



04 September 2019

Town Of New London
375 Main Street
New London, NH 03257

To Whom It Concerns,

This letter authorizes Greg Grigsby, of Pellettieri Associates, Inc., Ari Pollack, Esq. of Gallagher, Callahan and Gartrell, P.C., and/or Tony Borque of Burpee Hill Construction, LLC to act as our agents. This includes applying for any permits required and/ or representing our interests for work on our property located at 133 Lighthouse View Road in New London, NH (Tax Map 126 Lot 13)

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert K. Martin and Carol L. Thrane'.

Robert K. Martin and Carol L. Thrane
Trustees of Robert K. Martin Revocable Trust and Carol L. Thrane Revocable Trust
4646 Broadway Street No. 10
Kansas City, MO 64112

**Executive Summary for Proposed Variance
To New London Zoning Article XX, Section B.1.c.i.**

Robert Martin and Carol Thrane; Tax Map 126, Lot 13, Zone R2

September 4, 2019

Application is herewith made for a Variance from New London Zoning Article XX, Section B.1.c.i., relating to improvements to legal nonconforming structures. This Article prohibits construction and site work inside the Waterfront Buffer (50'), even if such work relates to an existing nonconforming structure. In this case the proposed improvements consist of replacement in kind of an existing deck to improve the safety and physical stability of the deck.

The primary reason for the reconstruction of the deck is for the safety of the users, and to address structural issues with its footings and its connection to the house. The proposed work maintains the existing footprint, and impervious coverage of the deck, and therefore no change in encroachment on the adjacent resource (Lake Sunapee) occurs.

No trees need to be removed as part of this work, as there exists a sufficient construction envelope within which to work. The temporary equipment access on the south side of the house is steep (26%±) and is vegetated with mature rhododendron on either side (see accompanying photos). The branches that conflict with equipment access will be tied back and avoided to minimize damage/ breakage. The temporary access route will be covered by 6-12" of woodchips to minimize soil compaction over root zones and to discourage erosion of the temporary access route.

Since the proposed footprint of the deck does not change, the excavation for the new footings takes place within already disturbed areas. Upon substantial completion of the deck work, the existing turf areas in the Waterfront Buffer will be restored with low growing native, or improved native vegetation, including Hayscented fern sod, blueberry bushes, Sheep Laurel, and Meadowsweet (see attached restoration plan). The area will be contoured to blend with existing grades, while making access to the lakeside safer and more uniform for users.

In addition to the Waterfront Buffer improvements/restoration, many other related site improvements are proposed. Where possible, roof runoff will be conveyed to drywells for infiltration of stormwater runoff. In addition, an overall impervious area reduction of 2,390 square feet, or 5.5% is proposed. As a result of the aforementioned efforts, there will be enhanced protection of the Lake Sunapee resource.

APPLICATION FOR A VARIANCE

To: Zoning Board of Adjustment, Town of New London, 375 Main Street

Name of owner/applicant: Robert K. Martin & Carol L. Thrane Revocable Trusts

Mailing Address: 4646 Broadway Street No. 10 Kansas City State: MO Zip: 64112

Home Telephone: _____ Work Telephone: _____ Cell: _____

Email address: rkmartinc@gmail.com cthranec@gmail.com

Owner of property: Robert K. Martin & Carol L. Thrane
(if same as applicant, write "same")

Location of property 133 Lighthouse View Road

Tax Map Number: 126 Lot Number: 13 Zone: R-2

**A variance is requested from the provisions of Article: XX Section: B.1.c.i.
of the Zoning Ordinance to permit New footings and replacement-in-kind of existing deck
attached to a Primary non-conforming Structure.**

Facts supporting this request:

1. The variance will not be contrary to the public interest:
Replacement-in-kind of an existing deck on private property will not encroach upon
the public trust or be contrary to the public interest. Adequate erosion controls will
be in place and inspected prior to work, for protection of Lake Sunapee.

2. The spirit of the ordinance is observed: _____
Article XX B.1.a. Allows for improvements to existing non-conforming structures
in the waterfront buffer. Only construction relief is requested, therefore, the spirit
of the ordinance is observed.

3. Substantial justice is done: _____
By renovating and otherwise avoiding demolition of a large primary structure,
site impacts are limited and substantial justice is achieved.

4. The values of surrounding properties are not diminished; and:
Replacement-in-kind of an existing deck will not diminish the values of
surrounding properties. The improvement of such a structure is likely to increase
the value of the subject property and reflect positively on surrounding properties.

5. Literal enforcement of the provisions of the ordinance would result in an unnecessary hardship.

A. For purposes of this subparagraph, “unnecessary hardship” means that, owing to special conditions of the property that distinguish it from other properties in the area:

(1) No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property;
Due to the configuration of the house and deck relative to setbacks,
the house would need to be demolished in order to rebuild the deck,
thus creating an ‘unnecessary hardship’.

and

(2) The proposed use is a reasonable one;

The use doesn’t change from what exists today. Further, a deck
attached to a Primary Structure in the R-2 District is reasonable for
outdoor living space, and is consistent with nearby residential lots.

B. If the criteria in subparagraph (A) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

The width of the lot, and steep slopes, make relief necessary to
achieve a reasonable use.

Owner/applicant(s) Signature:  Carl L. Thane Date: 04 September 2019

NOTE:

This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

For questions or assistance in completing these forms, please contact:

Zoning Administrator

603-526-1246

Email: zoning@nl-nh.com

Or

Assessing Coordinator

603-526-1243

Email: landuse@nl-nh.com

From: Nicole Gage zoning@nl-nh.com

Subject: RE: Protocol

Date: September 3, 2019 at 11:55 AM

To: Greg Grigsby ggrigsby@pellettieriassoc.com, Town of New London Conservation Commission nl_nhcc@yahoo.com

Cc: Tony Bourque tony@burpeehill.com, Ari B. Pollack pollack@gcglaw.com

NG

Hi Greg.

You do not need a denied building permit to begin the Variance application. This email, as well as my February email, gives my opinion of the proposed plan and suggestions.

VARIANCE APPLICATION: If you must disturb land outside the footprint of the decking which is located completely within the 50-foot buffer, then my opinion is that you would first require a Variance from the New London Zoning Ordinance, Article XX, Section B.1.c.i. A variance from this section would permit you temporarily disturb the waterfront buffer. **The next ZBA application deadline is 9/10 for a public hearing on 10/1.**

PLANNING BOARD: In addition, due to the way the ordinance is written, if the restoration work you plan on doing requires the need for a temporary access path (maximum 12-foot wide) for any restoration work that involves relates to a dock or boathouse, a permanent pathway, beach replenishment or retaining walls, I recommend that you also seek Planning Board approval for the temporary access path, per New London Zoning Ordinance XVI.F.2.vii. **Today is the Planning Board deadline for their 9/24 meeting.** I will email Adam Ricker, Planner, to put a holding spot for this property on the 9/24 Planning Board agenda. Can you email him ASAP a Written Description and Plan? He is preparing the Agenda this week.

CONSERVATION COMMISSION: I will email the New London Conservation Commission so they can put this on their 9/18 agenda for 8:30 AM.

Please fill out the Stormwater and Erosion Control Plan application (required for any Land Disturbance in the Shoreland Overlay) and submit it along with 3 plan sets (one for myself, Planning Board and Conservation Commission) and the \$50 application fee, as well as the Variance application.

Nicole Gage
Zoning Administrator
Town of New London, NH
Email zoning@nl-nh.com / Web www.nl-nh.com
Direct (603) 526-1246 / Town Office (603) 526-4821

CONFIDENTIALITY NOTICE: Privacy should not be assumed with emails associated with town business. Certain emails are public documents and may be subject to disclosure. This electronic message, and any attachments, may contain information that is confidential and/or legally privileged in accordance with NH RSA 91-A and other applicable laws or regulations. This email message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential and/or privileged information. Any unauthorized review, use, disclosure, or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply email and destroy/delete all copies of the original message.

From: Greg Grigsby <ggrigsby@pellettieriassoc.com>
Sent: Friday, August 30, 2019 3:22 PM
To: Nicole Gage <zoning@nl-nh.com>
Cc: Tony Bourque <tony@burpeehill.com>; Ari B. Pollack <pollack@gcglaw.com>
Subject: Protocol

Hi Nicole -

As you may recall, Tony Borque from Burpee Hill Construction, and I, came to your office and discussed the repair of the deck attached to the house at 133 Lighthouse View Road (draft plan plan by surveyor attached). We're eager to get the improvements to the deck underway as soon as possible. With that in mind, we dropped off a shoreland application for this project today, and would like to get on the Conservation Commission's agenda for their next meeting.

In addition to new decking and structural components, it needs new footings as well. However, the deck sits within 50' of Lake Sunapee, and the house straddles the 50' setback. Accordingly, we realize that Article XX B. 1. applies to these deck improvements.

Since it would be impossible to adhere to Article XX B. 1. c. i. without tearing down a 6,000 SF house to access the deck area in the Waterfront buffer, we discussed needing a Variance for the improvement to the deck. Is this still the case, and what is the preferred protocol? Will Tony need to file a building permit that gets rejected, with the town responding by letter citing the specific Article for the denial? Alternatively, if we're in agreement that we need a Variance, can we bypass the formality of filing the building permit for the denial?

Article XVI F. vii. allows for temporary access to the Waterfront Buffer, but not specifically for improving the foundation of a deck. However, we'll be seeking approval for equipment access to the Waterfront Buffer for both the deck improvements and shoreland restoration proposed on the shoreland application.

Look forward to hearing from you. In the meantime, have a great Labor Day weekend.

Best,

Greg
GREG GRIGSBY, PLA
Senior Landscape Architect/Project Manager

Pellettieri Associates, Inc.
169 Kearsarge Mountain Road
P.O. Box 717
Warner, NH 03278

p 603-456-3678
www.pellettieriassoc.com





Tax Map 126 Lot 13

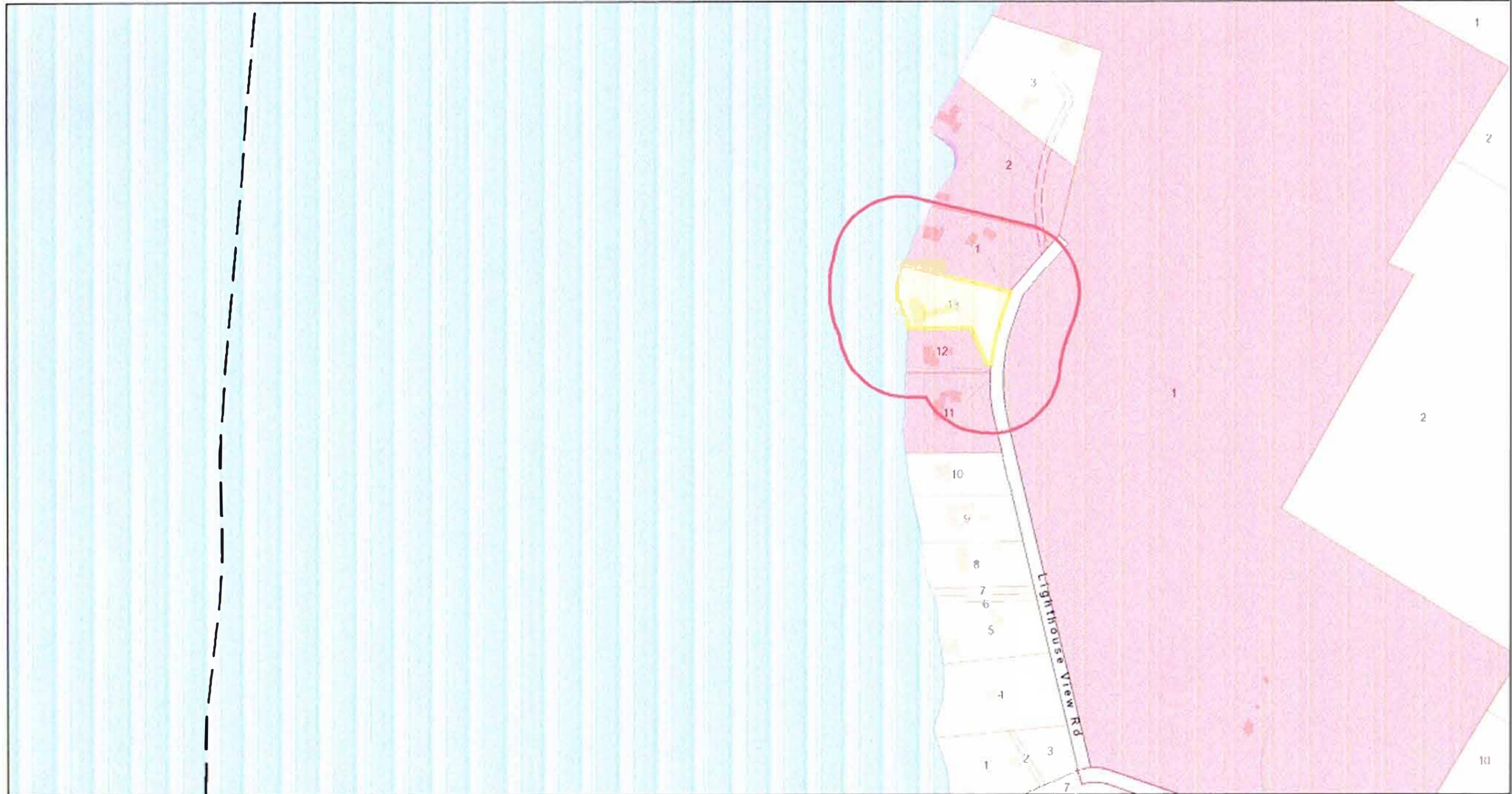
Tri Town, NH

1 inch = 273 Feet



www.cai-tech.com

August 27, 2019



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



200 1001 Abutters List Report

New London, NH
September 04, 2019

Subject Property:

Parcel Number: 126-013-000
CAMA Number: 126-013-000-0000-00000
Property Address: 133 LIGHTHOUSE VIEW RD

Mailing Address: MARTIN ROBERT K REVOCABLE TRUS
THRANE CAROL L REVOCABLE TRUST
4646 BROADWAY ST. #10
KANSAS CITY, MO 64112

Abutters:

Parcel Number: 115-001-000
CAMA Number: 115-001-000-0000-00000
Property Address: 143 LIGHTHOUSE VIEW RD

Mailing Address: RYAN DAVID 2011 DYNASTY TRUST
CAROLINE RYAN TRUSTEE
143 LIGHTHOUSE VIEW ROAD
NEW LONDON, NH 03257

Parcel Number: 115-002-000
CAMA Number: 115-002-000-0000-00000
Property Address: 29 BOULDER POINT

Mailing Address: RAOUL & KAREN LLC C/O RYAN CARR
51 ST NICHOLAS AVE #7A
NEW YORK, NY 10026

Parcel Number: 126-011-000
CAMA Number: 126-011-000-0000-00000
Property Address: 115 LIGHTHOUSE VIEW RD

Mailing Address: BROCK-WILSON JANE
314 DARTMOUTH ST #4
BOSTON, MA 02116

Parcel Number: 126-012-000
CAMA Number: 126-012-000-0000-00000
Property Address: 119 LIGHTHOUSE VIEW RD

Mailing Address: LIGHTHOUSE VIEW REV REALTY TRU
CARBONNEAU TRUSTEE DANIEL
LONDON BRIDGE N. LLC/CO BP LLC 200
CLARENDON ST 35TH FLOOR
BOSTON, MA 02116

Parcel Number: 127-002-000
CAMA Number: 127-002-000-0000-00000
Property Address: 216 SOO NIPI PARK RD

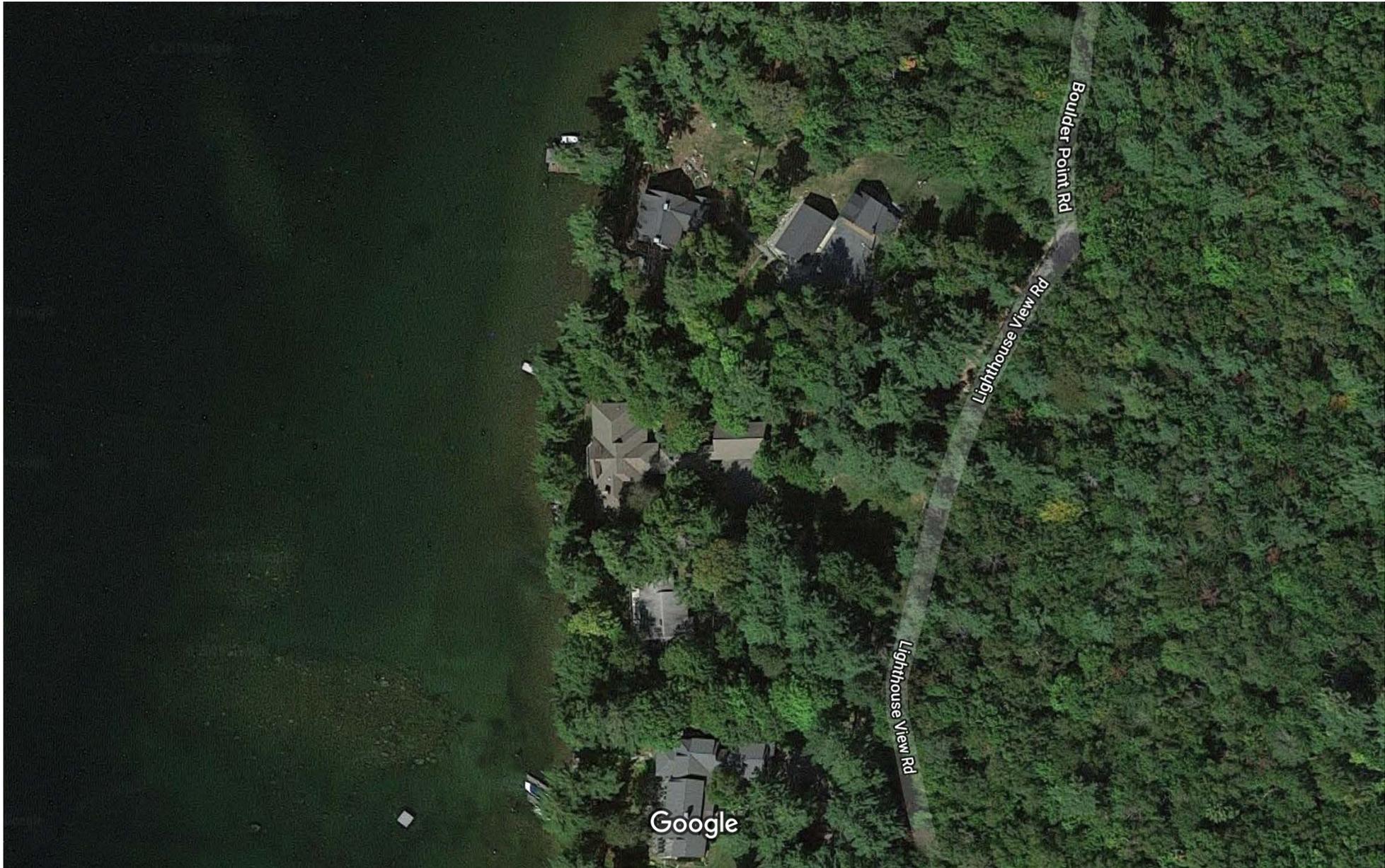
Mailing Address: CRIMI HOLDINGS OF NEW HAMPSHIR
C/O PAMELA FANTINI
7 MILL POND
MARBLEHEAD, MA 01945

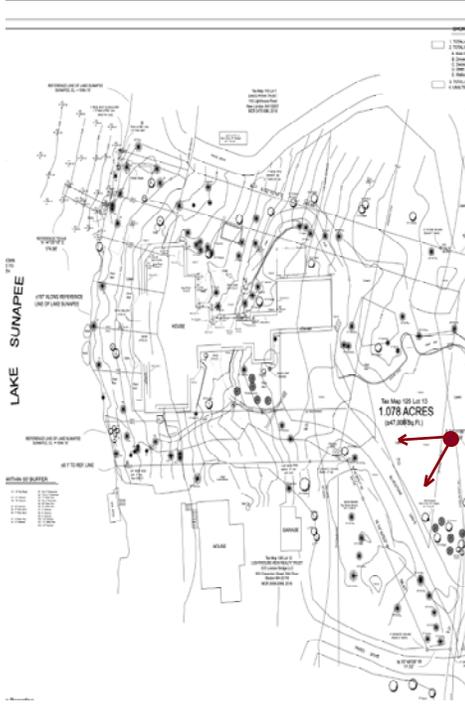
*NEW LONDON BOARD OF SELECTMEN
375 MAUL STREET
NEW LONDON, NH. 03257*



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

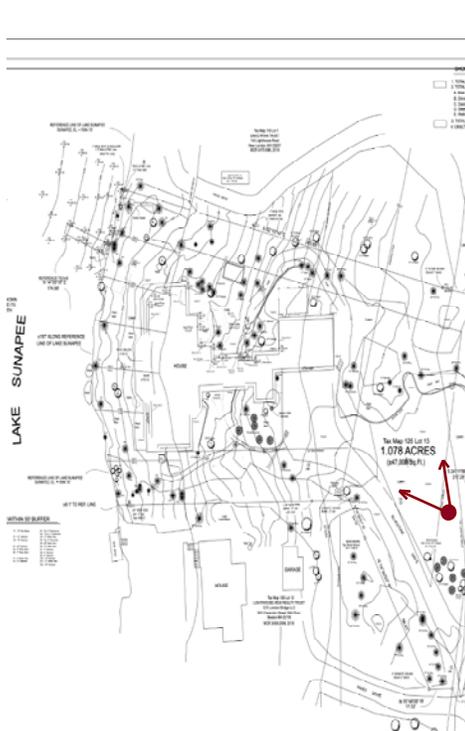




Existing Driveway

Legend

Photo Location/View



Existing Lawn & Vegetation

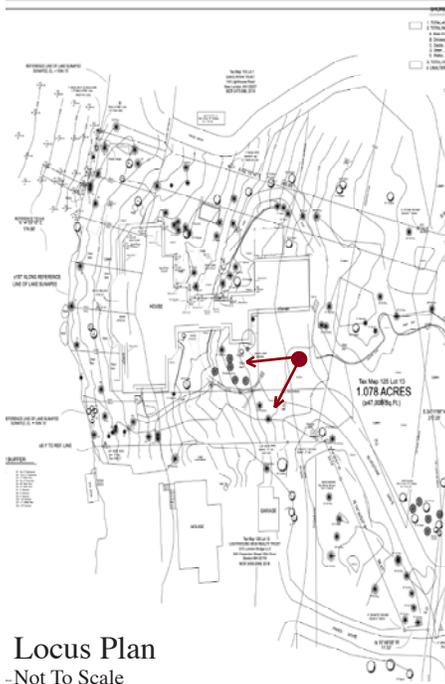
Legend

Photo Location/View

Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
 10 July 2019



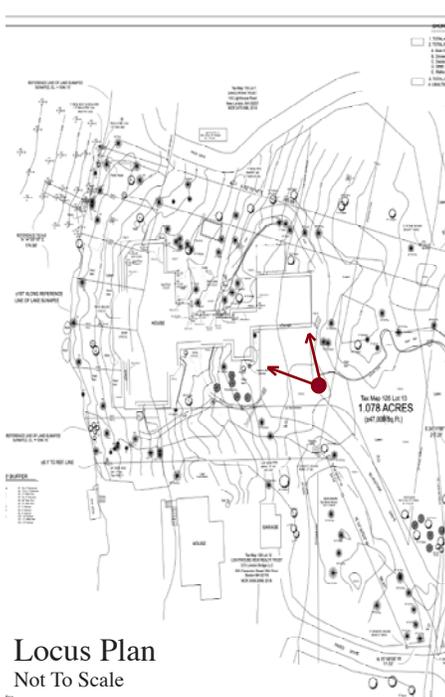
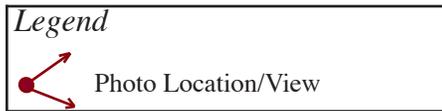
Pellettieri Associates, Inc
 Landscape Architecture & Construction
 169 Kearsarge Mountain Road Warner, NH 03278
 Phone (603) 456-3678 Fax (603) 456-3229
 E-mail: ggrigsby@pellettieriassoc.com



Locus Plan
-Not To Scale



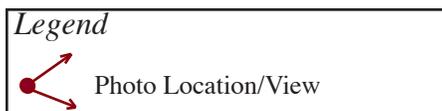
Existing Driveway & Vegetative Buffer



Locus Plan
Not To Scale



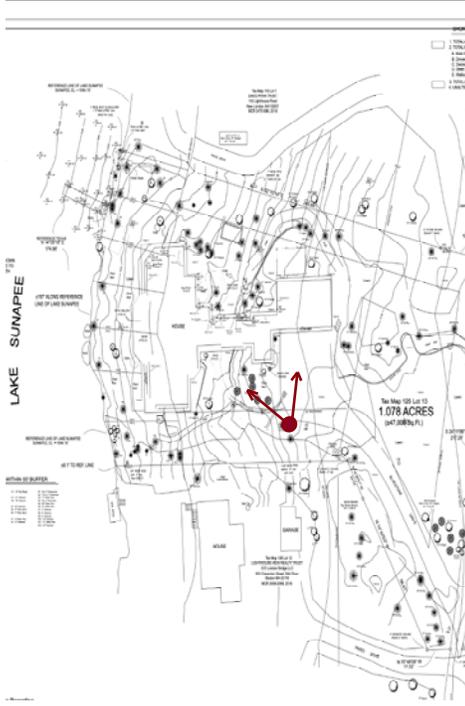
Existing Driveway & Garage



Martin/Thrane Property
133 Lighthouse View Road, New London, NH
Existing Site Conditions
10 July 2019



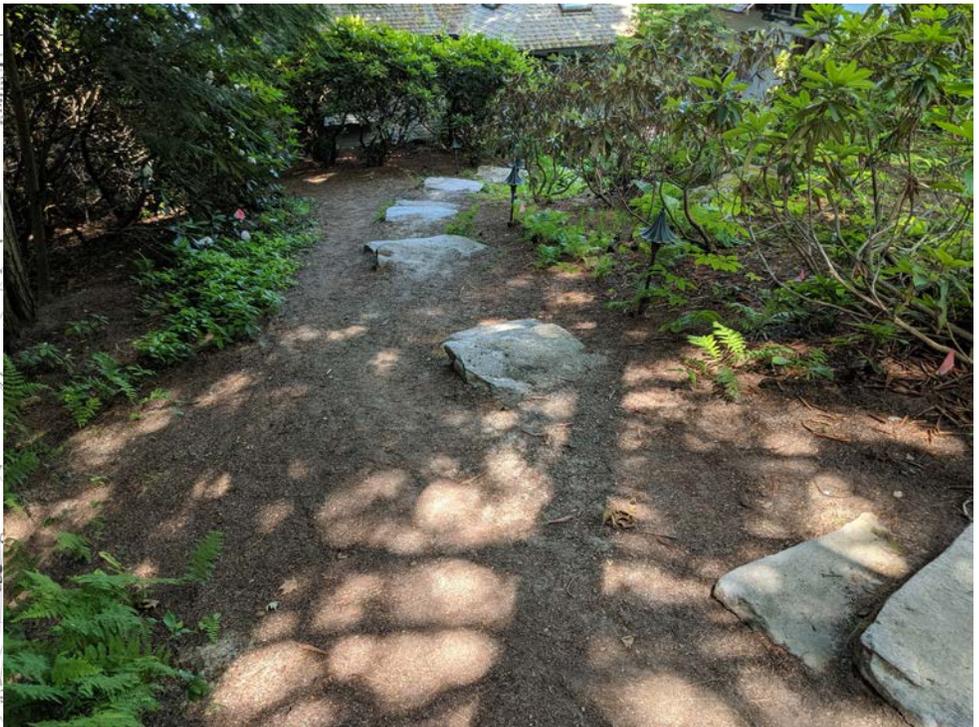
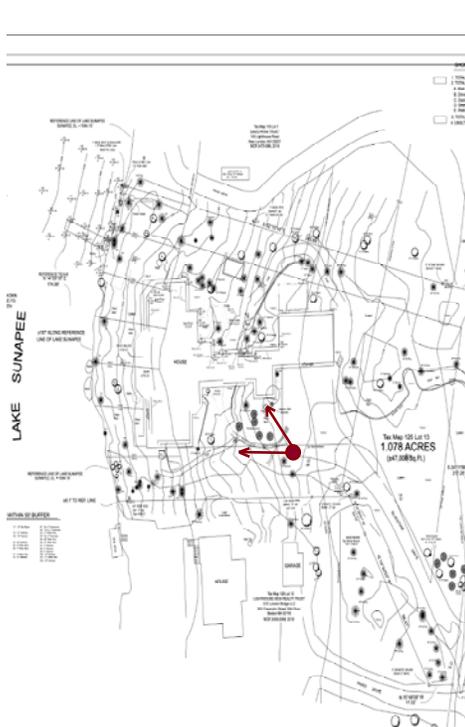
Pellettieri Associates, Inc
Landscape Architecture & Construction
169 Kearsarge Mountain Road Warner, NH 03278
Phone (603) 456-3678 Fax (603) 456-3229
E-mail: ggrigsby@pellettieriassoc.com



Legend

 Photo Location/View

Existing Driveway & Mulch Pathway



Legend

 Photo Location/View

Existing Mulch Pathway

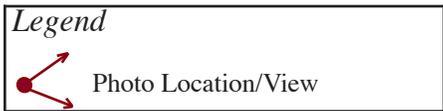
Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
 10 July 2019



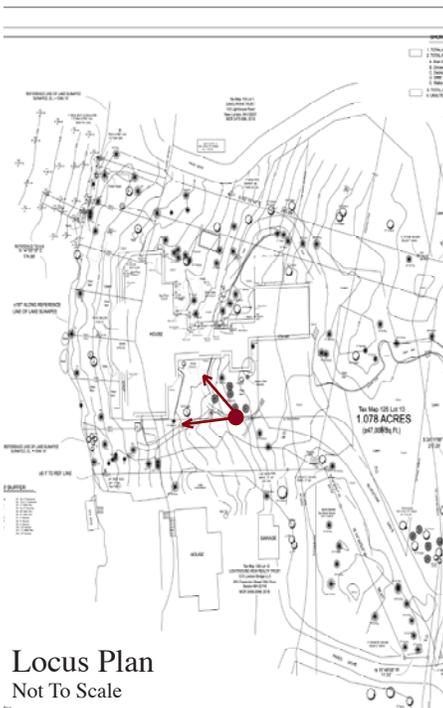
Pellettieri Associates, Inc
 Landscape Architecture & Construction
 169 Kearsarge Mountain Road Warner, NH 03278
 Phone (603) 456-3678 Fax (603) 456-3229
 E-mail: ggrigsby@pellettieriassoc.com



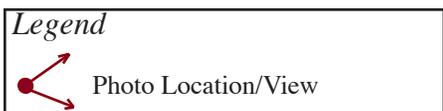
Locus Plan
-Not To Scale



Existing Mulch Pathway & Landscape Steps



Locus Plan
Not To Scale

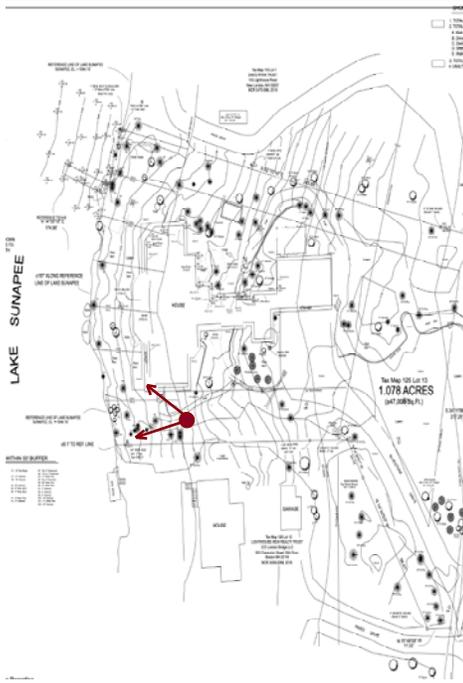


Existing Mulch Pathway & Landscape Steps

Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
 10 July 2019



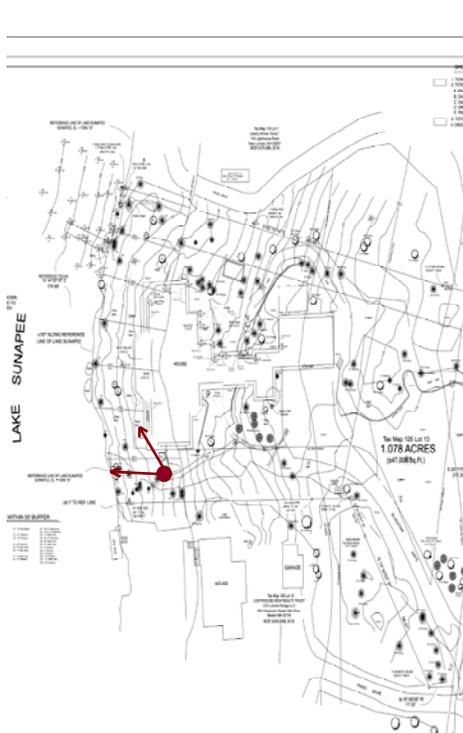
Pellettieri Associates, Inc
 Landscape Architecture & Construction
 169 Kearsarge Mountain Road Warner, NH 03278
 Phone (603) 456-3678 Fax (603) 456-3229
 E-mail: ggrigsby@pellettieriassoc.com



Existing Waterfront Buffer

Legend

Photo Location/View



Existing Waterfront Buffer

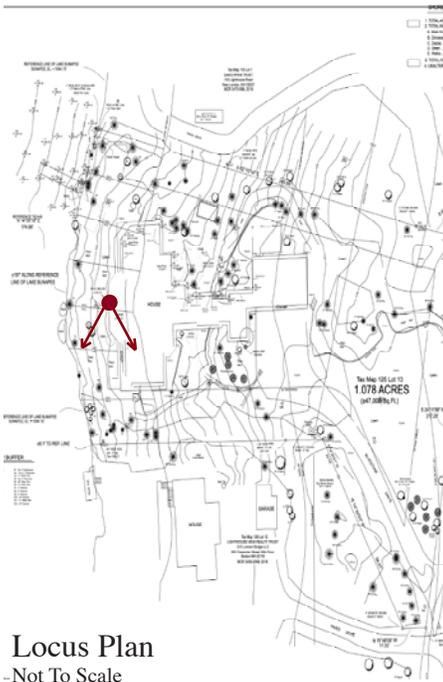
Legend

Photo Location/View

Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
 10 July 2019



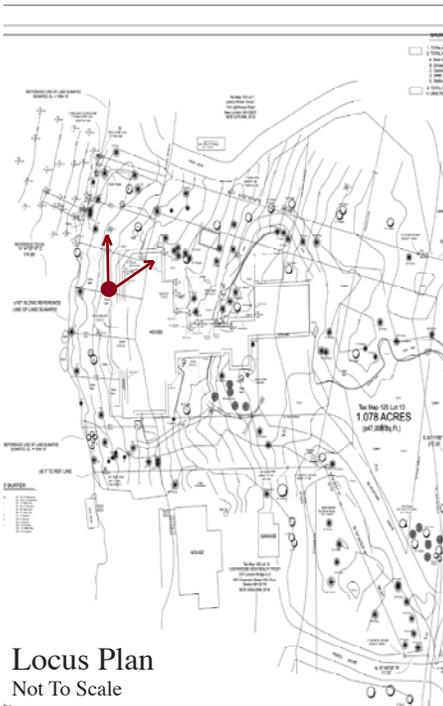
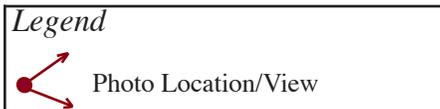
Pellettieri Associates, Inc
 Landscape Architecture & Construction
 169 Kearsarge Mountain Road Warner, NH 03278
 Phone (603) 456-3678 Fax (603) 456-3229
 E-mail: ggrigsby@pellettieriassoc.com



Locus Plan
-Not To Scale



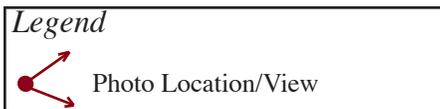
Existing Waterfront Buffer



Locus Plan
Not To Scale



Existing Waterfront Buffer



Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
 10 July 2019

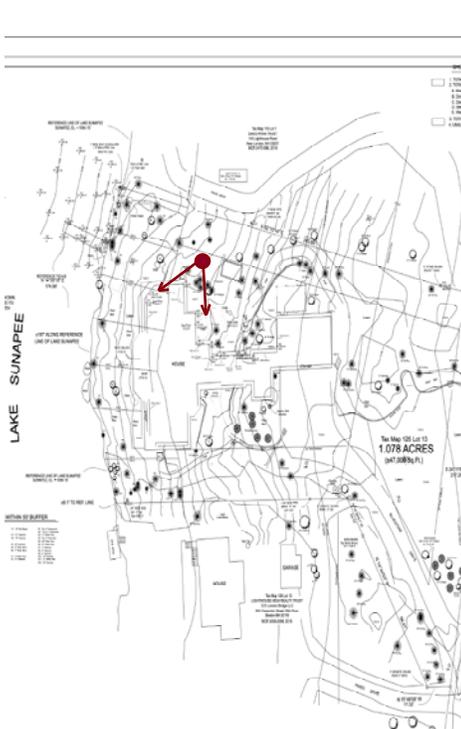


Pellettieri Associates, Inc
 Landscape Architecture & Construction
 169 Kearsarge Mountain Road Warner, NH 03278
 Phone (603) 456-3678 Fax (603) 456-3229
 E-mail: ggrigsby@pellettieriassoc.com



Legend
 Photo Location/View

Existing Structure & Retaining Walls



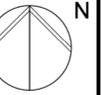
Legend
 Photo Location/View

Existing Patio & Walkway

Martin/Thrane Property
 133 Lighthouse View Road, New London, NH
 Existing Site Conditions
 10 July 2019



Pellettieri Associates, Inc
 Landscape Architecture & Construction
 169 Kearsarge Mountain Road Warner, NH 03278
 Phone (603) 456-3678 Fax (603) 456-3229
 E-mail: ggrigsby@pellettieriassoc.com



Legend

Existing Building		Existing Acc. Structure	
Existing Driveway		Existing Walls	
Existing Patio/Walk		Existing Unaltered	

Existing Impervious Area Calculations

Impervious Areas	Waterfront Buffer (R-50')	Woodland Buffer (50'-150')	Protected Shoreland (150'-250')	(R-250')	Total
Building	1,940SF	4,235SF	730SF		6,910SF
Driveway/Road	0SF	985SF	2,810SF		3,795SF
Patio/Walkways	0SF	385SF	15SF		400SF
Accessory Structures	225SF	135SF	0SF		360SF
Walls	60SF	225SF	40SF		325SF
	Waterfront Buffer (R-50')	Woodland Buffer (50'-150')	Protected Shoreland (150'-250')	(R-250')	Total
Total Impervious Area	2,225SF	5,965SF	3,595SF	11,785SF	11,785SF
Total Area	8,920SF	15,685SF	18,800SF		43,405SF
Percent Impervious					27.1%

Existing Crank-Up Dock.

REFERENCE TIE A-B
N 14° 09' 18" E
174.96'

±187' ALONG REFERENCE
LINE OF LAKE SUNAPEE

REFERENCE LINE OF LAKE SUNAPEE
SUNAPEE, E.L. = 1094.15'

±8.1' TO REF. LINE

LAKE SUNAPEE

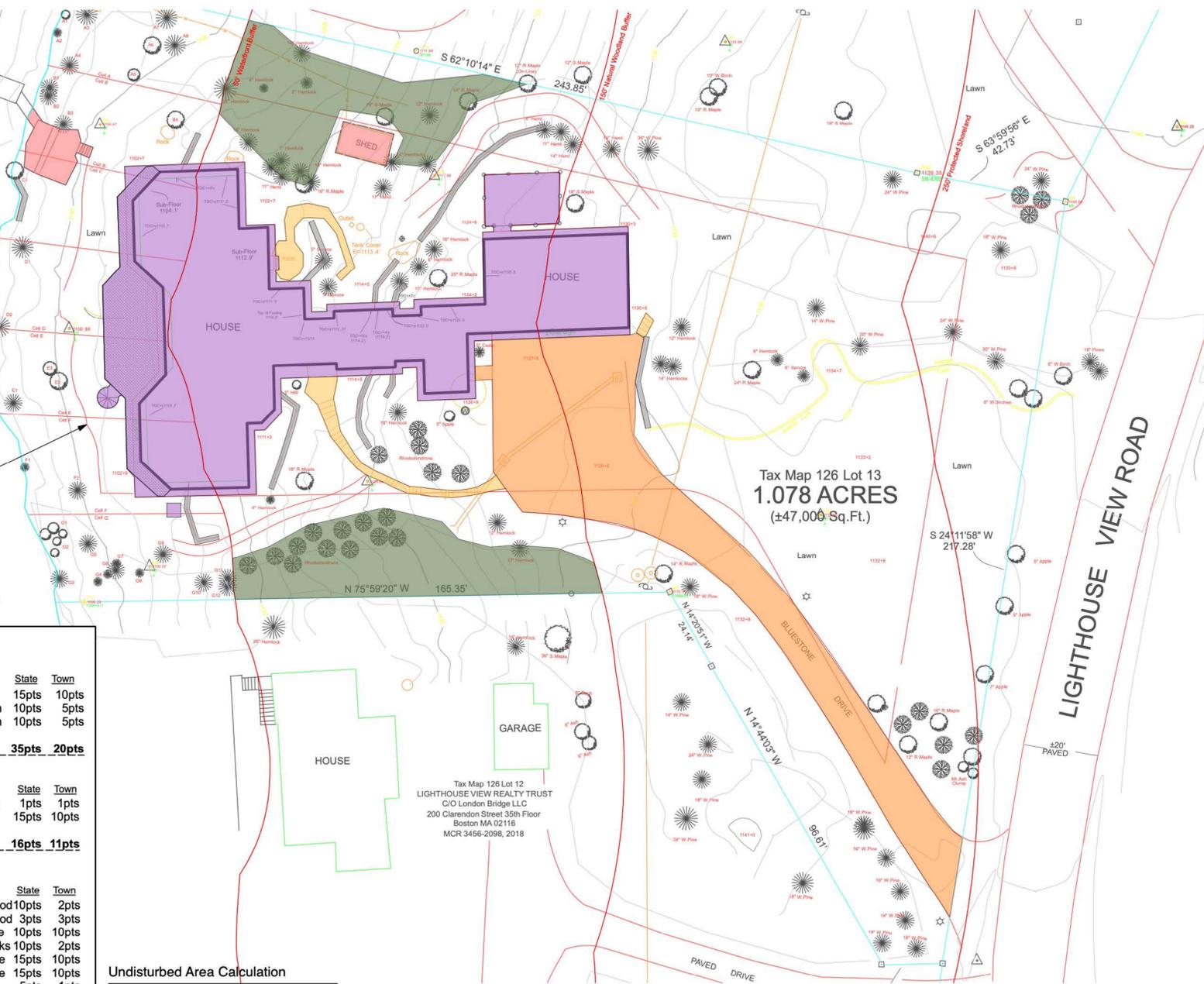
Tree Cell Counts

Cell A	State	Town	Cell E	State	Town
1 - 2" Red Maple	1pts	1pts	1 - 20" Hemlock	15pts	10pts
2 - 1" Hemlock	1pts	1pts	2 - 9" White Birch	10pts	5pts
3 - 26" Hemlock	15pts	10pts	3 - 7" White Birch	10pts	5pts
4 - 8" Hemlock	10pts	5pts			
5 - 6" Hemlock	10pts	5pts	Total	35pts	20pts
6 - 10" Red Maple	10pts	5pts			
7 - 20" Hemlock	15pts	10pts	Cell F	State	Town
8 - 20" Hemlock	15pts	10pts	1 - 2" White Pine	1pts	1pts
			2 - 14" Hemlock	15pts	10pts
Total	77pts	47pts	Total	16pts	11pts
Cell B	State	Town	Cell G	State	Town
1 - 14" White Pine	15pts	10pts	1 - (2) 4" Hardwood	10pts	2pts
2 - 20" White Pine	15pts	10pts	2 - (3) 2" Hardwood	3pts	3pts
3 - 28" Hemlock	15pts	10pts	3 - 11" White Pine	10pts	10pts
4 - 18" Red Maple	15pts	10pts	4 - (2) 3" Hemlocks	10pts	2pts
Total	60pts	40pts	5 - 28" White Pine	15pts	10pts
Cell C	State	Town	6 - 21" White Pine	15pts	10pts
1 - 12" Red Maple	15pts	10pts	7 - 4" Hemlock	5pts	1pts
Total	15pts	10pts	8 - 4" Hemlock	5pts	1pts
Cell D	State	Town	9 - 4" Hemlock	5pts	1pts
1 - 21" Hemlock	15pts	10pts	10 - 18" Hemlock	15pts	10pts
2 - 18" Hemlock	15pts	10pts	11 - 31" White Pine	15pts	10pts
Total	30pts	20pts	12 - 16" Hemlock	15pts	10pts

Undisturbed Area Calculation

Total Area		
Between 50'-150'		15,685SF
Less Impervious Area (50'-150')	4,860SF	
Total		10,825SF
Unaltered Area		
25% To Remain (State)	3,920SF	
50% To Remain Less Imp. (Town)	5,415SF	
Existing Unaltered Area		3,515SF

Survey Note:
Base Information Provided By Pennyroyal Hill Landsurveying & Forestry of Croydon, NH.



Tax Map 126 Lot 13
1.078 ACRES
(±47,000 Sq.Ft.)

Tax Map 126 Lot 12
LIGHTHOUSE VIEW REALTY TRUST
C/O London Bridge LLC
200 Clarendon Street 35th Floor
Boston MA 02116
MCR 3456-2098, 2018

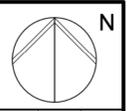
Robert Martin & Carol Thrane
133 Lighthouse View Road
New London, NH, 03257

PAI ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE, CONSTRUCTION & FINE GARDENING
169 KEARSARGE MOUNTAIN ROAD · WARNER, NH 03278 · (603)456-3578

Project
Martin/Trane Residence
Title Existing Conditions SWQPA Plan

Job No.
Scale 1" = 20'
Date 29 Aug '19
Revised
Drawn by PAI



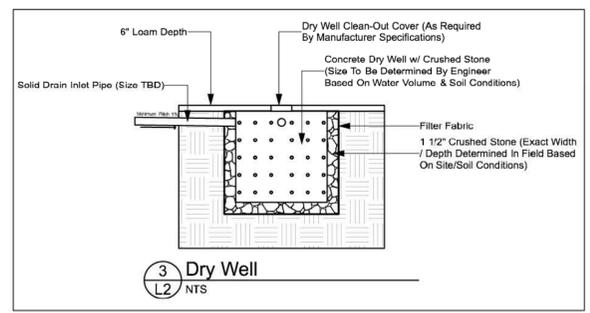
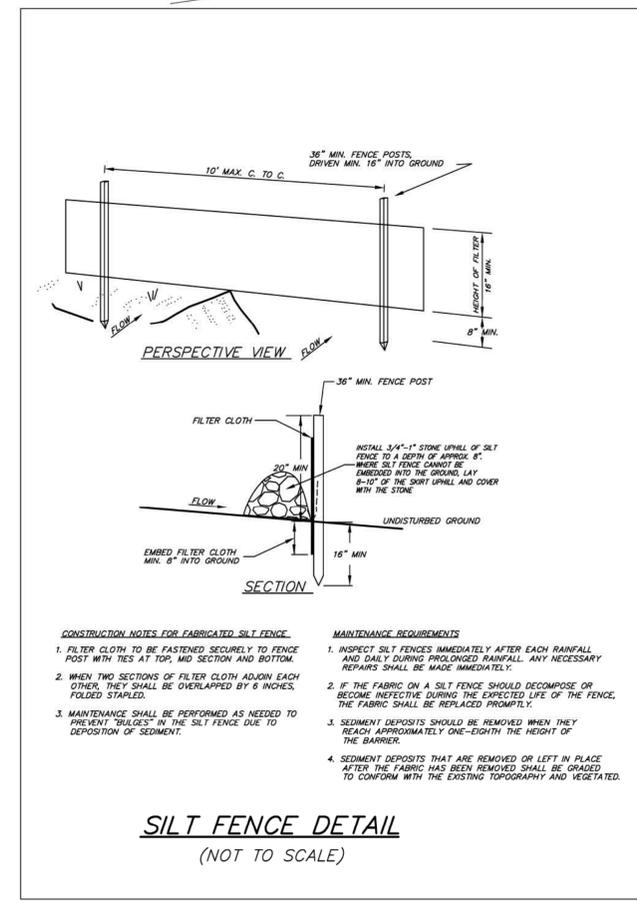


Legend

Existing Building		Proposed Patio/Walk	
Existing Driveway		Proposed Walls	
Existing Patio/Walk		Existing Acc. Structure	
Existing Walls		Existing Unaltered	
Proposed Pervious Driveway		Temporary Impact	
Shoreland Restoration		Proposed Elevations	+1100.0
Proposed Contours		Proposed Contours	
Proposed Drywell			

Proposed Impervious Area Calculations

Impervious Areas	Waterfront Buffer (R-50')	Woodland Buffer (50'-150')	Protected Shoreland (150'-250')	Total (R-250')
Building	1,975SF	3,950SF	730SF	6,655SF
Driveway/Road	0SF	0SF	1,225SF	1,225SF
Patio/Walkways	240SF	515SF	15SF	770SF
Accessory Structures	205SF	135SF	0SF	340SF
Walls	100SF	265SF	40SF	405SF
Total Impervious Area	2,520SF	4,865SF	2,010SF	9,395SF
Total Area	8,920SF	15,685SF	18,800SF	43,405SF
Percent Impervious				21.6%



Proposed Permanent Dock To Be Permitted Under Separate Wetlands Application.

Existing Deck To Be Repaired Under Separate Wetlands Application.

Continuous Silt Fence. See Detail For More Information.

4' Wide Walk To Dock.

±187' ALONG REFERENCE LINE OF LAKE SUNAPEE

Lawn Area To Regraded And Planted With Native Groundcovers.

Re-Build Deck With New Footing - No Change To Footprint.

Reference Line: 1094.15'

Drywell (Typ.) To Infiltrate Roof Runoff. See Detail For Additional Information.

4' Wide Mulch or Pine Needle Pathway.



Tree Cell Counts

Cell A	State	Town	Cell E	State	Town
1 - 2" Red Maple	1pts	1pts	1 - 20" Hemlock	15pts	10pts
2 - 1" Hemlock	1pts	1pts	2 - 9" White Birch	10pts	5pts
3 - 26" Hemlock	15pts	10pts	3 - 7" White Birch	10pts	5pts
4 - 8" Hemlock	10pts	5pts			
5 - 6" Hemlock	10pts	5pts	Total	35pts	20pts
6 - 10" Red Maple	10pts	5pts			
7 - 20" Hemlock	15pts	10pts	Cell F		
8 - 20" Hemlock	15pts	10pts	1 - 2" White Pine	1pts	1pts
			2 - 14" Hemlock	15pts	10pts
Total	77pts	47pts	Total	16pts	11pts

Cell B	State	Town	Cell G	State	Town
1 - 14" White Pine	15pts	10pts	1 - (2) 4" Hardwood	10pts	2pts
2 - 20" White Pine	15pts	10pts	2 - (3) 2" Hardwood	3pts	3pts
3 - 28" Hemlock	15pts	10pts	3 - 11" White Pine	10pts	10pts
4 - 18" Red Maple	15pts	10pts	4 - (2) 3" Hemlocks	10pts	2pts
			5 - 28" White Pine	15pts	10pts
Total	60pts	40pts	6 - 21" White Pine	15pts	10pts

Cell C	State	Town	Cell H	State	Town
1 - 12" Red Maple	15pts	10pts	7 - 4" Hemlock	5pts	1pts
			8 - 4" Hemlock	5pts	1pts
Total	15pts	10pts	9 - 4" Hemlock	5pts	1pts
			10 - 18" Hemlock	15pts	10pts
			11 - 31" White Pine	15pts	10pts
			12 - 16" Hemlock	15pts	10pts
Total	30pts	20pts			

Undisturbed Area Calculation

Total Area	Between 50'-150'	15,685SF
Less Impervious Area (50'-150')		4,860SF
Total		10,825SF
Unaltered Area		
25% To Remain (State)		3,920SF
50% To Remain Less Imp. (Town)		5,415SF
Existing Unaltered Area		3,515SF
Proposed Unaltered Area		3,515SF

Survey Note:
Base Information Provided By Pennyroyal Hill Landsurveying & Forestry of Croydon, NH.

Robert Martin & Carol Thrane
133 Lighthouse View Road
New London, NH, 03257

PAI ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE, CONSTRUCTION & FINE GARDENING
159 KEESARGE MOUNTAIN ROAD, WARNER, NH 03278 · (603)456-3578

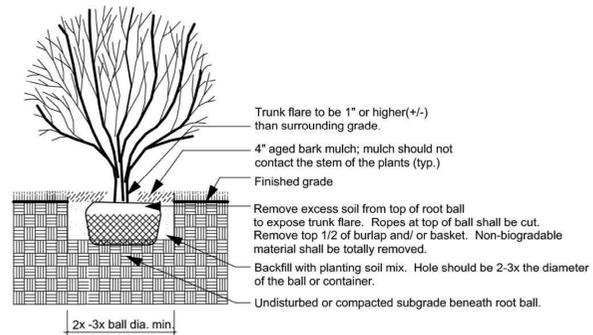
Martin/Trane Residence
Title Proposed Conditions SWQPA Plan

Project
Job No.
Scale 1" = 20'
Date 29 Aug '19
Revised
Drawn by PAI



GENERAL NOTES:

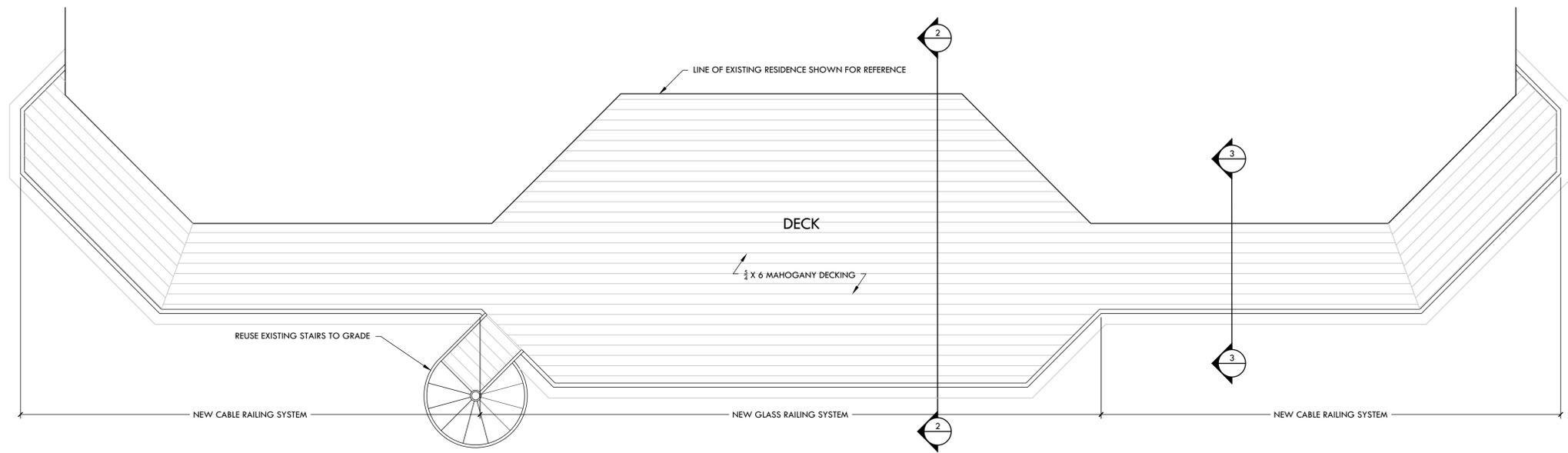
1. Amend all planting areas with a soil mix as necessary to ensure adequate soil depth and type for healthy plant growth.
2. Verify proposed plant locations with owner, or Landscape Architect prior to installation. Verify substitutions with Landscape Architect prior to purchasing. Landscape Architect reserves the right to reject unsatisfactory plant material at installation.
3. Plant locations shown are approximate, ultimate locations will be based on site conditions and input from Landscape Architect.
4. The landscape contractor is responsible for verifying all dimensions, materials, etc...with the owner and landscape architect prior to commencing construction.
5. All work shall conform to Federal, State, and local codes, standards and regulations. Landscape contractor shall have Dig-Safe approval # prior to excavation (1-888-dig-safe).
6. This is a non-technical drawing. It is only intended to provide guidance on landscape material selections and layout. The landscape contractor and site contractor are responsible for all technical aspects (grading, drainage, utilities etc...).
7. Landscape contractor shall maintain and provide a one year guarantee on all new plant material. After the 1 year period, the owner is responsible for maintaining all new plantings.
8. All plant material to conform to American Nurserymen standards and shall be free of disease and shall have healthy, well-developed root systems.
9. This plan is to be used for landscape planting purposes only.



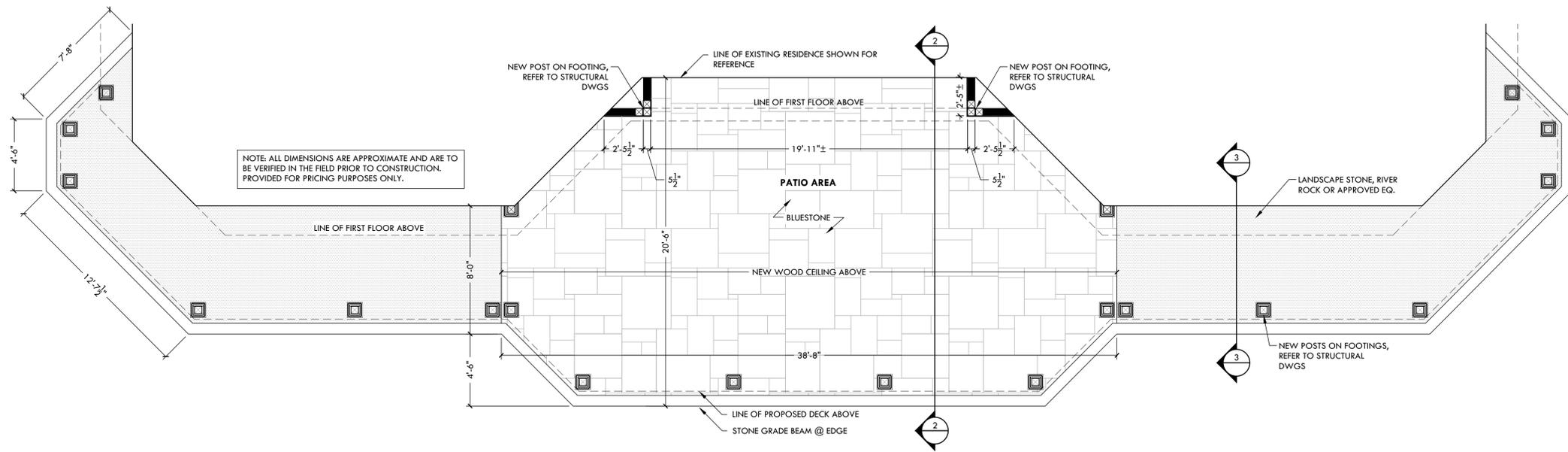
SHRUB PLANTING DETAIL - BALLED AND BURLAP / CONTAINER
NTS

ID	Qty	Latin Name	Common Name	Scheduled Size
CAH	5	Clethra alnifolia 'Humminbird'	Humminbird Summersweet	#10
DP	1450SF	Dennstaedtia punctiloba	Havscented Fern	Sod
KA	6	Kalmia angustifolia	Sheep Laurel	#2
SL	10	Spiraea latifolia	Common Meadowsweet	#3
VC	12	Vaccinium corymbosum	Mid-height Blueberry	#3

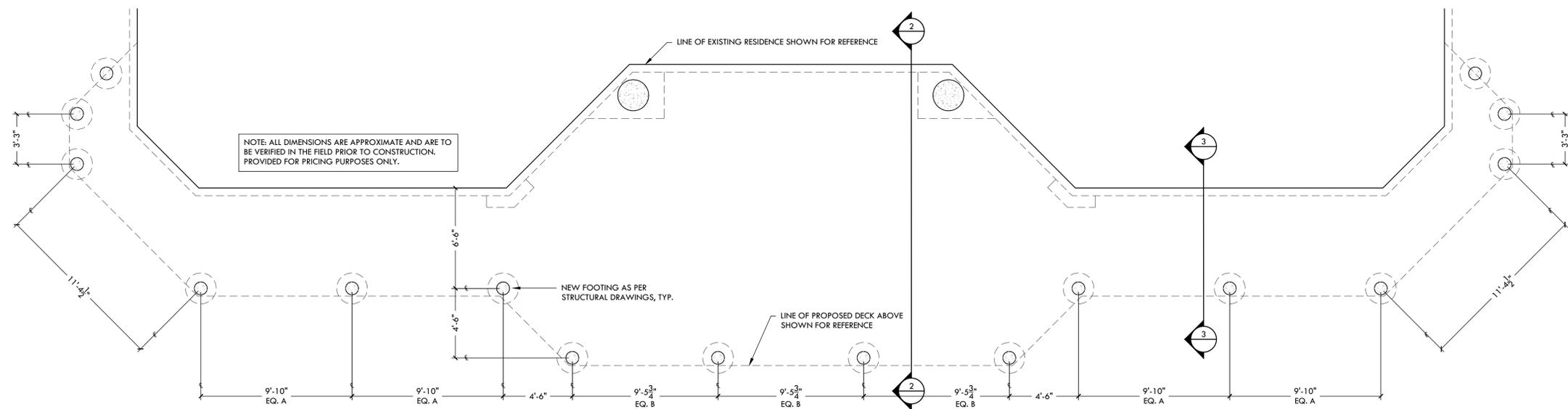
Survey Note:
Base Information Provided By Pennyroyal Hill Landsurveying & Forestry of Croydon, NH.



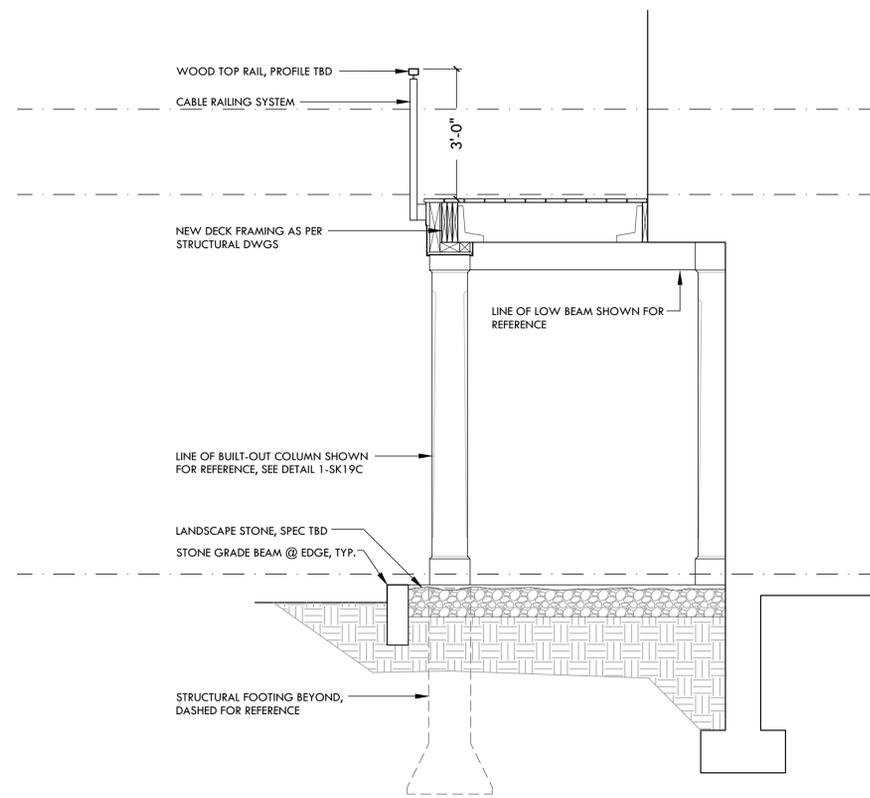
3 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



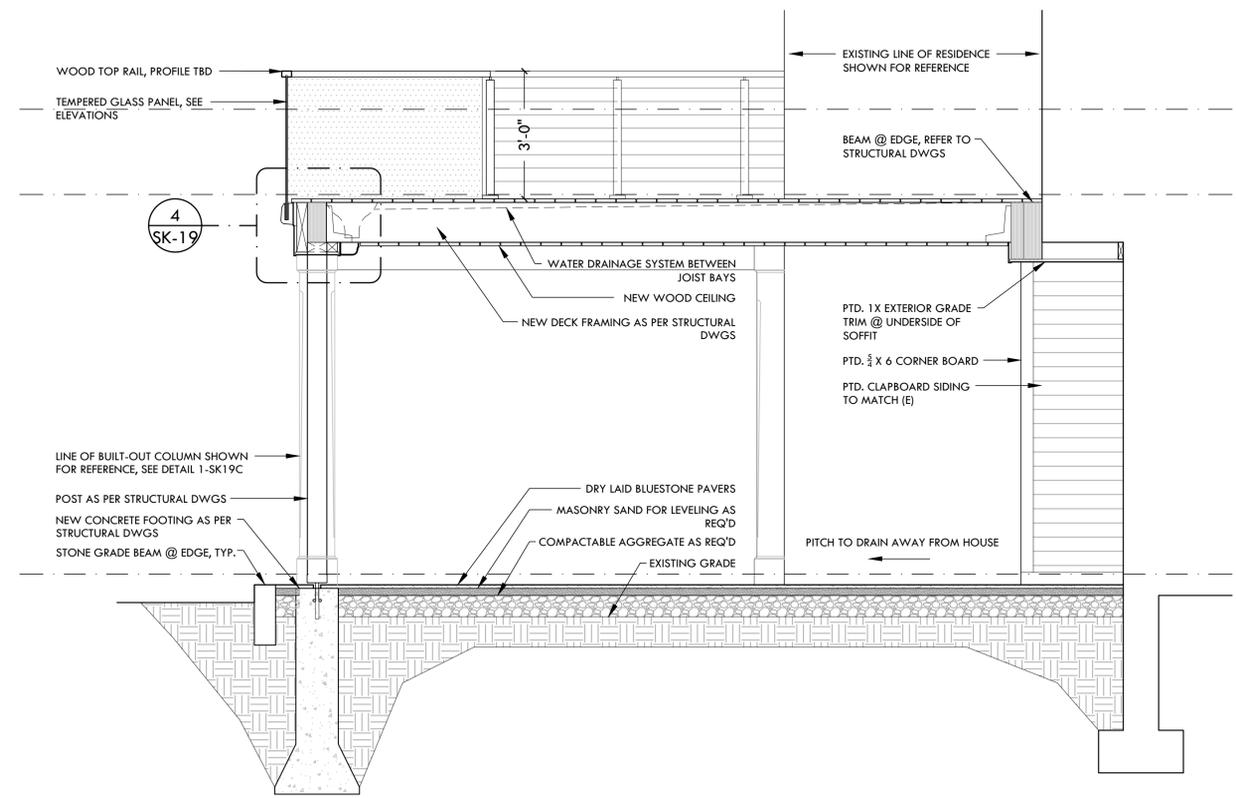
2 PROPOSED GRADE LEVEL PLAN
1/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
1/4" = 1'-0"



3 PROPOSED CROSS SECTION
1/2" = 1'-0"



2 PROPOSED CROSS SECTION
1/2" = 1'-0"



1 PROPOSED WEST ELEVATION
1/4" = 1'-0"

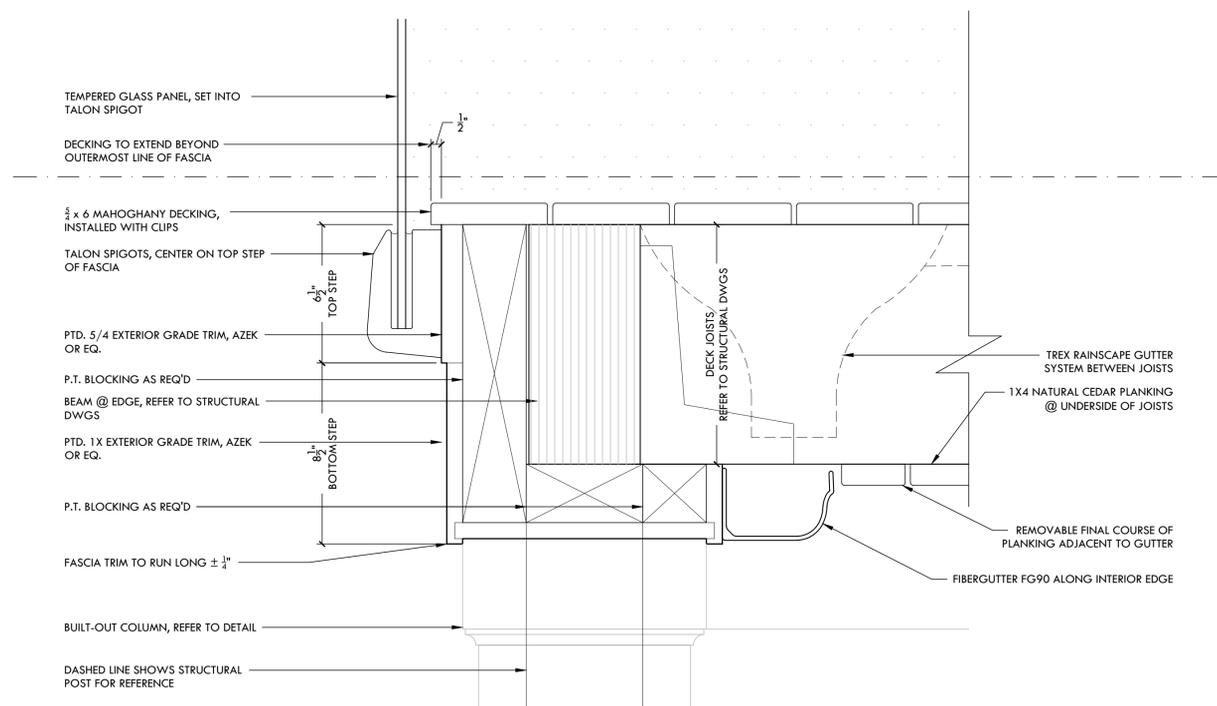
Thrane-Martin
Residence

133 LIGHTHOUSE VIEW RD
NEW LONDON, NH 03257

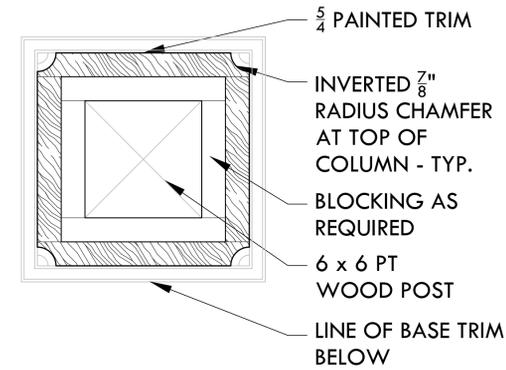
Date: Revision:
Phase II Pricing
Revision 1
Rev. for Pricing

Scale:
AS NOTED

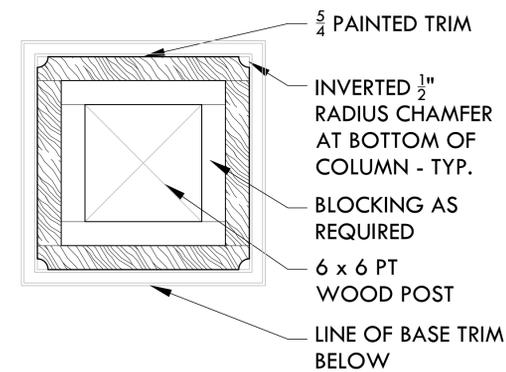
Title:
PROPOSED DECK
ELEVATION / SECTION
Sheet: SK-019B



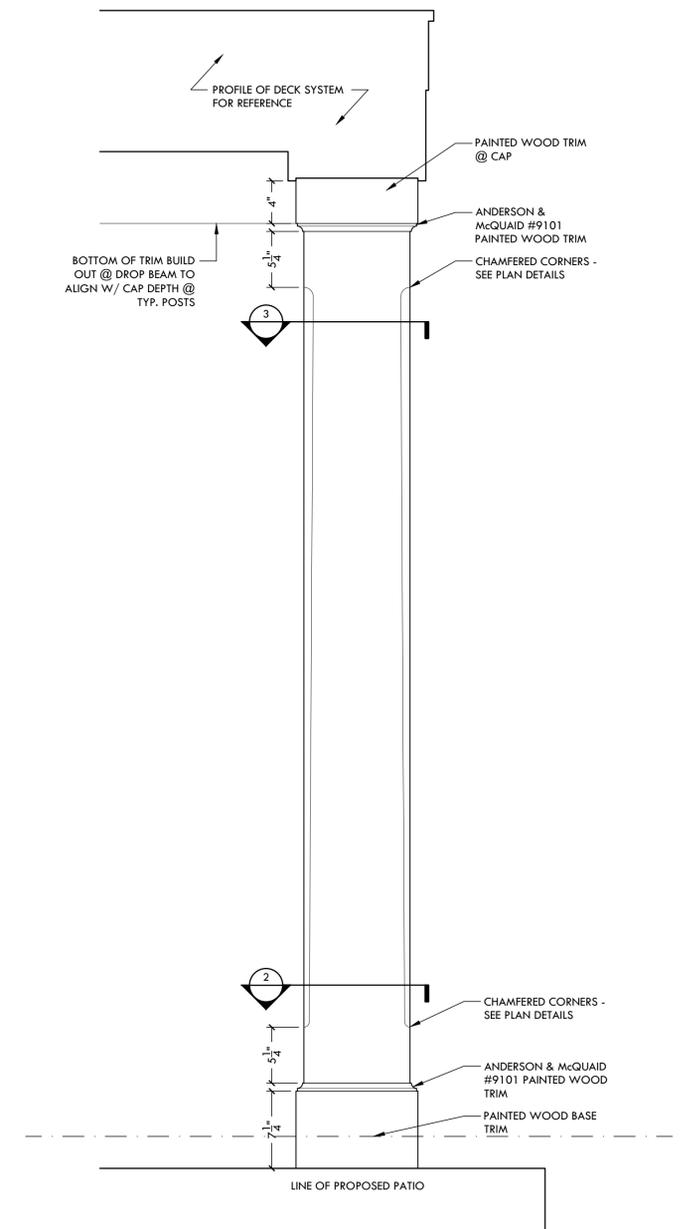
4 SECTION DETAIL @ EDGE
3" = 1'-0"



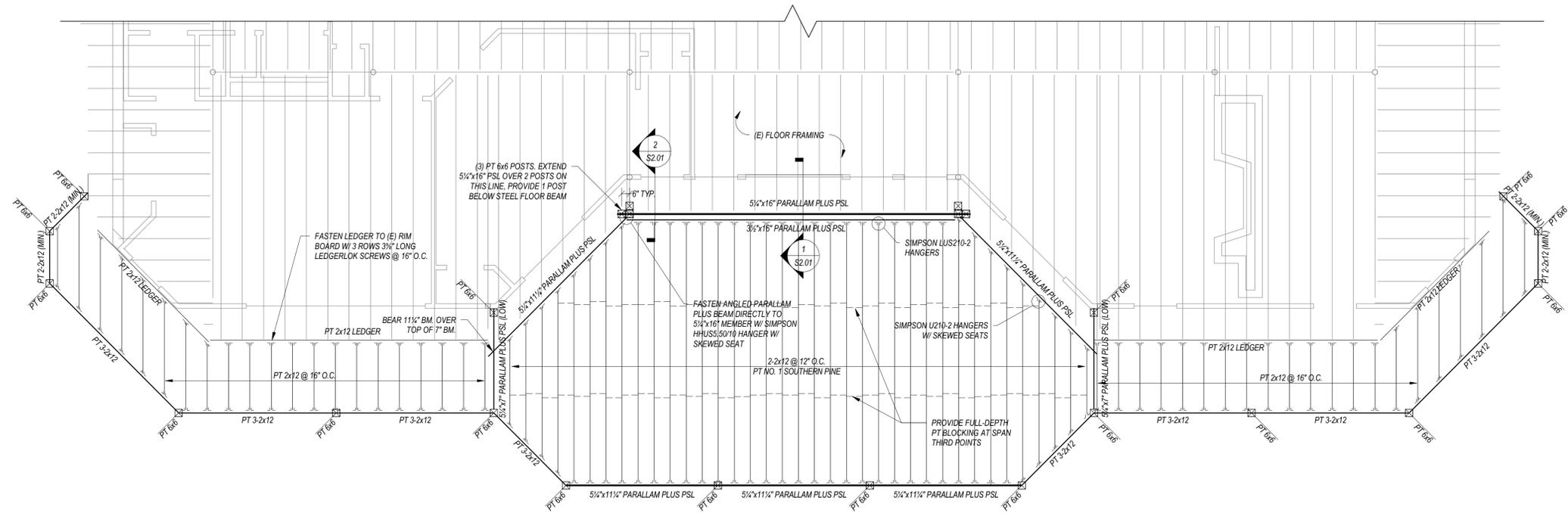
3 PLAN DETAIL @ TOP OF COLUMN
3" = 1'-0"



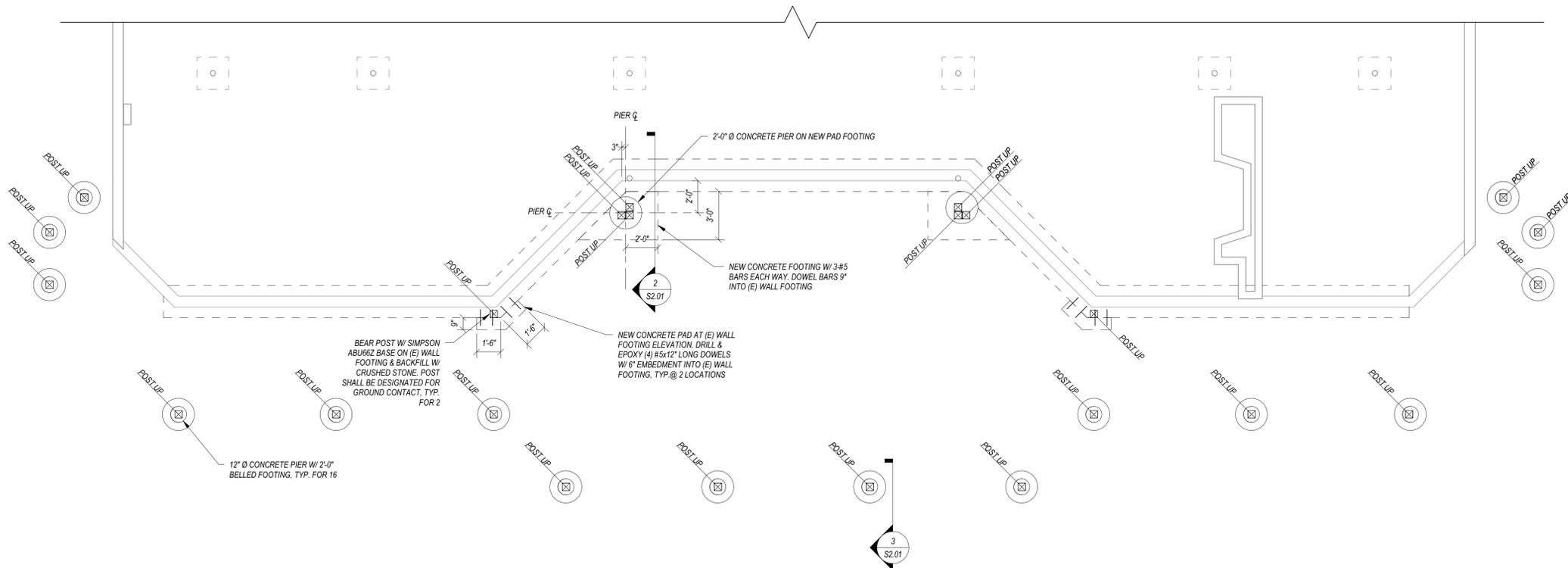
2 PLAN DETAIL @ BASE OF COLUMN
3" = 1'-0"



1 COLUMN ELEVATION DETAIL
1 1/2" = 1'-0"



LOWER FLOOR FRAMING
Scale: 1/4" = 1'-0"



FOUNDATION PLAN
Scale: 1/4" = 1'-0"

FOR PRICING ONLY
08/30/19

Throne-Martin Residence

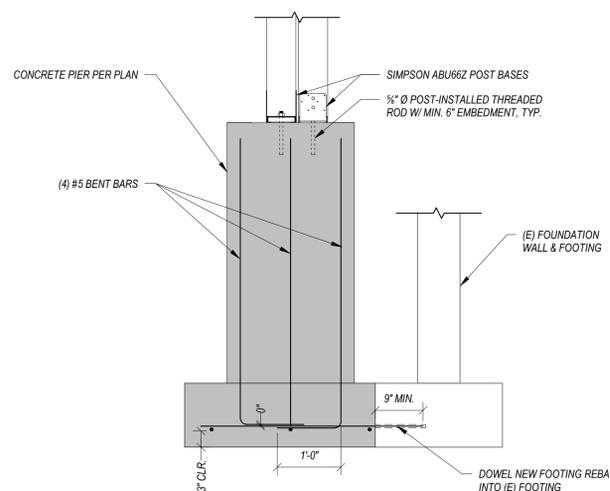
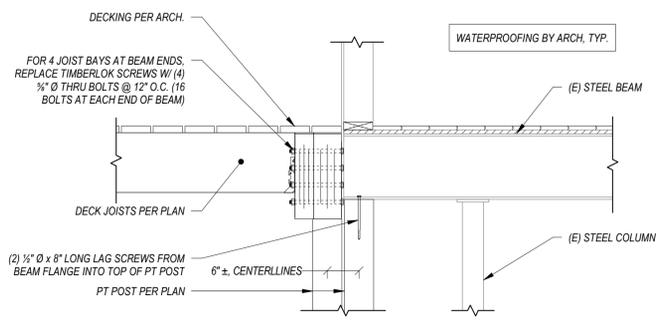
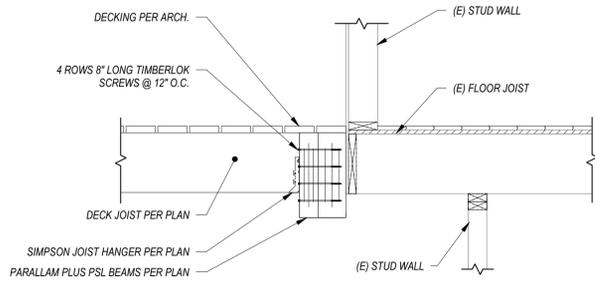
133 LIGHTHOUSE VIEW RD
NEW LONDON, NH 03257

Date: Revision:

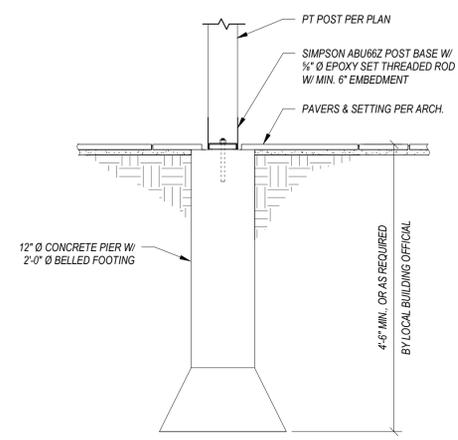
Scale:
1/4" = 1'-0"
Title:
DECK PLANS

Sheet:
S1.04

WATERPROOFING BY ARCH., TYP.



2 DECK FRAMING SUPPORT DETAIL
Scale: 3/4" = 1'-0"



3 CONCRETE PIER & FOOTING DETAIL
Scale: 3/4" = 1'-0"

1 DECK FRAMING SECTION
Scale: 3/4" = 1'-0"

FOR PRICING ONLY
08/29/19

Throne-Martin Residence

133 LIGHTHOUSE VIEW RD NEW LONDON, NH 03257

Date: Revision:

Scale: 3/4" = 1'-0"
Title: DECK DETAILS

Sheet: S2.01