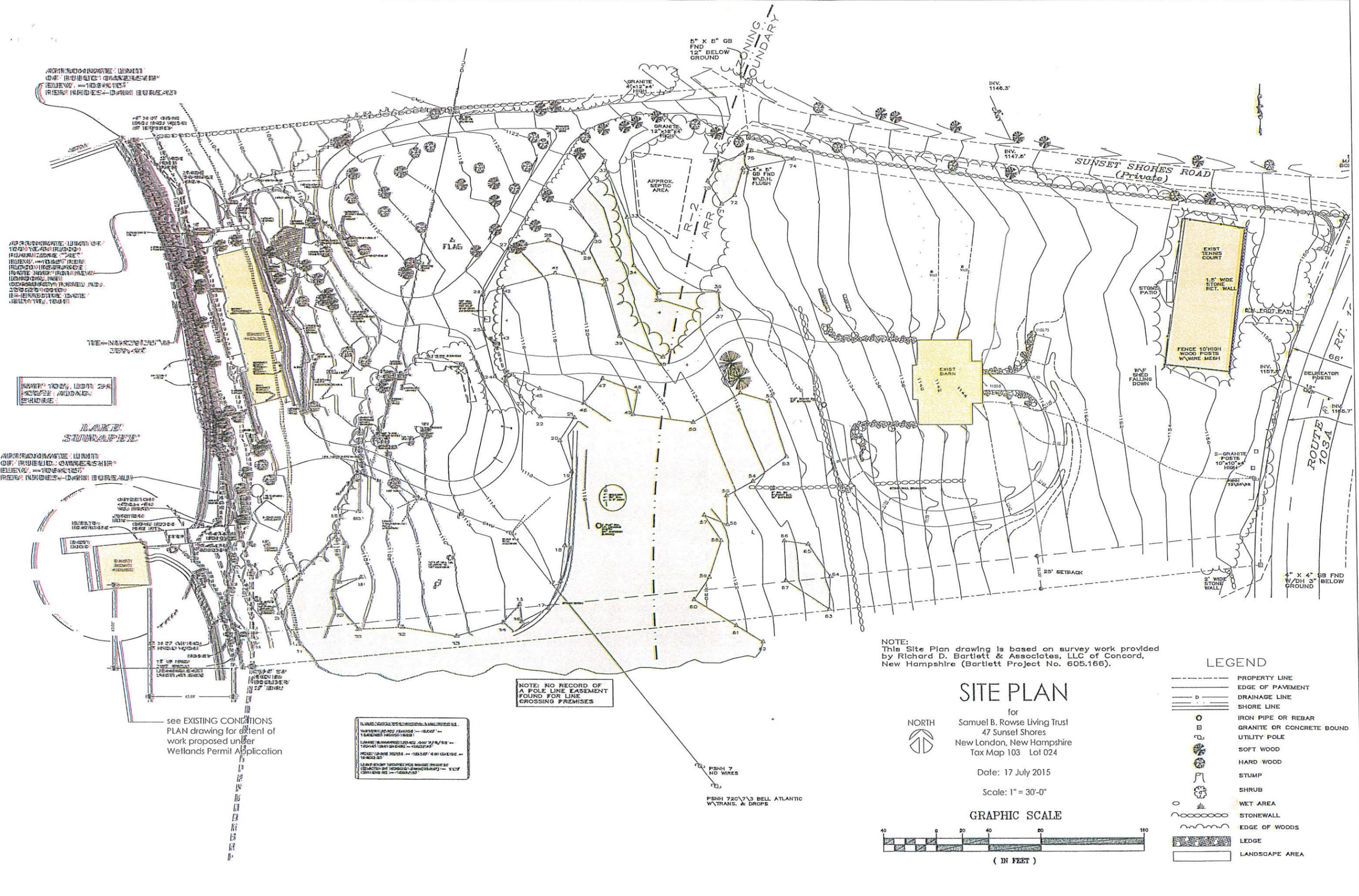
OFFICIAL USE

Postage	\$.485
Certified Fee	3.45
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 6.735

Postmark: **JAN 25 2016**
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03246

Sent To:
Mary Katharine Wyand Trust
Street & Apt. No.,
or PO Box No. PO Box 775
City, State, ZIP+4
New London NH 03257

PS Form 3800, July 2014 See Reverse for Instructions



APPROXIMATE LIMITS OF THE AIR TRAIL'S IMPROVEMENTS ARE SHOWN BY THE DASHED LINE. THE DASHED LINE IS NOT TO BE CONSIDERED A PROPERTY BOUNDARY.

APPROXIMATE LIMITS OF THE AIR TRAIL'S IMPROVEMENTS ARE SHOWN BY THE DASHED LINE. THE DASHED LINE IS NOT TO BE CONSIDERED A PROPERTY BOUNDARY.

APPROXIMATE LIMITS OF THE AIR TRAIL'S IMPROVEMENTS ARE SHOWN BY THE DASHED LINE. THE DASHED LINE IS NOT TO BE CONSIDERED A PROPERTY BOUNDARY.

WETLANDS ARE SHOWN BY THE HATCHED AREA.

NOTE: NO RECORD OF A POLE LINE EASEMENT FOUND FOR LINE CROSSING PREMISES

LANDSCAPE AREAS ARE SHOWN BY THE HATCHED AREA. THE HATCHED AREA IS NOT TO BE CONSIDERED A PROPERTY BOUNDARY.

see EXISTING CONDITIONS PLAN drawing for extent of work proposed under Wetlands Permit Application

NOTE: This Site Plan drawing is based on survey work provided by Richard D. Bartlett & Associates, LLC of Concord, New Hampshire (Bartlett Project No. 605.166).

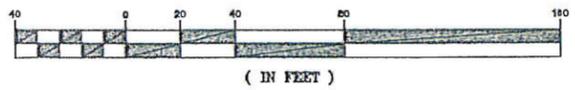
SITE PLAN

for
 Samuel B. Rowse Living Trust
 47 Sunset Shores
 New London, New Hampshire
 Tax Map 103 Lot 024

Date: 17 July 2015

Scale: 1" = 30'-0"

GRAPHIC SCALE



LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- - - DRAINAGE LINE
- SHORE LINE
- IRON PIPE OR REBAR
- GRANITE OR CONCRETE BOUND
- UTILITY POLE
- SOFT WOOD
- HARD WOOD
- STUMP
- SHRUB
- WET AREA
- STONEWALL
- EDGE OF WOODS
- LEDGE
- LANDSCAPE AREA



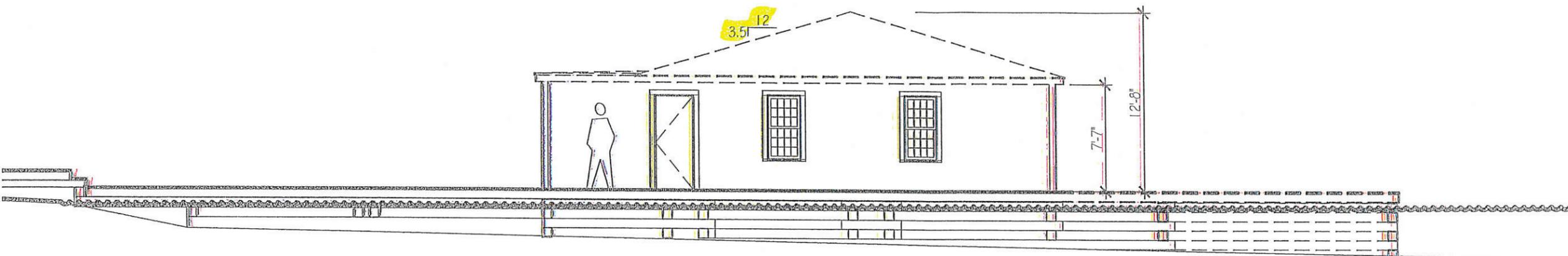
PSNH 7 NO WIRES
 PSNH 72C V33 BELL ATLANTIC W/TRANS. & DROPS

M i s i a s z e k
T u r p i n
P L L C

One Mill Plaza
Laconia, New Hampshire
0 3 2 4 6
(v) 603.527.1617
(f) 603.527.1618
miaszekturpin.com

ROWSE BOATHOUSE

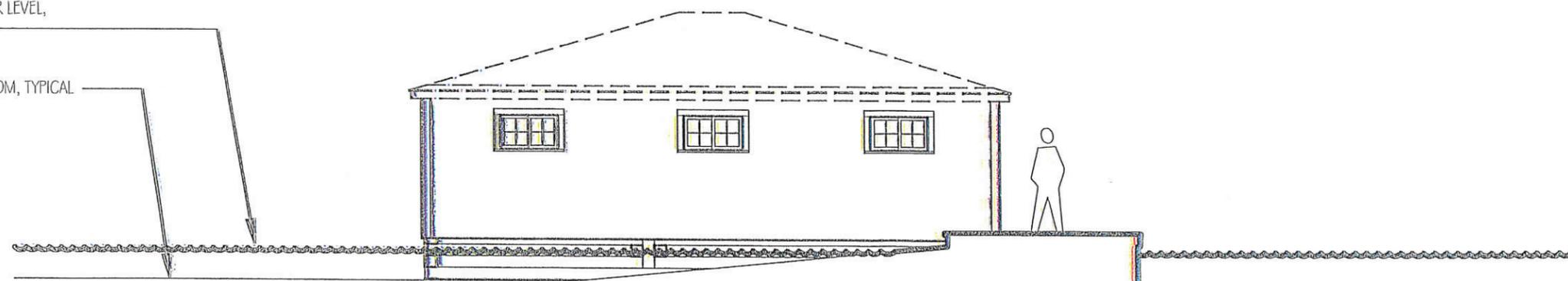
Renovations and Restoration
47 Sunset Shores
New London, New Hampshire



NORTH ELEVATION

APPROXIMATE LAKE WATER LEVEL,
TYPICAL
MFL 1093.15

APPROXIMATE LAKE BOTTOM, TYPICAL



EAST ELEVATION

ELEVATIONS - EXISTING CONDITIONS

SCALE: 1/8" = 1'-0"

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MISIASZEK TURPIN, PLLC

ISSUE	DESCRIPTION	DATE

Existing Conditions

EXTERIOR

ELEVATIONS

DATE	25 JAN 2016
SCALE	A5 NOTED
DRAWN BY	RST
PROJECT NUMBER	1520

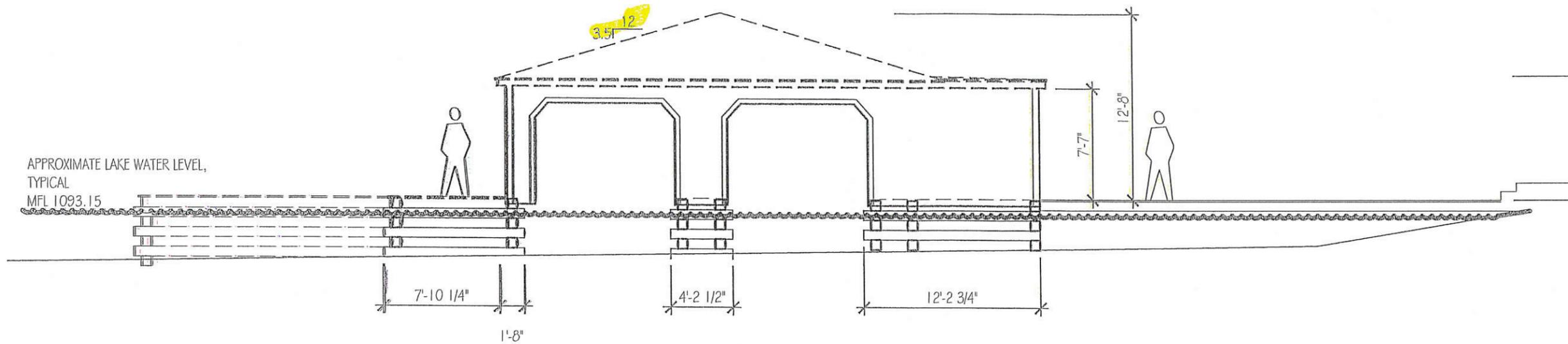
AX.02

SD\1520 elevs.dwg

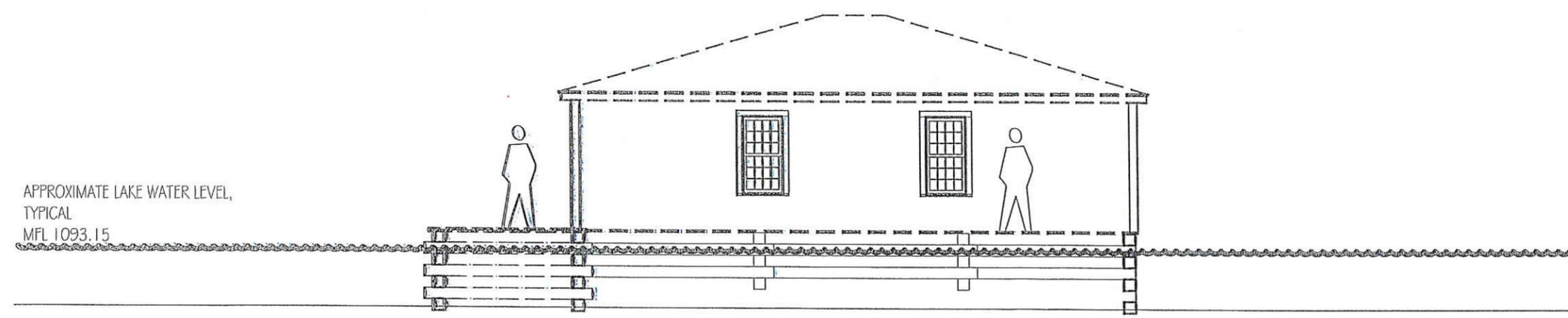
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ROWSE BOATHOUSE
Renovations and Restoration
47 Sunset Shores
New London, New Hampshire



SOUTH ELEVATION



WEST ELEVATION



ELEVATIONS - EXISTING CONDITIONS

SCALE: 1/8" = 1'-0"

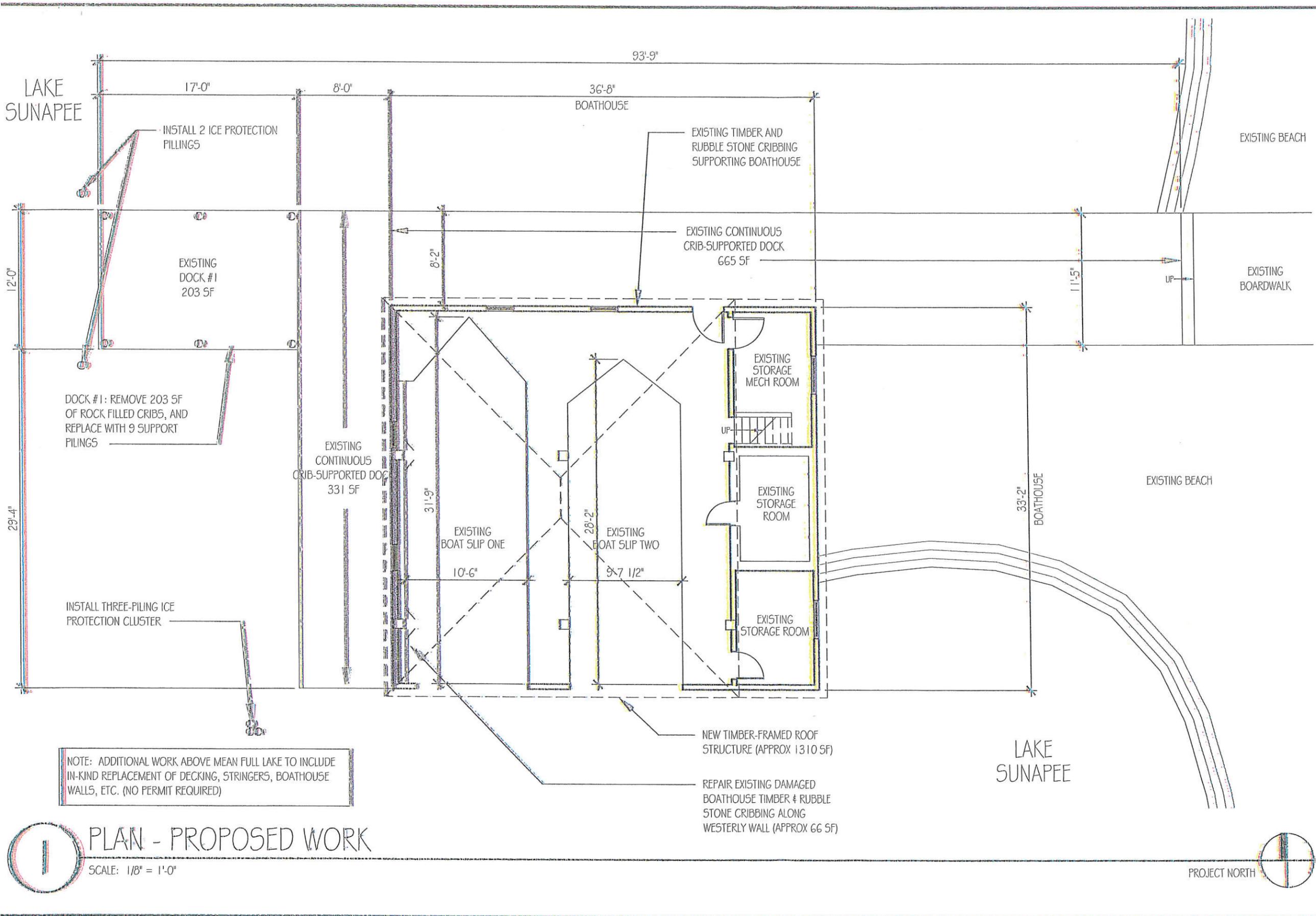
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ISSUE	DESCRIPTION	DATE

Existing Conditions
**EXTERIOR
ELEVATIONS**

DATE	25 JAN 2016
SCALE	AS NOTED
DRAWN BY	RKT
PROJECT NUMBER	1520

AX.03

50\1520 elevs.dwg



Misiażek
Turpin
pllc

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ROWSE BOATHOUSE
Renovations and Restoration
47 Sunset Shores
New London, New Hampshire

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ISSUE	DESCRIPTION	DATE

Proposed Work
PLAN

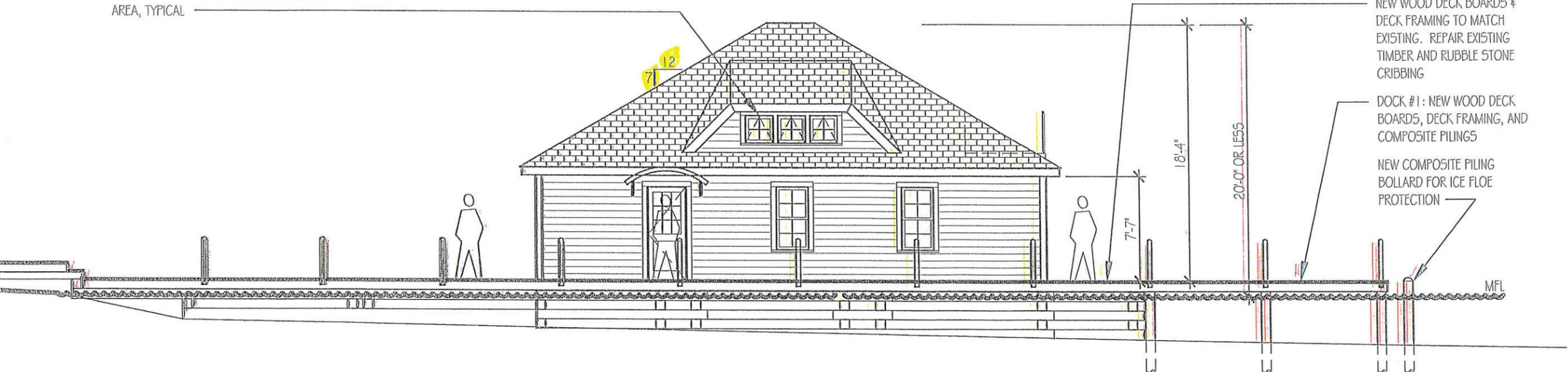
DATE	25 JAN 2016
SCALE	AS NOTED
DRAWN BY	RJT
PROJECT NUMBER	1520

1 PLAN - PROPOSED WORK
SCALE: 1/8" = 1'-0"

PROJECT NORTH

AN.01

NEW VENTING WINDOWS FOR NATURAL LIGHT AND AIR MOVEMENT IN BOAT SLIP AREA, TYPICAL



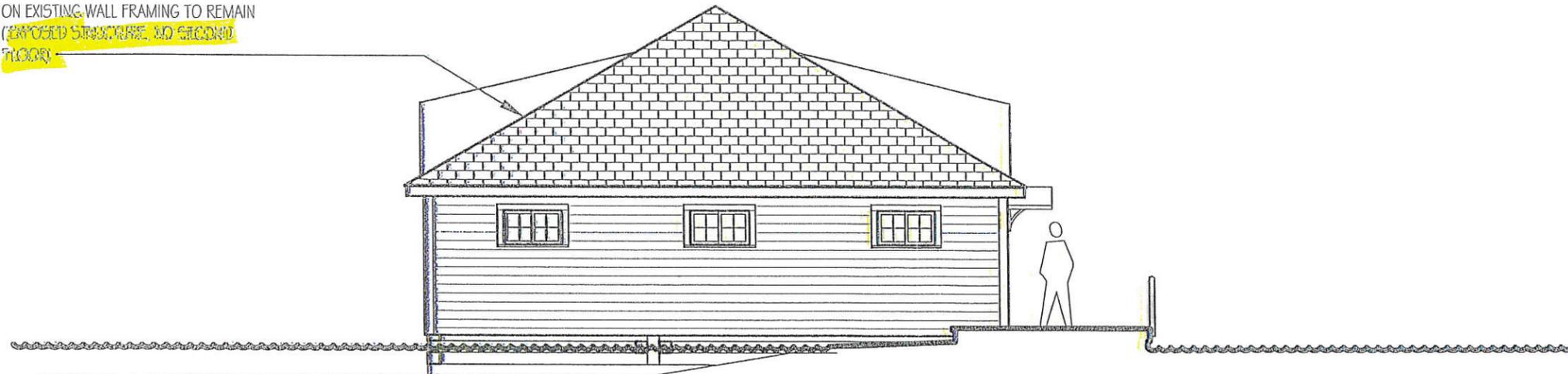
NEW WOOD DECK BOARDS & DECK FRAMING TO MATCH EXISTING. REPAIR EXISTING TIMBER AND RUBBLE STONE CRIBBING

DOCK #1: NEW WOOD DECK BOARDS, DECK FRAMING, AND COMPOSITE PILING

NEW COMPOSITE PILING BOLLARD FOR ICE FLOE PROTECTION

NORTH ELEVATION

NEW TIMBER-FRAMED ROOF STRUCTURE ON EXISTING WALL FRAMING TO REMAIN (REMOVED STRUCTURE, NO SECOND FLOOR)



EAST ELEVATION

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ISSUE	DESCRIPTION	DATE

Proposed Work
EXTERIOR
ELEVATIONS

DATE	25 JAN 2016
SCALE	AS NOTED
DRAWN BY	RKT
PROJECT NUMBER	1520

AN.02

501520 elev.dwg

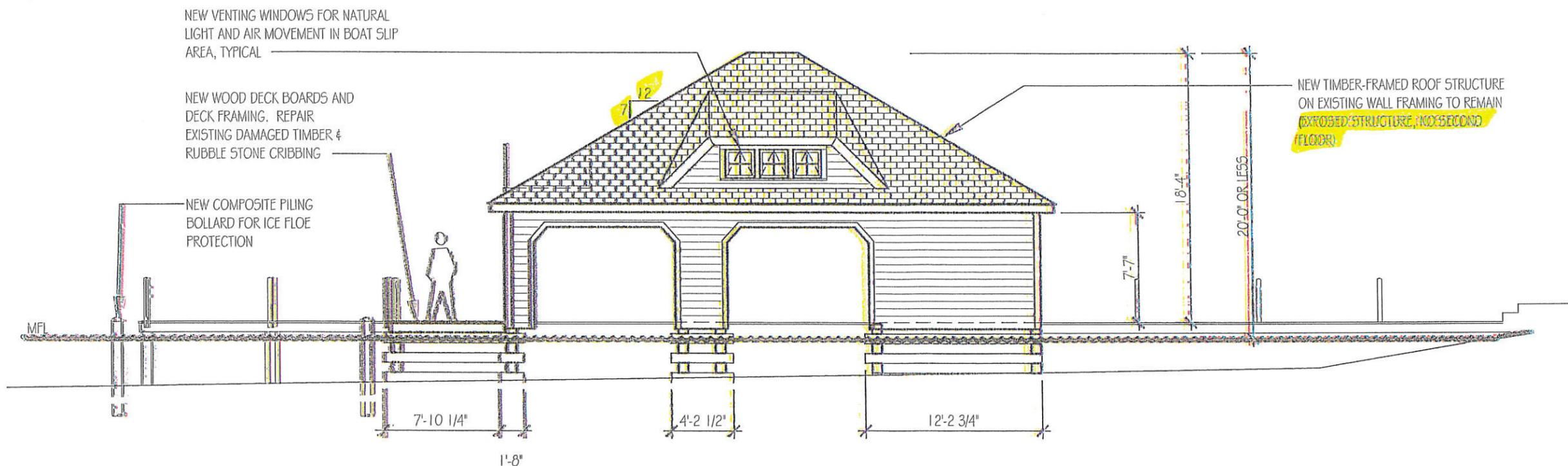
ELEVATIONS - PROPOSED WORK ARCHITECTURAL DETAIL SUBJECT TO CHANGE

SCALE: 1/8" = 1'-0"

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ROWSE BOATHOUSE
Renovations and Restoration
47 Sunset Shores
New London, New Hampshire



SOUTH ELEVATION



WEST ELEVATION

1 ELEVATIONS - PROPOSED WORK ARCHITECTURAL DETAIL SUBJECT TO CHANGE

SCALE: 1/8" = 1'-0"

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ISSUE	DESCRIPTION	DATE

Proposed Work

EXTERIOR

ELEVATIONS

DATE	25 JAN 2016
SCALE	AS NOTED
DRAWN BY	RKT
PROJECT NUMBER	1520

AN.03

SD\1520 elevs.dwg